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## SFG STUDIOS

72 Minot Street  
Reading MA 01867  
781.956.9773 tel  
617.625.4844 fax  
SFGStudios@msn.com



DESIGNERS • PLANNERS • ILLUSTRATORS

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# *Summer Street Renovation*

*206 Summer St  
Somerville, Massachusetts*

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### *Zoning Information*

*M / B / L : 38 / B / 8  
ZONE : RB  
LOT AREA : 2,531 SF  
GROSS LIVING AREA : 4,610 SF PER FIELD MEASURING (TAPE)  
NET LIVING AREA : 3,533 SF PER FIELD MEASURING (TAPE)*

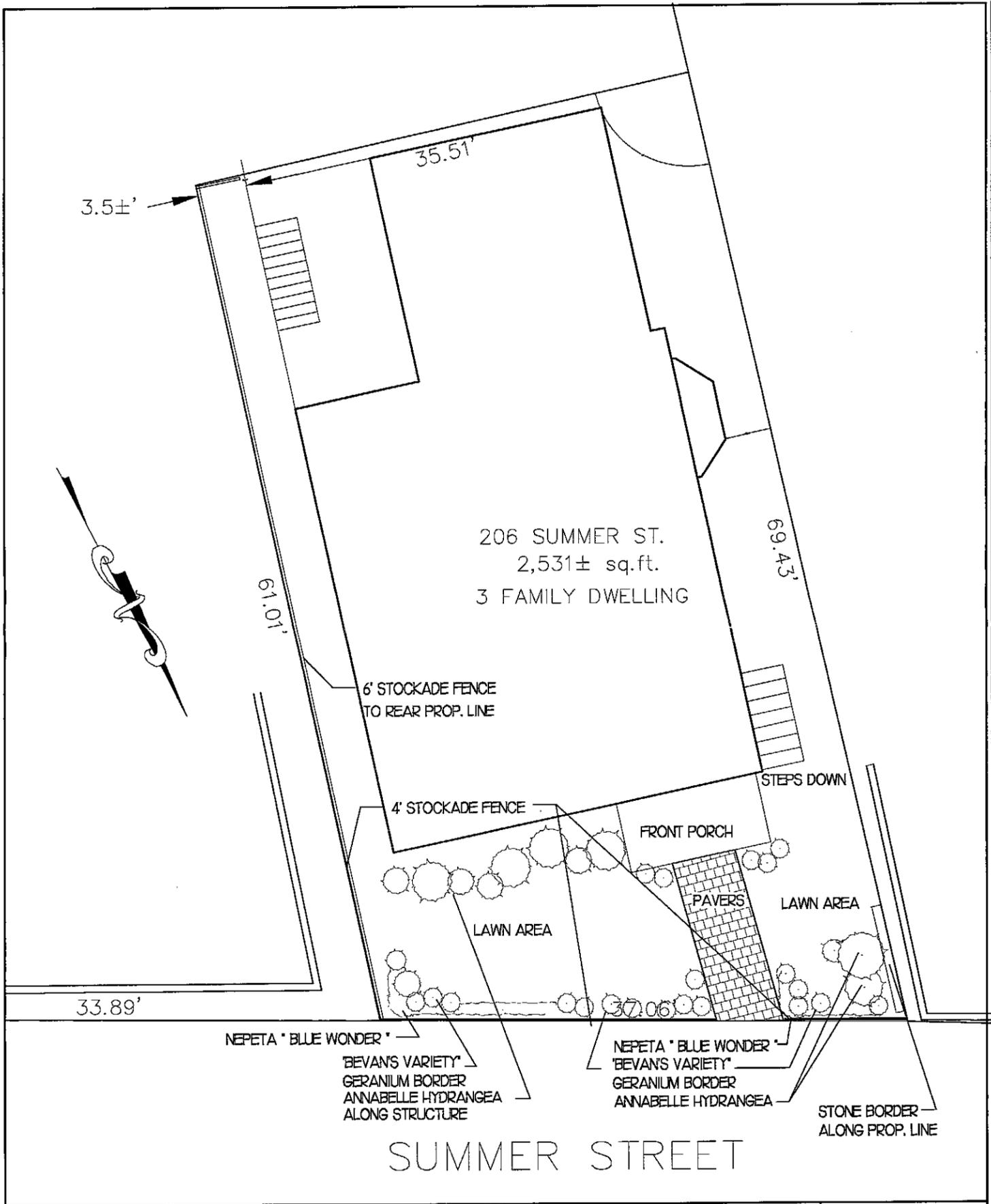
*REVISIONS 6/10/14  
REVISIONS 7/10/14*

### *Compliance References*

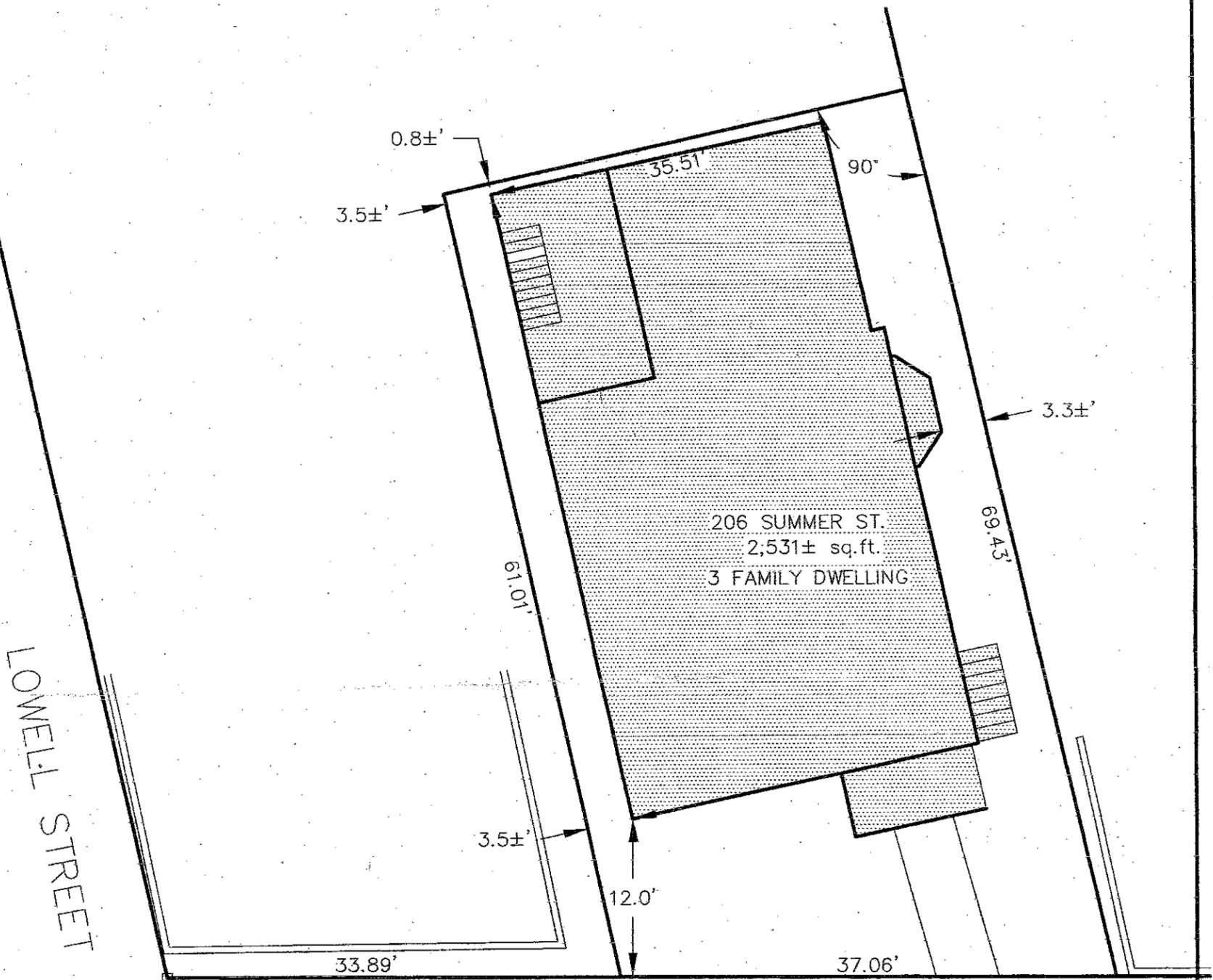
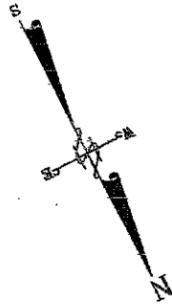
*As per the INTERNATIONAL EXISTING BUILDING CODE 2009 :  
Occupancy / Use : RESIDENTIAL USE GROUP R-2  
OPTION 2 : WORK AREA COMPLIANCE METHOD  
CLASSIFICATION OF WORK : ALTERATION LEVEL 3*

### *Building Code Information*

*All alterations, repairs and construction methods are to comply with:  
International Residential Code 2009 (IRC) with MA Amendments (780 CMR 51.00)  
International Fire Code 2009 (IFC)  
International Mechanical Code 2009 (IMC)  
International Fuel & Gas Code 2009 (IFGC)  
International Electrical Code 2009 (IEC)  
International Energy Efficiency Code 2012 (IEEC)*



	206 SUMMER STREET SOMERVILLE, MA	LANDSCAPING PLAN SCALE: 1" = 1'-0" 07/10/2014	<b>SFG STUDIOS</b> Architectural Design Services 79 Minot Street Reading, MA 01867 781.956.9773 tel
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STONE  
BOUND  
(FD)

SUMMER STREET

I HEREBY CERTIFY THAT THE DWELLING  
SHOWN HEREON IS AS ACTUALLY FIELD  
LOCATED BY INSTRUMENT SURVEY,  
CONFORMED TO THE ZONING BYLAWS OF  
THE CITY OF SOMERVILLE, MA AT THE  
TIME OF CONSTRUCTION.

GRAPHIC SCALE

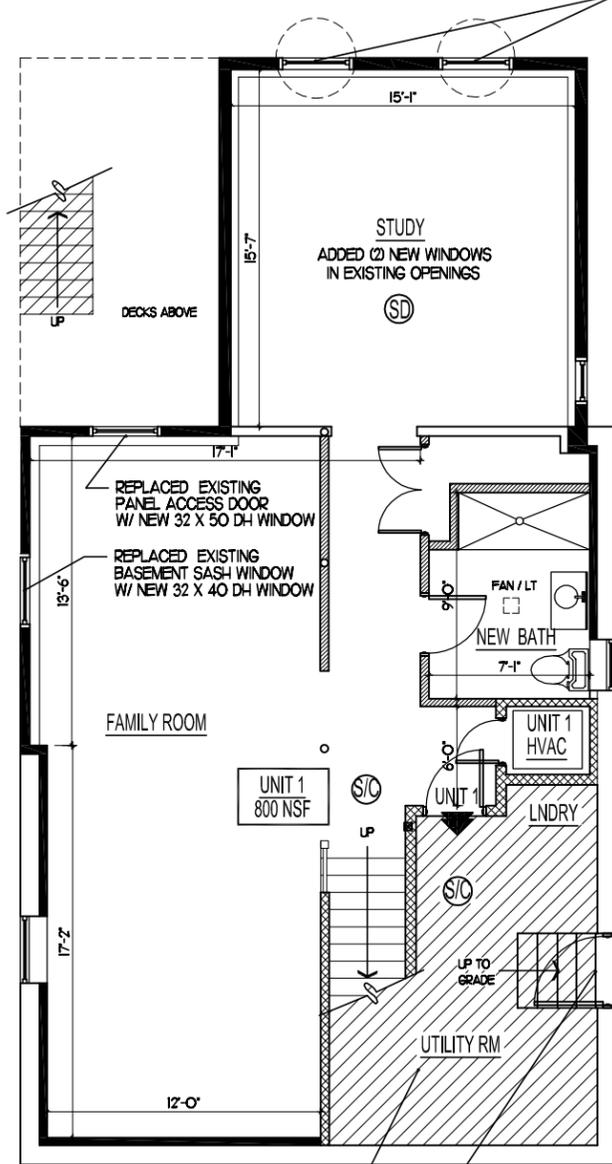


( IN FEET )  
1 inch = 10 ft.

*Bruce P. Eaton*

PLOT PLAN 206 SUMMER STREET SOMERVILLE, MA FOR <b>SILVER REALTY LLC.</b>	
CIVIL ENVIRONMENTAL CONSULTANTS LLC 8 OAK STREET PEABODY, MA 01960 (978)531-1191	
SHEET NO: 1 OF 1	DATE: 3/25/2014 JOB NO: 3176 DRAWN BY: L.J.B.

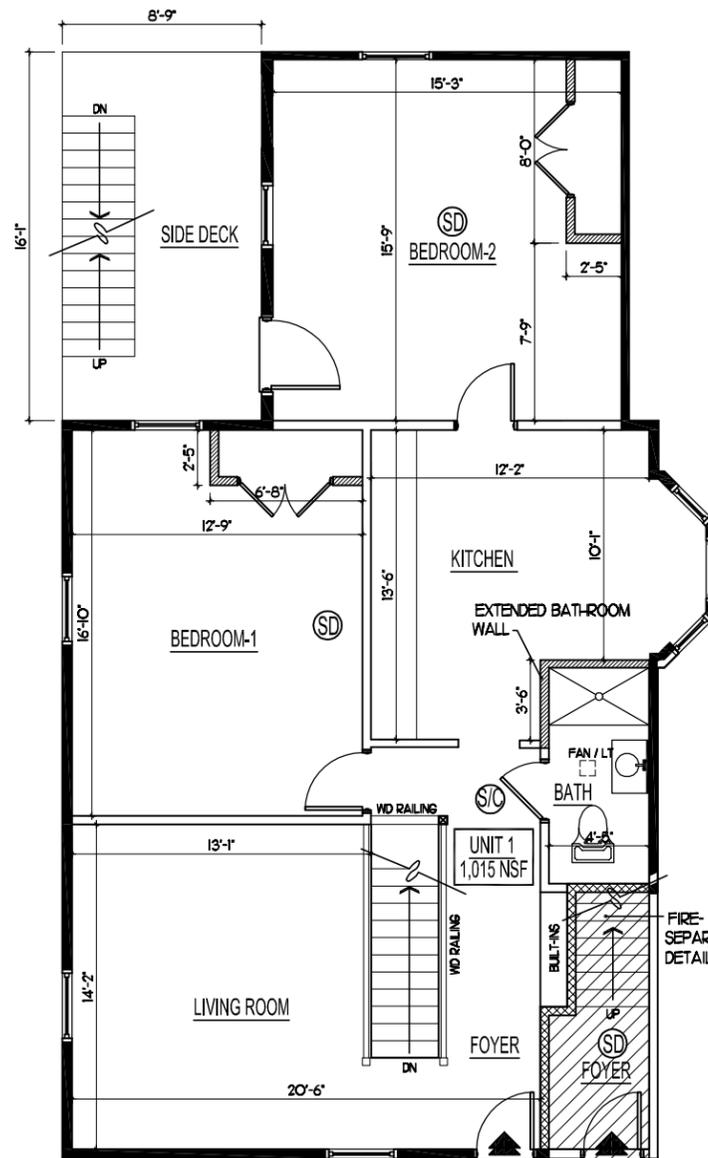
NOTE:  
 (2) REPLACED WINDOWS AT REAR WALL AND WHERE LESS THAN 3'-0" FROM PROPERTY LINE AND / OR 5'-0" FROM ABUTTING STRUCTURE TO BE AGAIN REPLACED WITH FIRE-RESISTANCE-RATED GLAZING AND ASSEMBLY, RATED UL 236 OR ASTM E 119



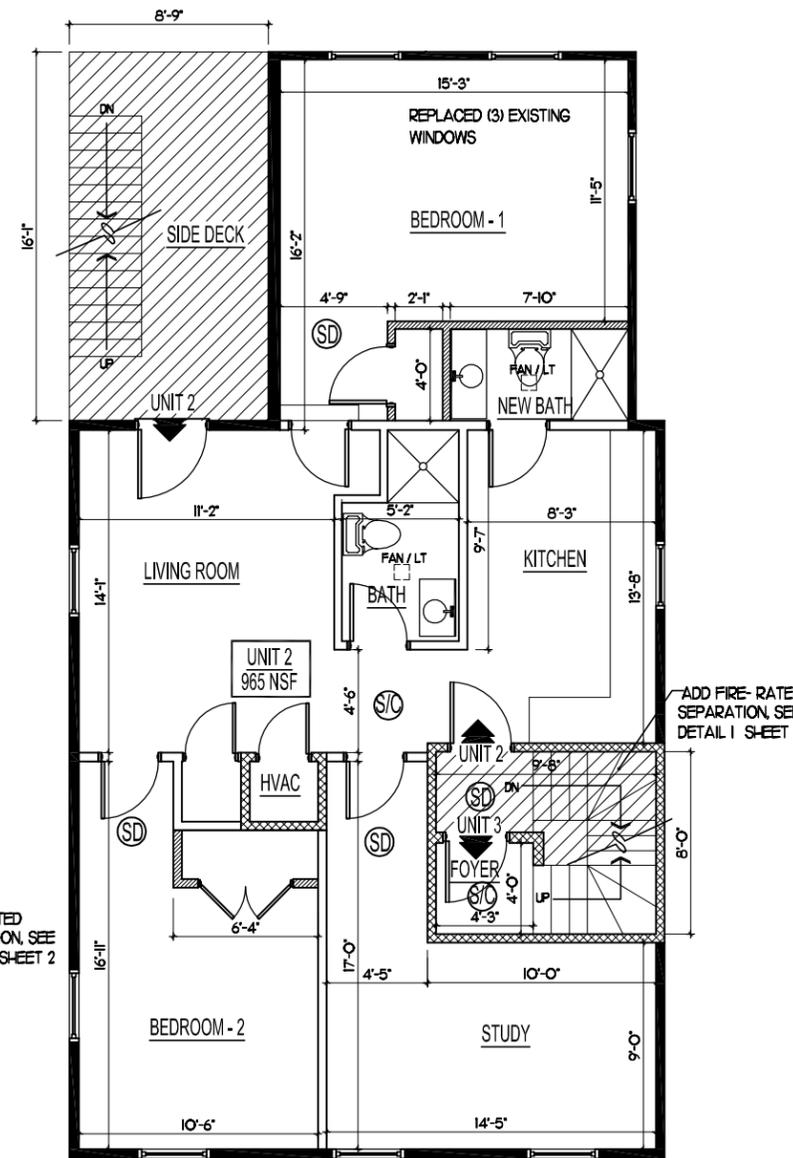
**BASEMENT FLOOR PLAN**  
 1,100 GSF

REPLACE W/ 32 X 80" PROPER EGRESS DOOR  
 REPLACE STAIRS SLAB TO GRADE

1 HR FIRE-RATED WALL ASSEMBLY BETWEEN UNIT 1 & UTILITY ROOM & HVAC CLOSET - SEE DETAIL 1 SHEET 2



**FIRST FLOOR PLAN**  
 1,114 GSF



**SECOND FLOOR PLAN**  
 1,100 GSF

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INTERIOR RENOVATIONS  
 206 SUMMER STREET  
 SOMERVILLE, MA  
 PROPOSED PLANS  
 FLOOR PLANS

GENERAL NOTES:  
 ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION AND THE ORDERING OF ALL MATERIALS. REPORT ANY ALL DISCREPANCIES TO OWNER.

REVISIONS	DATE	DESCRIPTION
1	6/10/14	EXISTING CONDITIONS UPDATED
2	7/10/14	EXISTING & PROPOSED UPDATED
3		
4		
5		

DRAWN BY: SFG

DATE: 02/24/14

PROJECT No.

SCALE: 1/8" = 1'-0"

DRAWING No.

A.01



INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
FLOOR PLANS & DETAILS

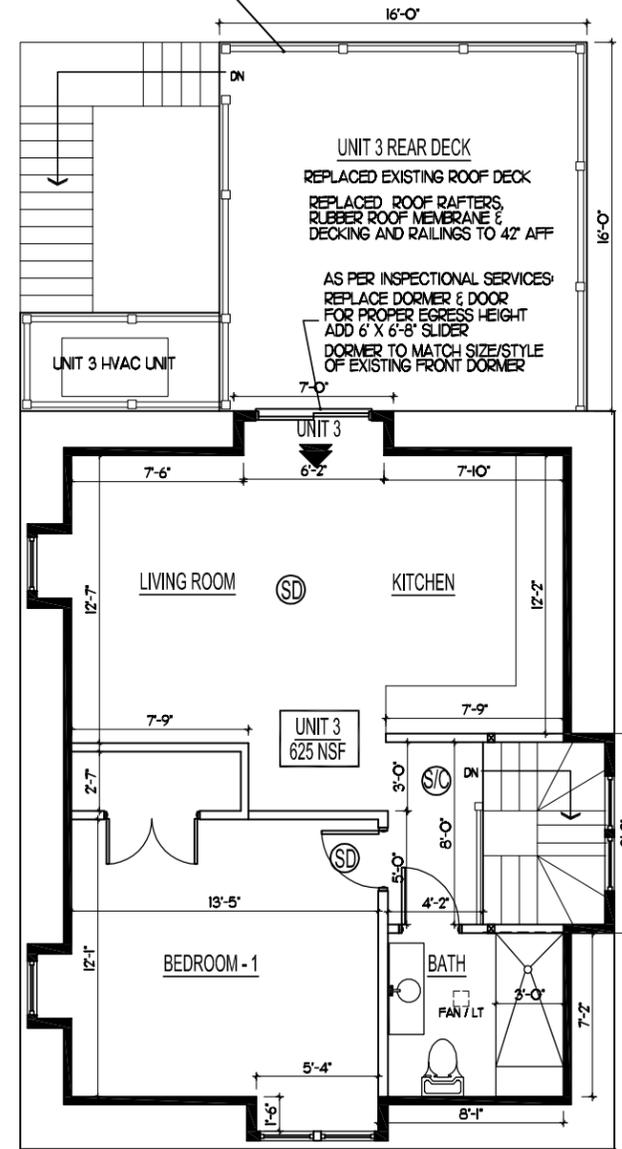
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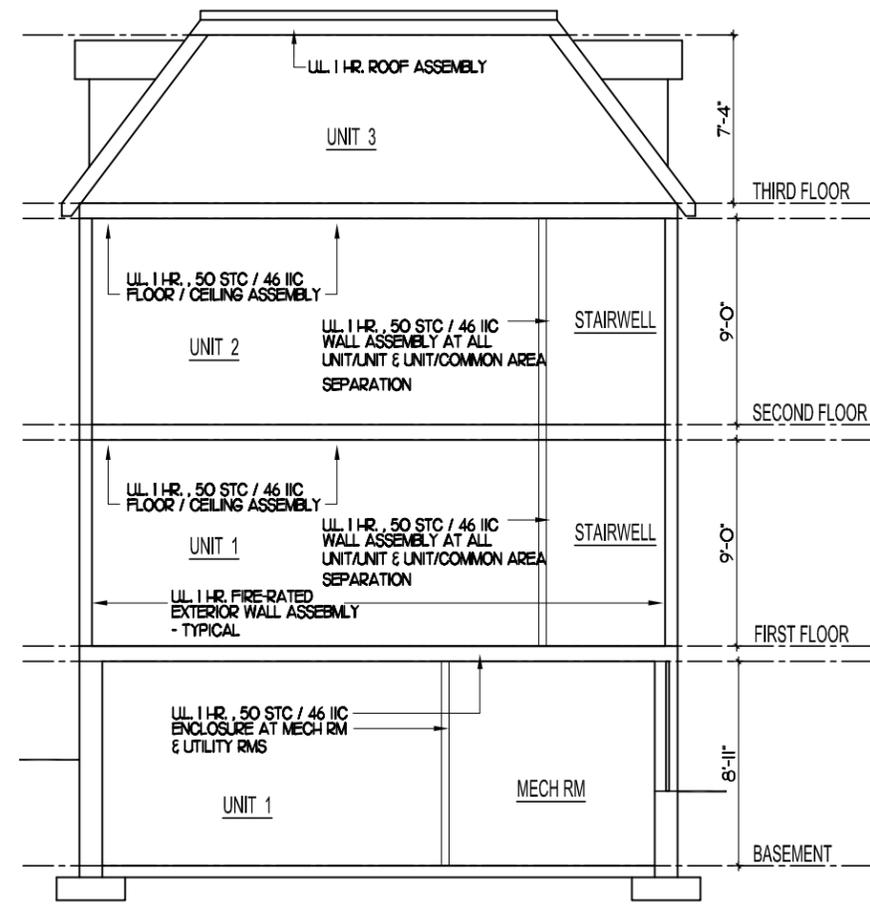
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DATE: 02/24/14  
PROJECT No.  
SCALE: 1/8" = 1'-0"  
DRAWING No.

A.02

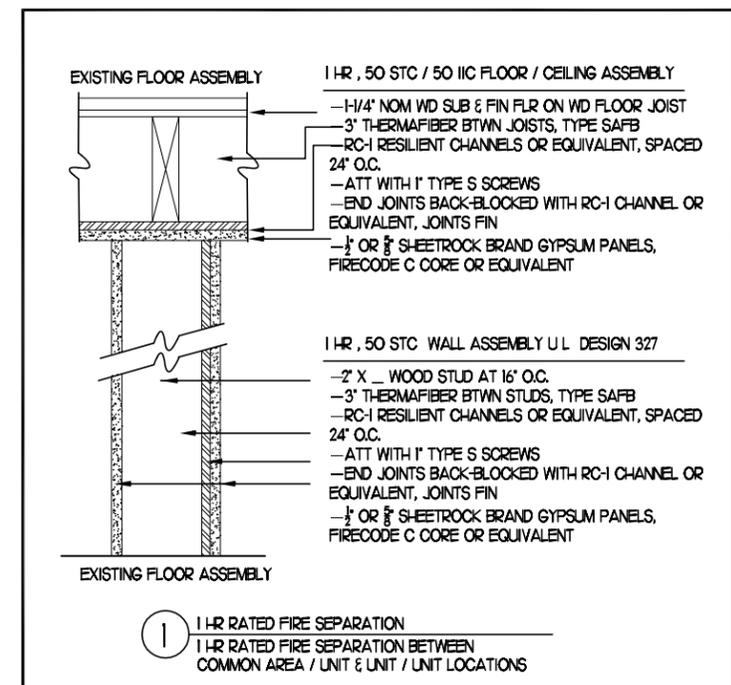
NOTE:  
DECK REPLACEMENT IS LARGER THAN EXISTING DECKING.  
NEW DECK IS PROPERLY SUPPORTED ON EXTERIOR  
BEARING WALLS.



THIRD FLOOR PLAN  
670 GSF



BUILDING SECTION  
GRAPHIC REPRESENTATION - NOT TO SCALE



LEGEND

- EXISTING UNIT PERIMETER WALL, REMAINS
- EXISTING WALL, REMAINS
- NEW INTERIOR STUD 2X4 WALL
- NEW FIRE-RATED INTERIOR PARTITION WALL, SEE DETAIL I, THIS SHEET FOR UNIT SEPARATION
- (S/C) HARDWIRED SMOKE / CO2 DETECTOR COMBO
- (SD) HARDWIRED SMOKE DETECTOR

- GENERAL NOTES:
- EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH
  - ALL WALLS, WINDOW AND DOOR OPENINGS ARE TO BE REFRAMED. ALL HEADERS TO BE 2-2X8 UNLESS NOTED OTHERWISE.
  - ALL MEANS OF EGRESS FROM THE HIGHEST FLOOR TO THE FLOOR OF DISCHARGE SHALL BE PROVIDED WITH ARTIFICIAL LIGHTING AND EXIT SIGNS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC)
  - LOADS: ROOF SNOW: 50 PSF + DRIFT  
THIRD FLOOR 30 PSF  
FIRST FLOOR 40 PSF  
SECOND FL. 30 PSF  
DECK 100 PSF
  - MATERIALS:  
CONCRETE 3000 PSF  
REINFORCING GR 40  
STRUCTURAL STEEL A 36  
LVL BEAMS 2400 PSI  
BEAMS, JOIST, COLUMNS CONNECTIONS SIMPSON
  - DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
  - FIELD MEASURE PRIOR TO DETAILING, ORDERING AND INSTALLATION.
  - FOOTINGS SHALL BE PLACED IN THE DRY ON UNDISTURBED SOIL, FREE FROM ORGANIC MATERIALS.
  - NAILING SHALL BE MADE IN ACCORDANCE WITH IRC 2009.
  - BEAM BEARING ON COLUMNS SHALL BE IN FULL WIDTH OF BEAMS.
  - CAP PLATES SHALL BE EXTENDED TO COVER BEAM WIDTH.
  - SOLID BLOCKING SHALL BE PROVIDED WITHIN THE FLOOR UNDER COLUMNS AND BEARING WALLS.
  - JOIST AND BEAM HANGERS SHALL BE PROVIDED SHOWN OR NOT, ALSO PROVIDE HURRICANE TIES, CAP AND BASE COLUMN CONNECTORS SHALL BE PROVIDED.
  - TRUSS JOIST ( TJI ) SHALL BE SELECTED FOR LIVE LOADS AS SHOWN ABOVE 20 PSF DEAD LOADS.
  - OPENINGS IN BEARING WALLS OVER 4 FEET SHALL BE PROVIDED WITH DOUBLE JACKS.

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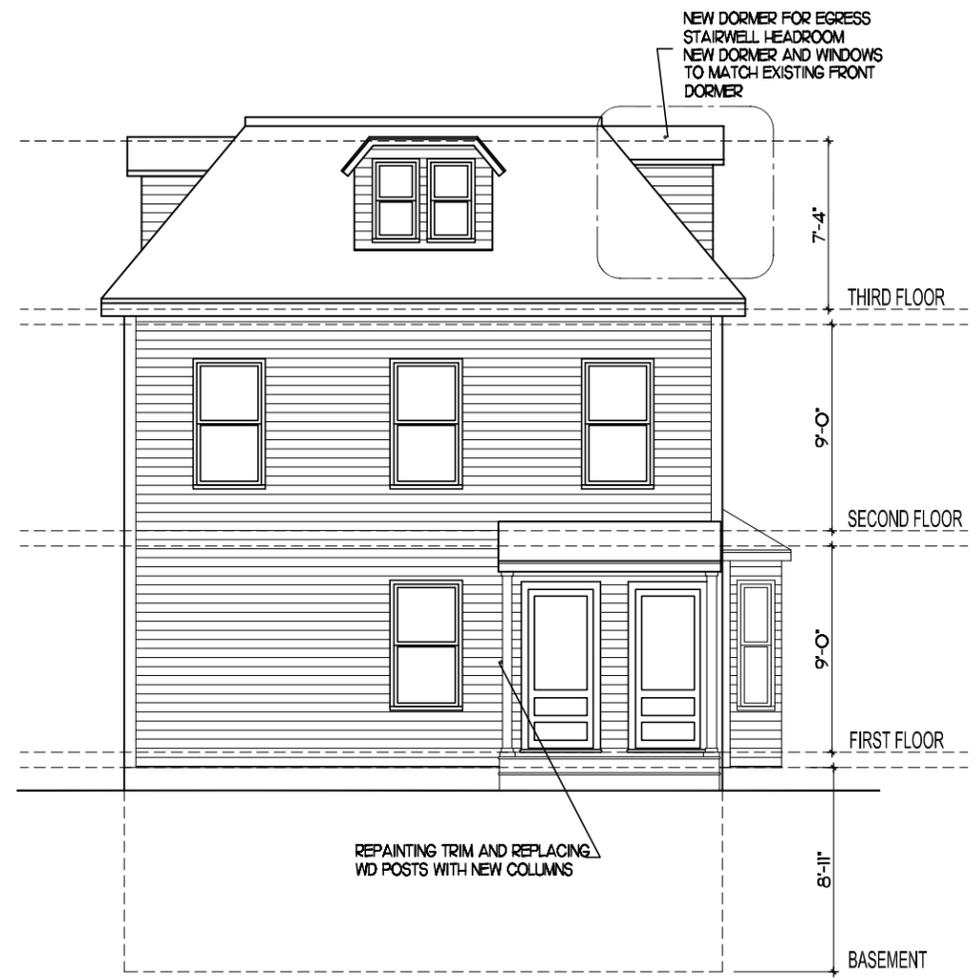
INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
ELEVATIONS

GENERAL NOTES:  
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DATE: 02/24/14  
PROJECT No.  
SCALE: 1/8" = 1'-0"  
DRAWING No.

A.03



FRONT ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

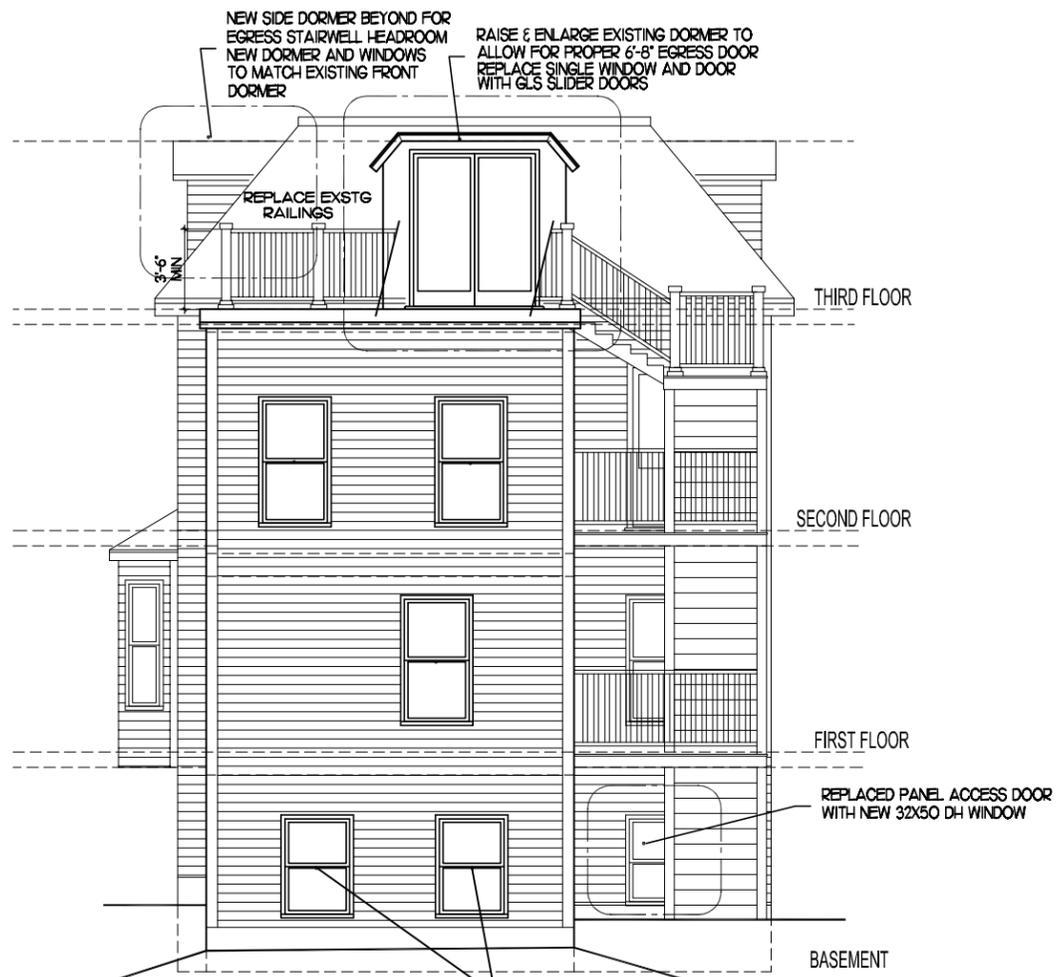


INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
ELEVATIONS

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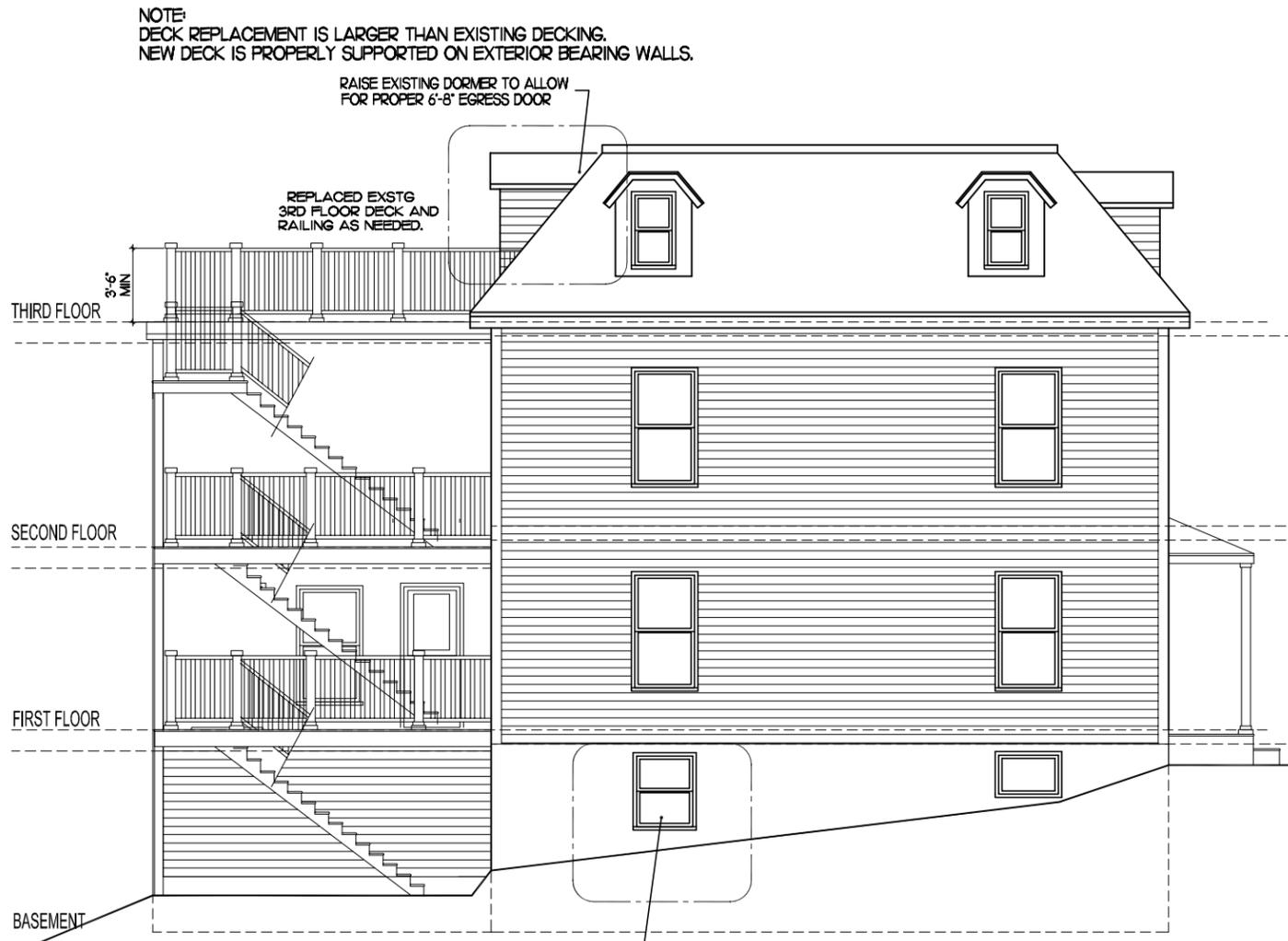
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DRAWN BY: SFG  
DATE: 02/24/14  
PROJECT No.  
SCALE: 1/8" = 1'-0"  
DRAWING No.  
**A.04**

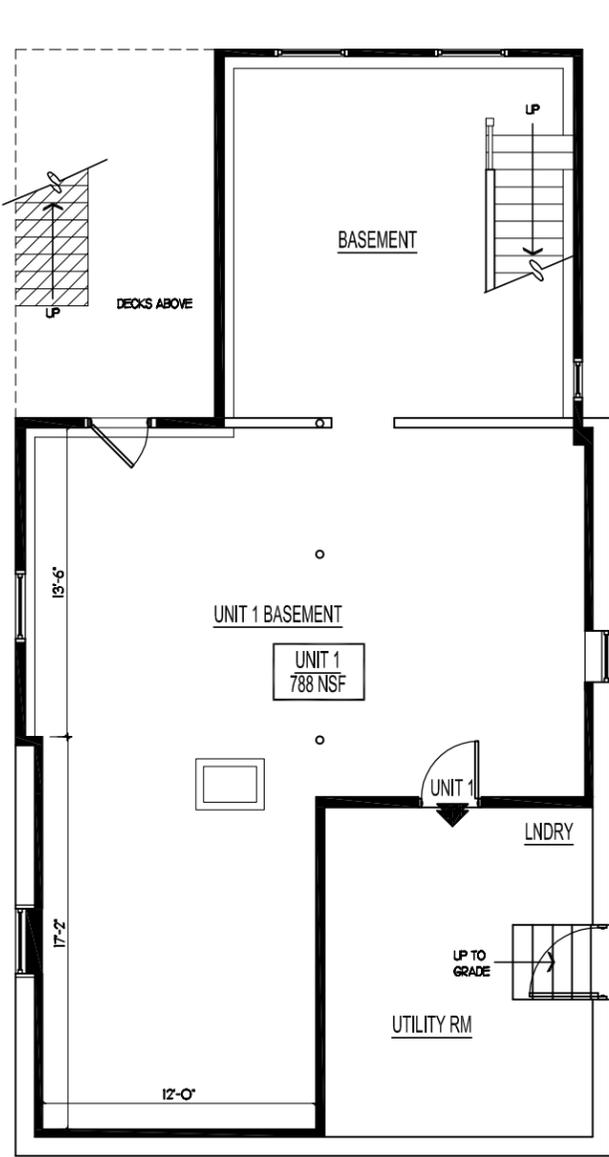


REAR ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"

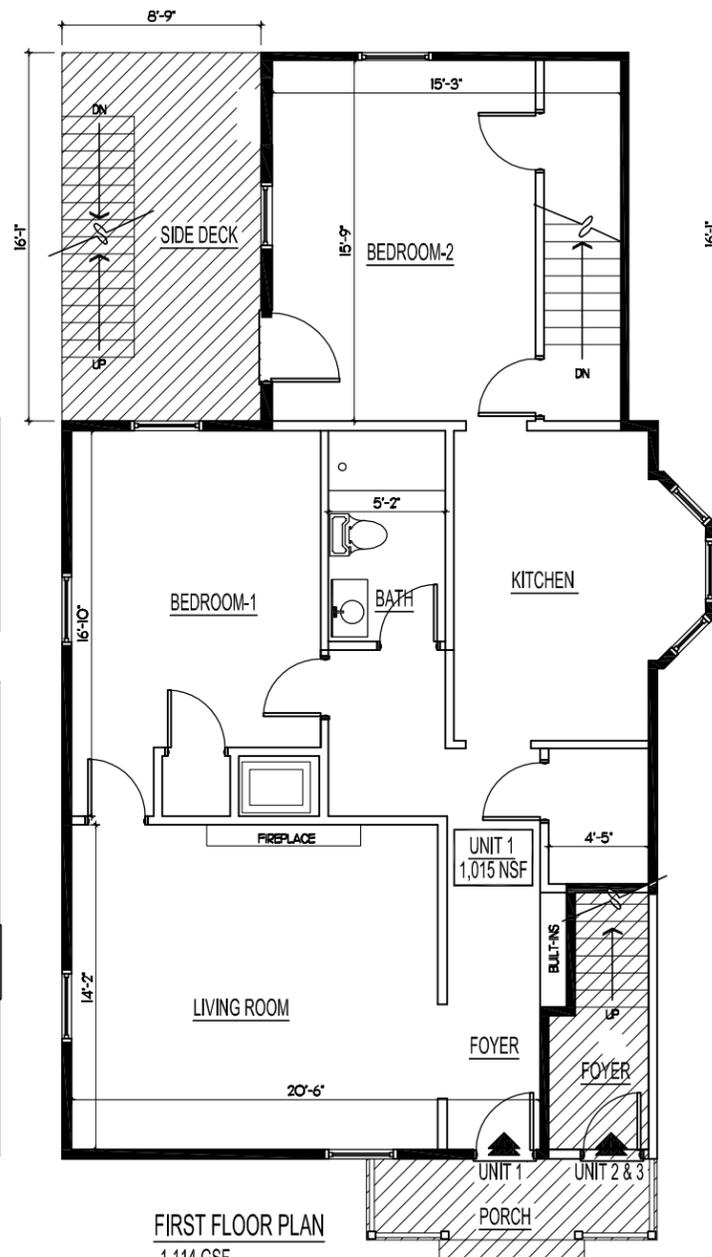
NOTE:  
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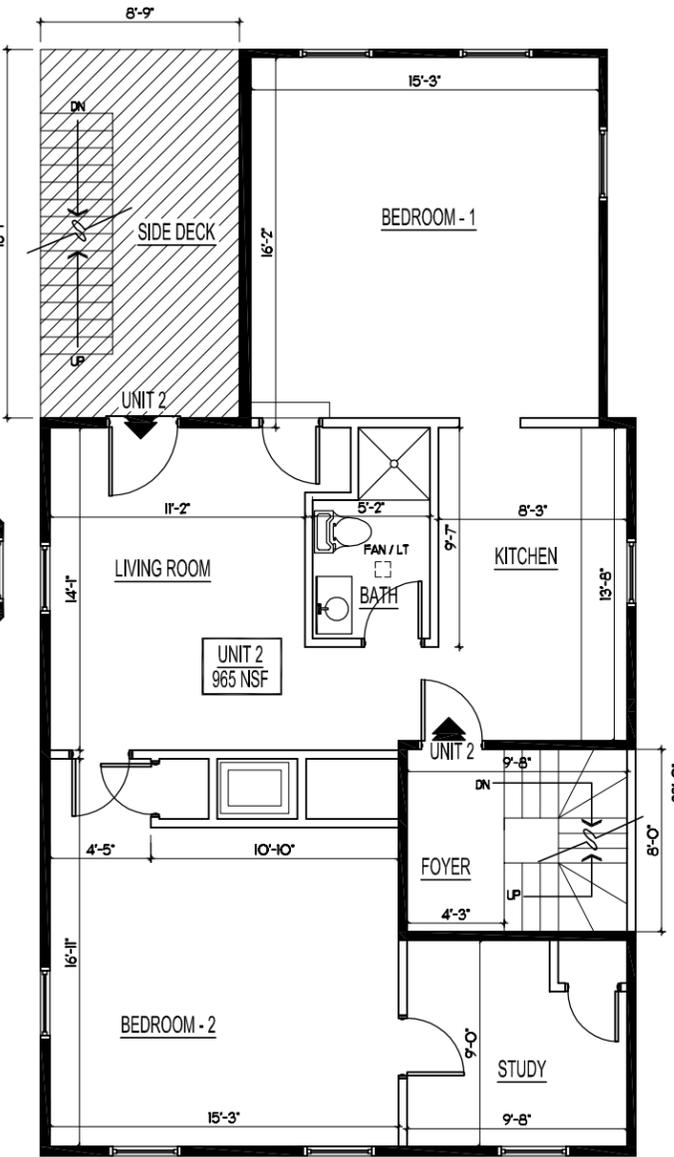
LEFT ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"



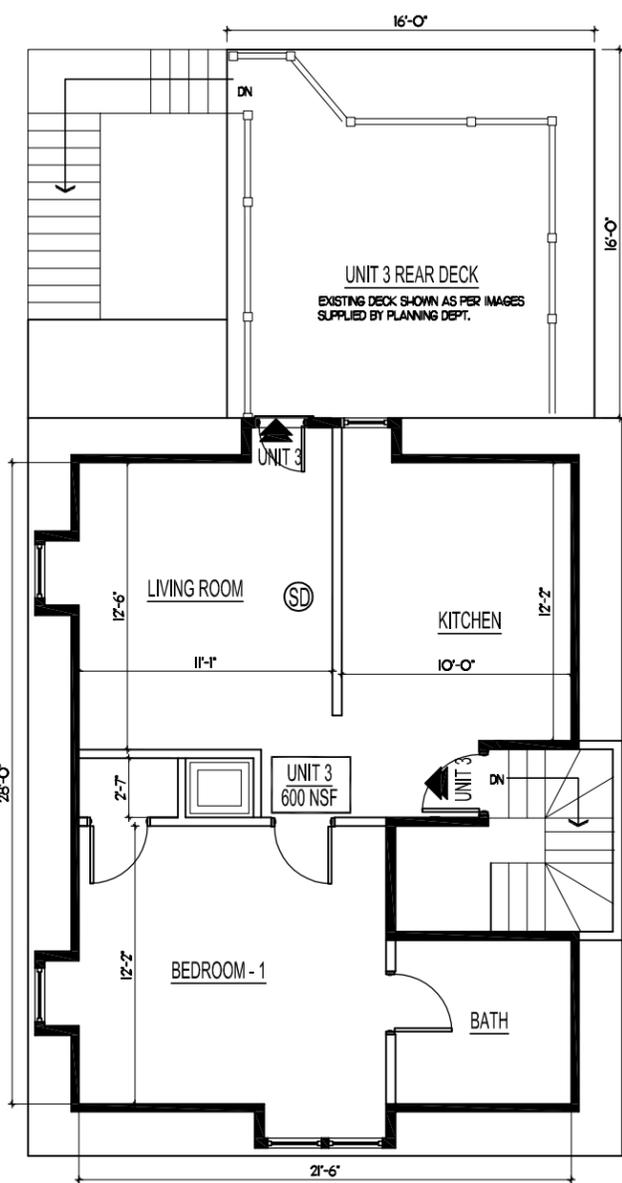
**BASEMENT FLOOR PLAN**  
1,100 GSF



**FIRST FLOOR PLAN**  
1,114 GSF



**SECOND FLOOR PLAN**  
1,100 GSF



**THIRD FLOOR PLAN**  
670 GSF

EXISTING CONDITIONS ARE TRUE AND AS ACCURATE AS POSSIBLE FROM FIELD MEASURING, BY VISIBLE INSPECTION, AND FROM INFORMATION SUBMITTED BY PLANNING.  
DEMOLITION AND CONSTRUCTION HAD BEEN IN PROGRESS PRIOR TO INITIAL FIELD MEASURING.

INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
EXISTING CONDITIONS  
FLOOR PLANS

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DRAWN BY	SFG
DATE	05/02/14
PROJECT No.	
SCALE	1/8" = 1'-0"
DRAWING No.	A.05

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SOMERVILLE, MA  
EXISTING CONDITIONS  
ELEVATIONS

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REVISIONS	EXISTING CONDITIONS UPDATED	EXISTING & PROPOSED UPDATED
1	6/10/14	7/10/14
2		
3		
4		

DRAWN BY SFG

DATE 02/24/14

PROJECT No.

SCALE 1/8" = 1'-0"

DRAWING No.

A.06



EXISTING FRONT ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"



EXISTING RIGHT ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

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INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
EXISTING CONDITIONS  
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DRAWN BY SFG

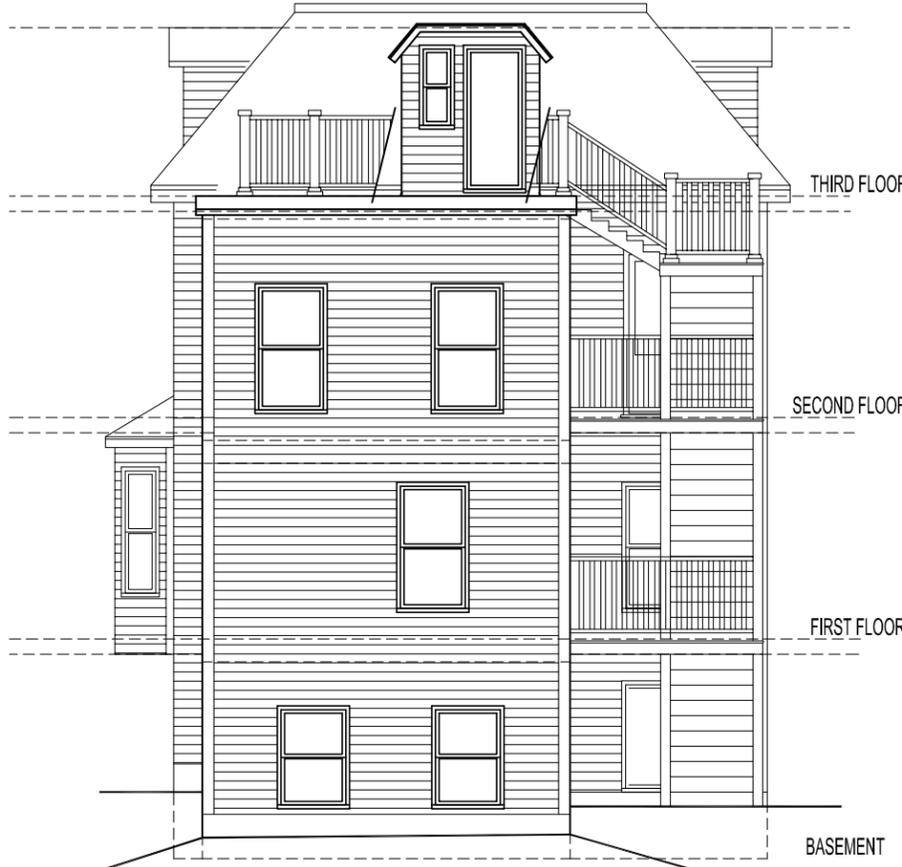
DATE 02/24/14

PROJECT No.

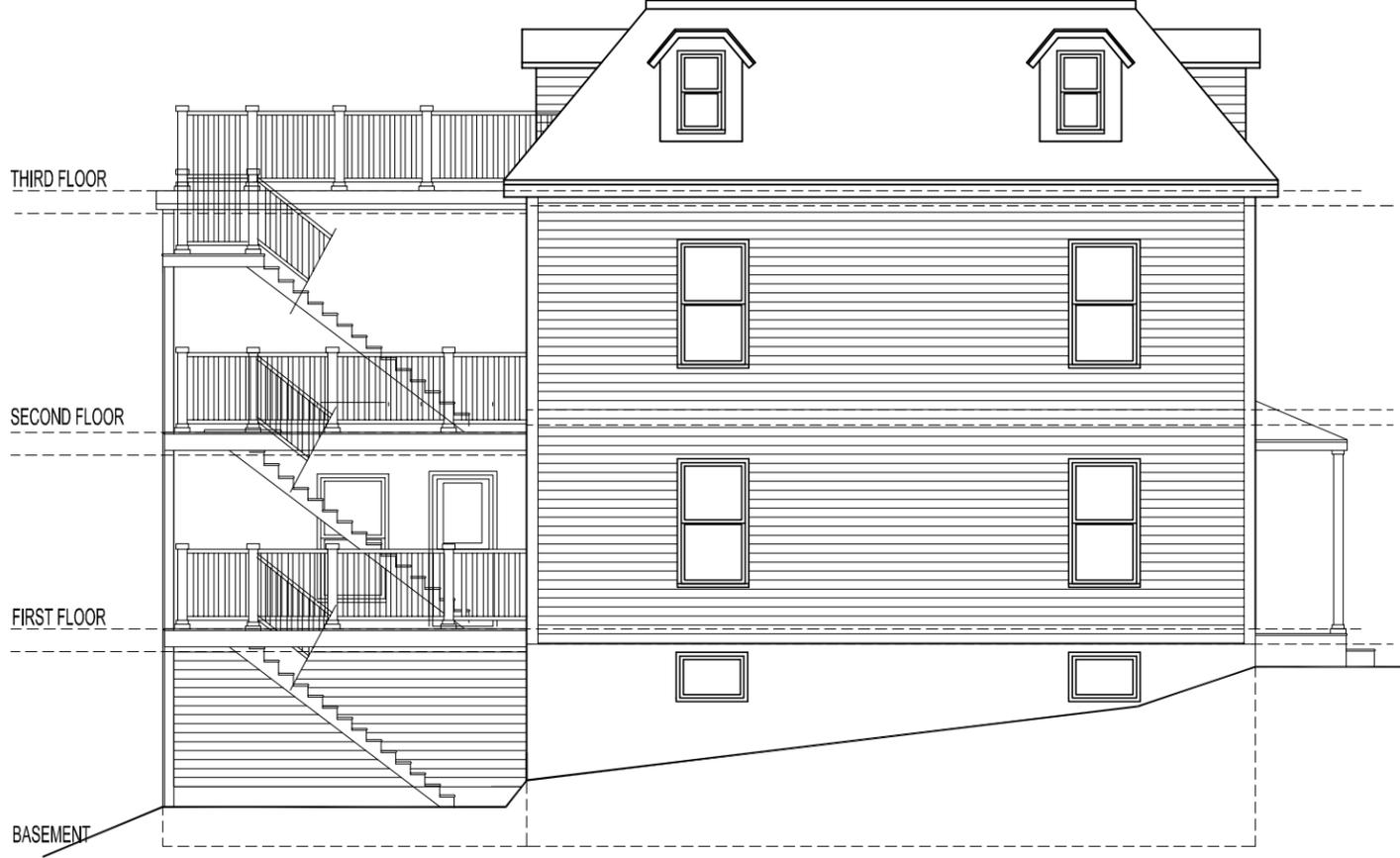
SCALE 1/8" = 1'-0"

DRAWING No.

A.07



EXISTING REAR ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"



EXISTING LEFT ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

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DEMOLITION AND CONSTRUCTION HAD BEEN IN PROGRESS PRIOR TO INITIAL FIELD MEASURING.