

GENERAL NOTES:

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO PROVIDE TWO SEPARATE HEATING & COOLING SYSTEMS W/ NEW DIRECT VENT BOILERS AND 2 ZONES PER SYSTEM. CONTRACTOR TO SUBMIT BASEBOARD AND VENT LOCATIONS TO OWNER FOR APPROVAL.
10. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO SUBMIT SWITCHING LOCATIONS TO OWNER FOR APPROVAL. LIGHT FIXTURES NOT SHOWN IN DRAWINGS. CONTRACTOR TO COORDINATE DIRECTLY WITH OWNER.
11. HARD-WIRED SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS ARE DESIGNATED AS "SD" OR "S/COD" RESPECTIVELY ON PLANS. EXACT TYPES, QUANTITIES AND LOCATIONS TO BE INSTALLED TO MEET CODE.
12. REFER TO STRUCTURAL ENGINEERING DRAWINGS UNDER SEPERATE COVER FOR ALL NOTES, SPECIFICATIONS, LAYOUTS AND SIZING RELATED TO STRUCTURAL SCOPE.
13. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
14. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS AND TENANT DEMISING WALLS TO BE 2X6 CONSTRUCTION.
15. R13 BATT INSULATION TO BE PROVIDED IN ALL BEDROOM AND BATHROOM WALLS AND FLOORS AND R19 BATT INSULATION TO BE PROVIDED IN 2X6 DEMISING WALL.

DIMENSIONAL REQUIREMENTS:

ZONING RA	REQUIRED:	ACTUAL:
A. MIN LOT SIZE	10,000	UNCHANGED (5,110 SF)
B. MIN LOT AREA / DWELLING UNIT	2250	2 UNITS W/ 2,555 SF EACH, CONFORMING
C. MAX GROUND COVERAGE	50% (2555 SF)	1934 SF, CONFORMING
D. MIN LANDSCAPED AREA	25% (1277.5SF)	2094 SF, CONFORMING
E. MAX FAR	.75 = 3832.5 SF	3533 SF, CONFORMING
F. MAX HEIGHT	35', 2 1/2 STORIES	31'-8", 2.5 STORIES, CONFORMING
G. MIN FRONT YARD	15'	15', CONFORMING
H. MIN SIDE YARD	8'-0" AND 9'-0"	8'-0" AND 9'-0", CONFORMING
I. MIN REAR YARD	20'-0"	20', CONFORMING
J. MIN FRONTAGE	50'	UNCHANGED

- FOOTNOTES:
- 8.6.5a BAYS, BALCONIES, STEPS, DECKS, UNENCLOSED PORCHES MIN 10' FRONT SETBACK.
 - 8.6.5c 3.5' HEIGHT RESTRICTION W/IN 20' DIAGONAL OF CORNER.
 - 8.6.6 PROJECTIONS INTO SIDE YARD SETBACK - MAX 1/3 LENGTH (BAY), MAX 1/4 PROJECTION.
 - 8.6.8 CORNER LOT MAY DESIGNATE SIDE LOT LINE.

FAR BASED ON NET LIVING AREA (2.2.58) WHICH EXCLUDES HALLS, STAIRS, CLOSETS, STORAGE, UNFINISHED SPACES, UNHEATED SPACES, EXTERIOR WALL THICKNESS, ATTIC SPACE BELOW 5'H.
2.2.155 HALF STORY - INTERSECTION OF BOTTOM OF RAFTERS & INTERIOR FACE OF EXTERIOR WALL MUST BE < 2'. DORMERS <50%.

CONSTRUCTION DOCUMENTS
AUGUST 10, 2012
REVISED AUGUST 14, 2013

ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R38 ROOF R-VALUE, R20 WALL R-VALUE, R30 FLOOR R-VALUE, R20 BASEMENT WALL VALUE, R10 SLAB R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

DRAWING LIST

A1	COVER SHEET
A2	SITE DIAGRAM
A3	BASEMENT PLAN
A4	FIRST FLOOR PLAN
A5	SECOND FLOOR PLAN
A6	THIRD FLOOR PLAN
A7	ROOF PLAN
A8.1	ELEVATIONS
A8.2	ELEVATIONS
A8.3	ELEVATIONS
A9	WALL SECTIONS

WINDOW SCHEDULE:

- WINDOW A: 2'-8"W X 1'-3"H SLIDING BASEMENT WINDOW.
- WINDOW B: 2'-0"W X 1'-3"H SLIDING BASEMENT WINDOW.
- WINDOW C: 2'-6"W X 3'-8"H DOUBLE HUNG, SILL AT 3'-6" AFF, TYP.
- WINDOW D: 3'-0"W X 5'-0"H DOUBLE HUNG, SILL AT 2'-2" AFF, TYP (EXCEPT 4 THIRD FLOOR DORMER WINDOWS W/ SILL AT 3'-6" AFF) EGRESS WINDOW IN BEDROOMS - NET CLEAR OPENING MIN 3.3SF, 24"H AND 20"W.
- WINDOW E: 3'-10"W X 5'-0"H DOUBLE HUNG, SILL AT 2'-2" AFF, TYP. EGRESS WINDOW IN BEDROOMS - NET CLEAR OPENING MIN 3.3SF, 24"H AND 20"W.
- WINDOW F: 2'-0"W X 5'-0"H DOUBLE HUNG, SILL AT 2'-2" AFF, TYP.
- WINDOW G: 2'-0" X 4'-0" SKYLIGHT.
- WINDOW H: 1'-6"W X 5'-0"H FIXED GLASS, SILL AT 2'-2" AFF, TYP.
- WINDOW I: 1'-6" OCTAGON WINDOW, FIXED GLASS.

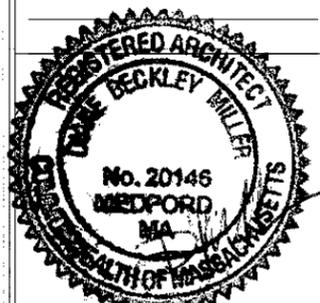
SYMBOL LEGEND

	SECTION
	DOOR TAG
	WINDOW TAG
	HARD WIRED SMOKE DETECTOR
	HARD WIRED SMOKE / CARBON MONOXIDE DETECTOR
	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	NEW LOW WALL

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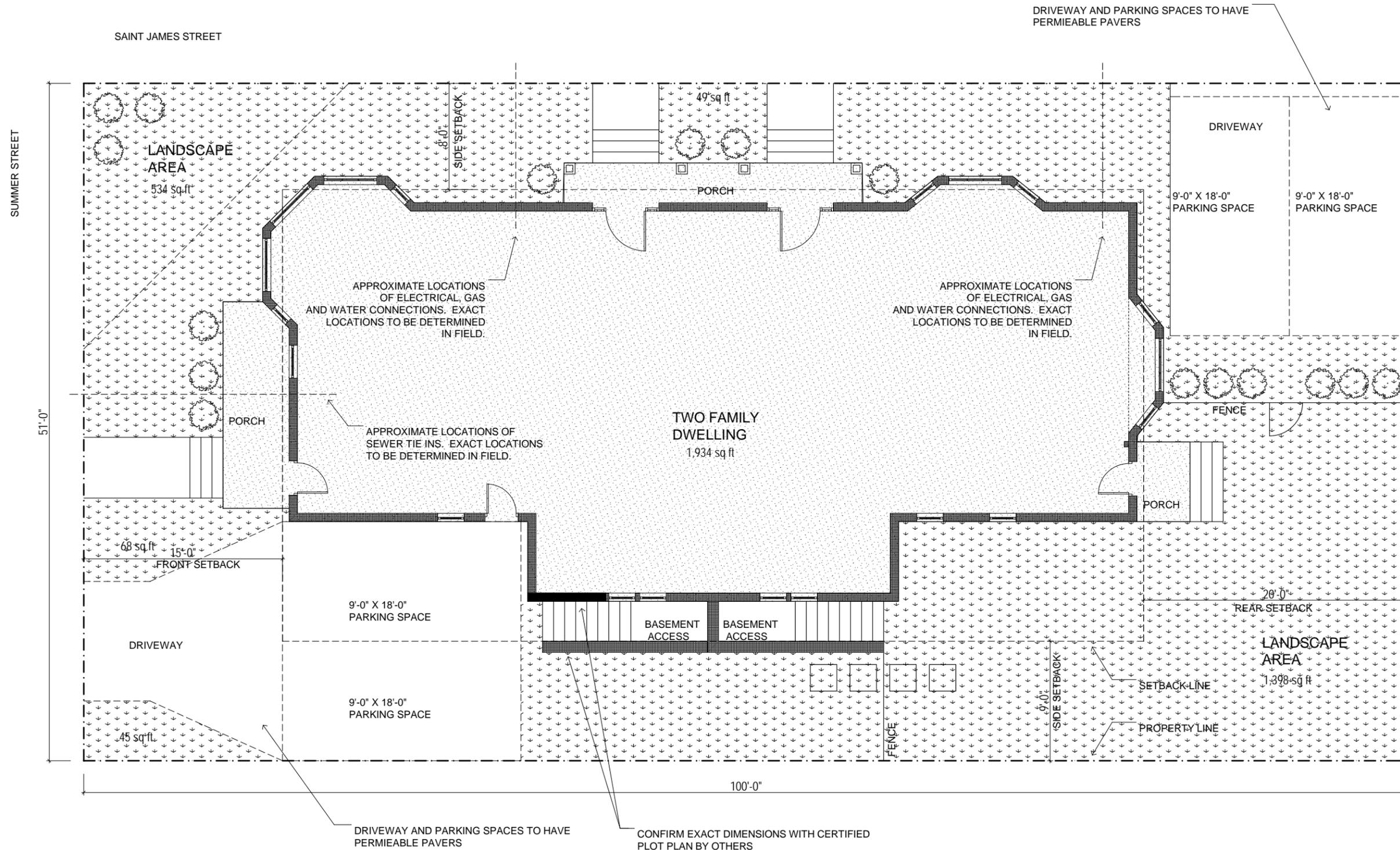


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COVER SHEET

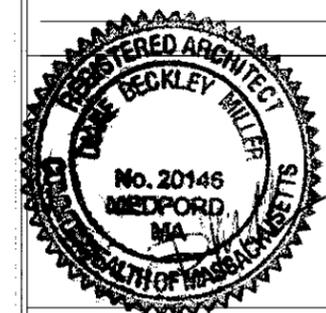
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SITE DIAGRAM

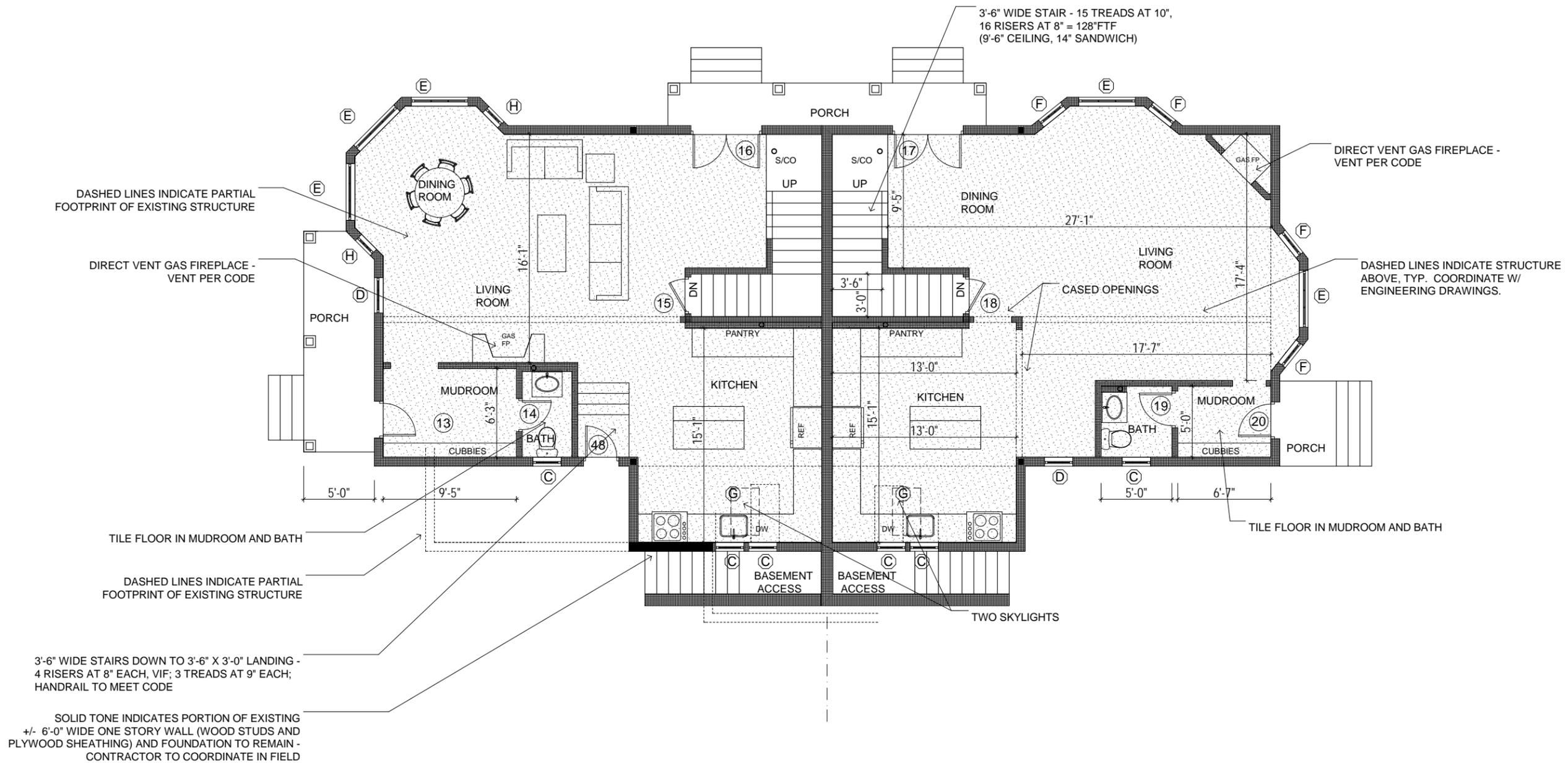
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LANDSCAPE AREA (PER 2.2.82):
551 + 41 + 1427 + 45 + 56 = 2120 SF

GROUND COVERAGE (PER 2.2.64): 1915 SF

NOTE: REFER TO CERTIFIED PLOT PLAN FOR EXACT SITE DIMENSIONS.





FAR CALC (UNIT 1):
737 sq ft

FAR CALC (UNIT 2):
740 sq ft

NOTES:
DOORS 16 AND 17 ARE DOUBLE 3'-0" W X 6'-8" H W/ 1'-0" H TRANSOMS - PRIMARY EGRESS DOORS. DOORS 13 AND 20 ARE 2'-8" W X 6'-8" H - SECONDARY EGRESS DOORS. DOOR 48 IS 2'-6" W X 6'-8" H EXTERIOR DOOR. ALL OTHER DOORS TO BE 2'-6" W X 6'-8" H, TYP.

NEW INTERIOR FINISHES TO BE: HARDWOOD FLOORS THROUGHOUT, 1/2" GWB WALLS & CEILINGS, WHITE TRIM, UNO.

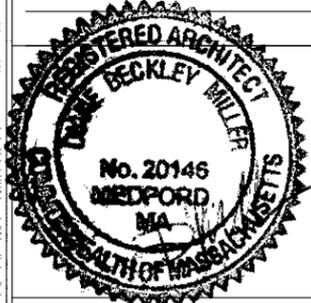
NOTE: REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL FRAMING AND WORK ASSOCIATED WITH LOAD-BEARING MEMBERS.



ONE HOUR RATED TENANT DEMISING WALL SECTION:
(WALL TO MEET UL DESIGN U327 SPECIFICATION)
5/8" GWB ON BOTH SIDES, 2X6 WOOD STUDS AT 16" OC,
RESILIENT 25 MSG GALV. STEEL CHANNEL (OAE) ON ONE SIDE,
MIN. 3" MINERAL WOOL BATT INSULATION (STC 50 RATING).
NOTE: DEMISING WALL TO EXTEND TO UNDERSIDE OF ROOF, TYP.

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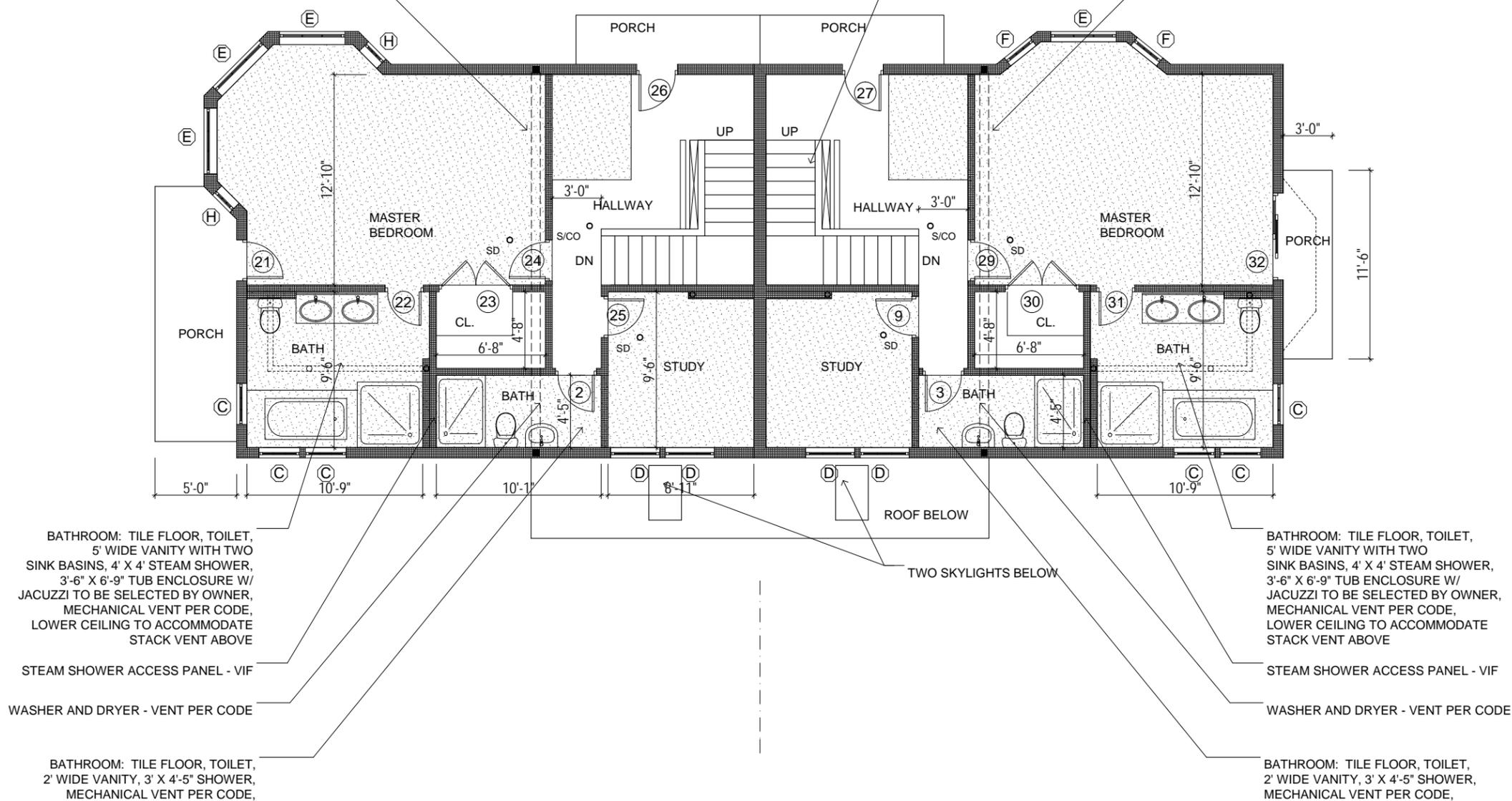
FIRST FLOOR PLAN

Sheet Number:
A4

DASHED LINES INDICATE STEEL BEAM IN CEILING ABOVE - CEILING TO BE FURRED OUT TO ACCOMMODATE DEPTH OF STEEL BEAM - SEE FRAMING PLANS

3' WIDE STAIR - 15 TREADS AT 10", 16 RISERS AT 8" = 128'FTF (9'-6" CEILING, 14" SANDWICH)

DASHED LINES INDICATE STEEL BEAM IN CEILING ABOVE - CEILING TO BE FURRED OUT TO ACCOMMODATE DEPTH OF STEEL BEAM - SEE FRAMING PLANS



BATHROOM: TILE FLOOR, TOILET, 5' WIDE VANITY WITH TWO SINK BASINS, 4' X 4' STEAM SHOWER, 3'-6" X 6'-9" TUB ENCLOSURE W/ JACUZZI TO BE SELECTED BY OWNER, MECHANICAL VENT PER CODE, LOWER CEILING TO ACCOMMODATE STACK VENT ABOVE

STEAM SHOWER ACCESS PANEL - VIF

WASHER AND DRYER - VENT PER CODE

BATHROOM: TILE FLOOR, TOILET, 2' WIDE VANITY, 3' X 4'-5" SHOWER, MECHANICAL VENT PER CODE,

BATHROOM: TILE FLOOR, TOILET, 5' WIDE VANITY WITH TWO SINK BASINS, 4' X 4' STEAM SHOWER, 3'-6" X 6'-9" TUB ENCLOSURE W/ JACUZZI TO BE SELECTED BY OWNER, MECHANICAL VENT PER CODE, LOWER CEILING TO ACCOMMODATE STACK VENT ABOVE

STEAM SHOWER ACCESS PANEL - VIF

WASHER AND DRYER - VENT PER CODE

BATHROOM: TILE FLOOR, TOILET, 2' WIDE VANITY, 3' X 4'-5" SHOWER, MECHANICAL VENT PER CODE,

FAR CALC (UNIT 1):
406 sq ft
129 sq ft

FAR CALC (UNIT 2):
397 sq ft
132 sq ft

NOTES:

DOORS 21, 26 AND 27 ARE 2'-8"W X 6'-8"H GLAZED EXTERIOR DOORS. DOOR 32 IS 5'-0"W X 6'-8"H GLAZED SLIDING DOORS. DOORS 23 AND 30 ARE DOUBLE 2'-4" X 6'-8". ALL OTHER DOORS TO BE 2'-6"W X 6'-8"H, TYP.

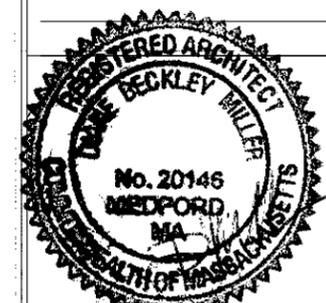
NEW INTERIOR FINISHES TO BE:
HARDWOOD FLOORS THROUGHOUT, 1/2" GWB WALLS & CEILINGS, WHITE TRIM, UNO.

NOTE: REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL FRAMING AND WORK ASSOCIATED WITH LOAD-BEARING MEMBERS.



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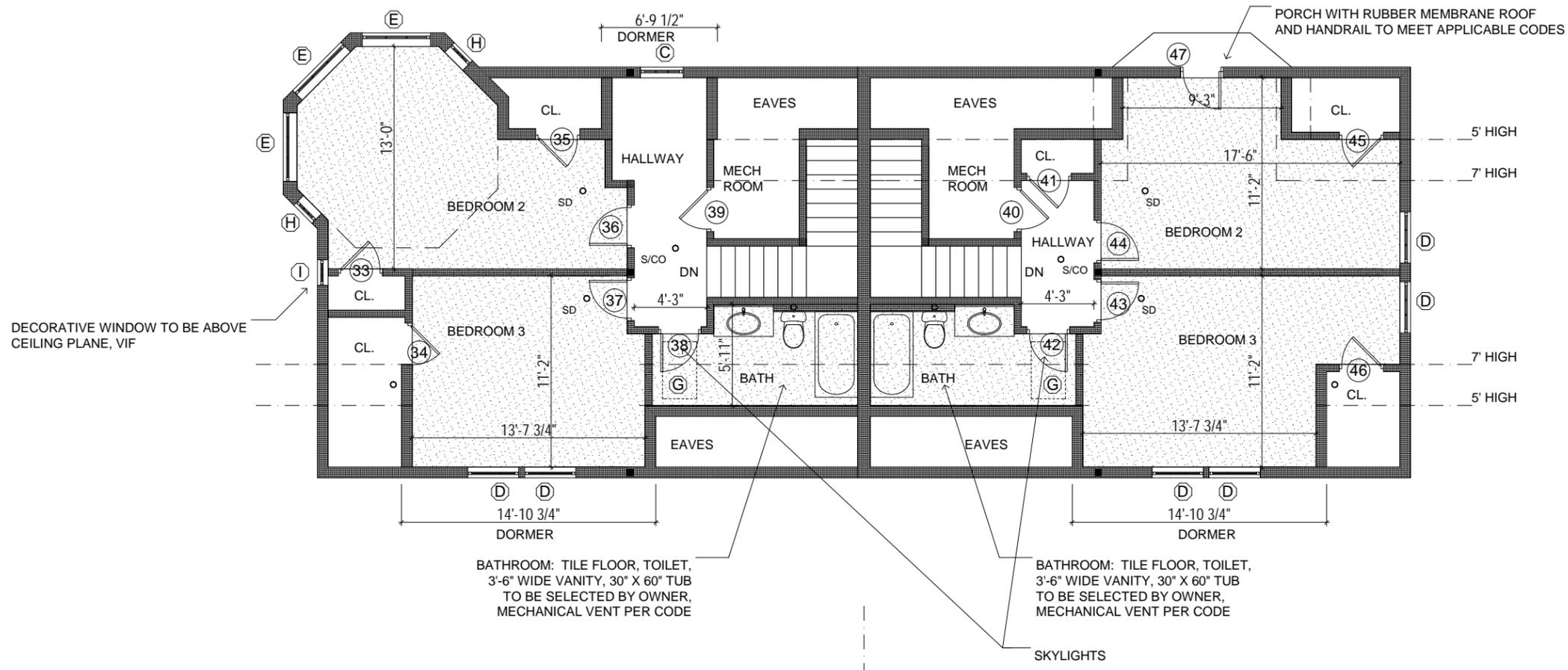
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SECOND
FLOOR PLAN

Sheet
Number:
A5



DECORATIVE WINDOW TO BE ABOVE CEILING PLANE, VIF

BATHROOM: TILE FLOOR, TOILET, 3'-6" WIDE VANITY, 30" X 60" TUB TO BE SELECTED BY OWNER, MECHANICAL VENT PER CODE

BATHROOM: TILE FLOOR, TOILET, 3'-6" WIDE VANITY, 30" X 60" TUB TO BE SELECTED BY OWNER, MECHANICAL VENT PER CODE

SKYLIGHTS

FAR CALC (UNIT 1):
408 sq ft

FAR CALC (UNIT 2):
414 sq ft

NOTES:
DOORS 38 AND 42 TO BE 2'-4"W X 6'-6"H TO ACCOMMODATE SLOPED CEILING. DOORS 35 AND 45 ARE 2'-6"W X 4'-8" H. DOOR 47 IS A 2'-8"W X 6'-8"H GLAZED EXTERIOR DOOR. ALL OTHER DOORS TO BE 2'-6"W X 6'-8"H, TYP.

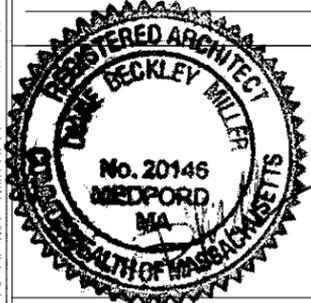
NEW INTERIOR FINISHES TO BE:
HARDWOOD FLOORS THROUGHOUT, 1/2" GWB WALLS & CEILINGS, WHITE TRIM, UNO.

NOTE: REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL FRAMING AND WORK ASSOCIATED WITH LOAD-BEARING MEMBERS.



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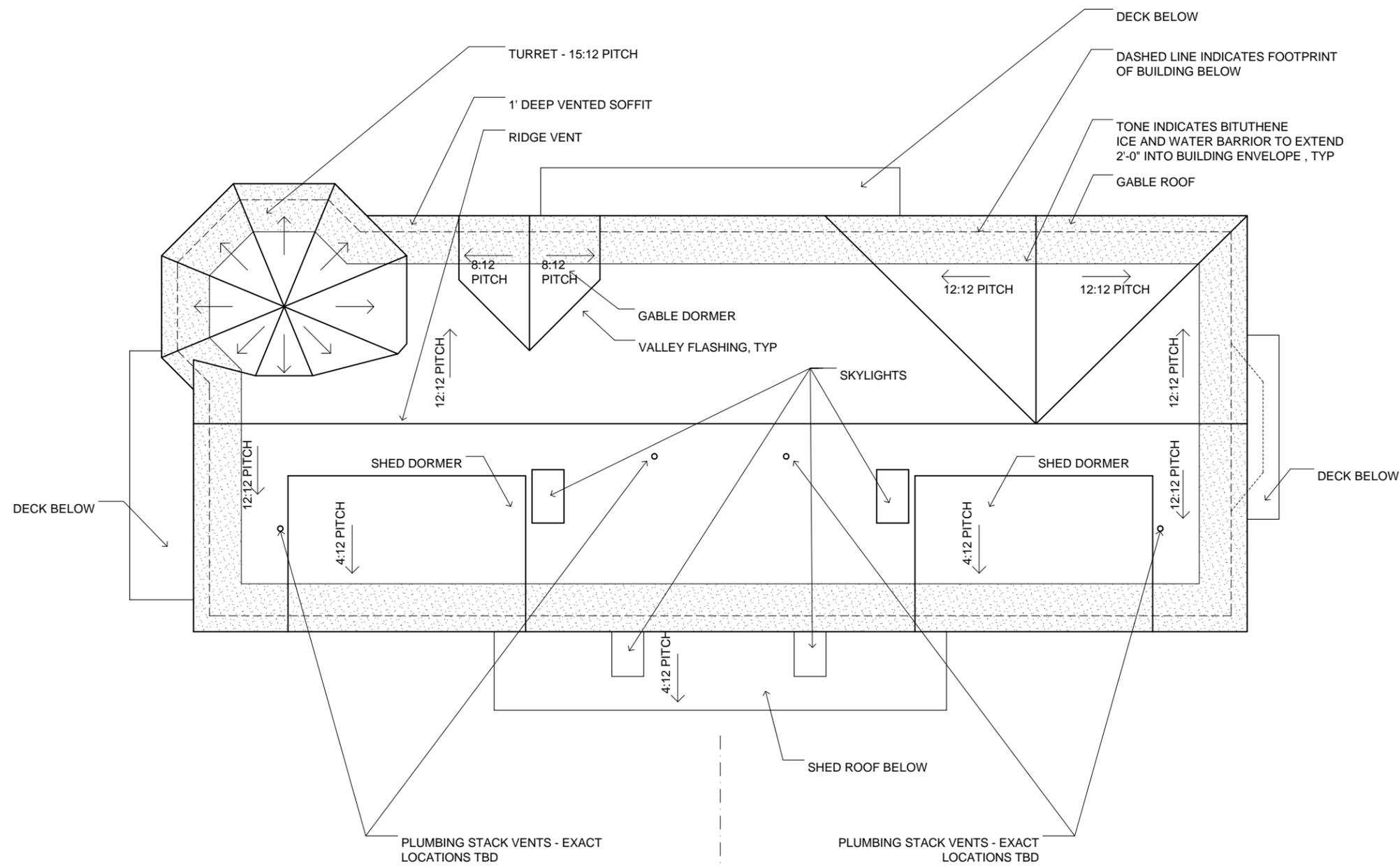


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THIRD
FLOOR PLAN

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A6

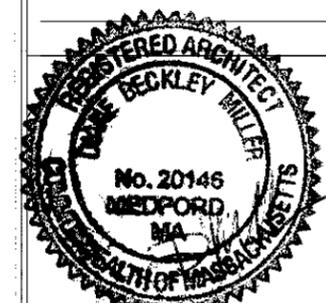


NOTE: REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL FRAMING AND WORK ASSOCIATED WITH LOAD-BEARING MEMBERS.



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ROOF PLAN

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A7

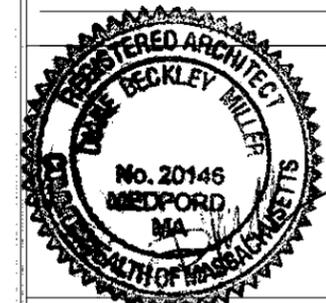


1 SAINT JAMES AVE ELEVATION
SCALE: 1/8" = 1'



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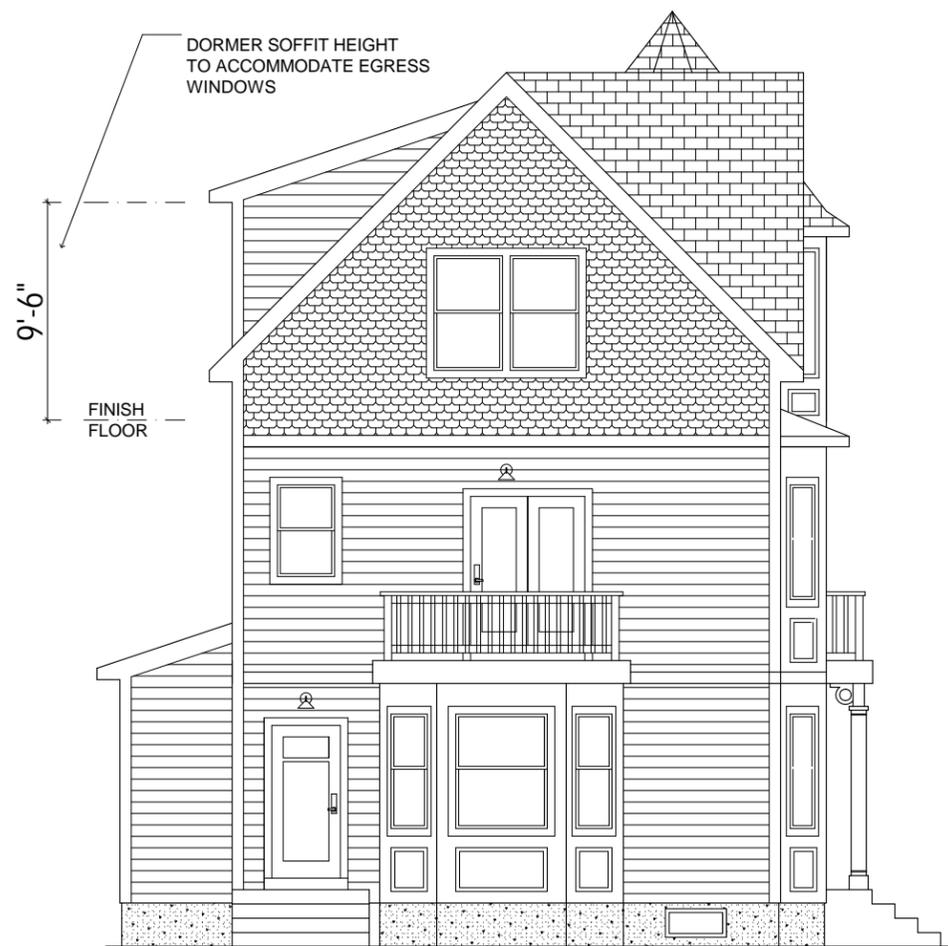
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ELEVATIONS

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A8.1



2 SUMMER STREET ELEVATION
SCALE: 1/8" = 1'

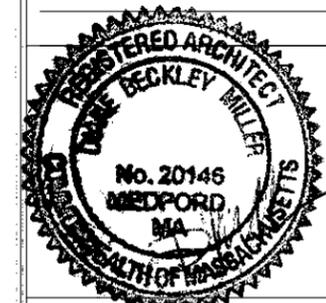


3 REAR ELEVATION
SCALE: 1/8" = 1'



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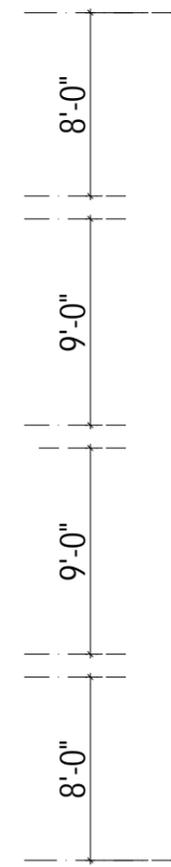


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ELEVATIONS

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A8.2

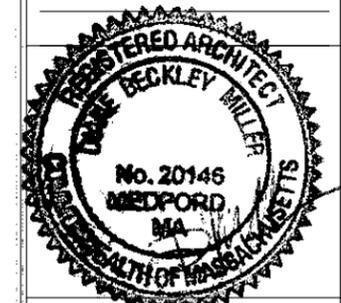


4 SIDE ELEVATION
SCALE: 1/8" = 1'



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Sheet Number:

A8.3

ATTIC FLOOR / CEILING ASSEMBLY:
 HARDWOOD FLOORING (FINISHED AREAS ONLY)
 3/4" TONGUE & GROOVE SUBFLOOR
 SEE FRAMING DRAWINGS FOR FLOOR JOISTS AND BRIDGING
 R-20 BATT INSULATION
 VAPOR BARRIER ON UNDERSIDE OF INSULATION
 1" STRAPPING AT 16" O.C.
 3/8" GWB CEILING

ROOF ASSEMBLY:
 50 YEAR ASPHALT ROOF SHINGLES
 NO. 15 BUILDING PAPER
 BITUTHENE ICE AND WATER BARRIER
 PLYWOOD SHEATHING
 SEE FRAMING PLAN FOR STRUCTURE
 RAFT-R-MATE VENTILATION CHANNELS
 R38 BATT INSULATION
 1" STRAPPING AT 16" OC
 3/8" GWB CEILING
 GUTTERS WITH LEAF GUARD

SEE 1/A9 FOR TYPICAL EXTERIOR WALL ASSEMBLY
 WALL FLASHING TO EXTEND ON TOP OF RUBBER ROOF
 LVL BEAM - HOLD BOTTOM FLUSH -
 SEE STRUCTURAL DRAWINGS FOR FRAMING, TYP

SECOND FLOOR / CEILING ASSEMBLY:
 HARDWOOD FLOORING OR
 CERAMIC TILE, THINSET, 1/4" BACKER BD
 3/4" T&G SUBFLOOR
 SEE FRAMING DRAWINGS FOR
 FLOOR JOISTS AND BRIDGING
 R20 BATT INSULATION
 1" STRAPPING AT 16" O.C.
 3/8" GWB CEILING

BLOCKING
 VENTED SOFFIT
 EXTERIOR WALL ASSEMBLY:
 FIBER CEMENT SIDING
 #15 ASPHALT IMPREGNATED FELT PAPER
 1/2" CDX PLYWOOD SHEATHING
 2X6 WOOD STUDS @ 16" O.C.
 R20 HIGH DENSITY BATT INSULATION
 6 MIL. POLY VAPOR BARRIER
 1/2" GWB ON INTERIOR

BALCONY ASSEMBLY:
 FLOATING DECK W/ COMPOSITE DECKING TO BE SELECTED BY OWNER
 USE RIPPED PORTION OF PT JOISTS AS SLEEPERS TO ACHIEVE LEVEL DECK
 (FASTENERS ARE NOT TO PENETRATE RUBBER MEMBRANE)
 RUBBER ROOF MEMBRANE
 3/4" PLYWOOD ROOF SHEATHING
 SEE STRUCTURAL DRAWINGS FOR FRAMING, TYP
 JOISTS TO BE RIPPED TO ACHIEVE 1/4" / FOOT SLOPE AWAY FROM HOUSE
 BATT INSULATION
 1" STRAPPING AT 16" OC
 3/8" GWB CEILING
 4X4 RAILING POSTS BOLTED TO DECK STRUCTURE -
 RAILING TO BE MIN 3'-6" HIGH W/ VERTICAL BALUSTERS AT 4" OC
 SOFFIT BOARD
 INVERTED SIMPSON JOIST HANGER, EACH JOIST TO DOUBLE 2X8 BAND JOIST
 1/2" DIAM X 7" LONG LAG SCREWS AT POST

2 SECTION AT REAR BALCONY
 SCALE: 1/4" = 1'

FIRST FLOOR ASSEMBLY:
 HARDWOOD FLOORING OR
 CERAMIC TILE, THINSET, 1/4" BACKER BD
 3/4" T&G SUBFLOOR
 SEE FRAMING DRAWINGS FOR
 FLOOR JOISTS AND BRIDGING
 R38 BATT INSULATION
 1" STRAPPING AT 16" OC
 3/8" GWB CEILING

1'-6"H KNEE WALL, TYP
 2-2X6 PT PLATE W/ 1/2" DIAM ANCHOR BOTLS AT 4'-0" OC,
 SILL SEALER & FLASHING
 POUROUS, SANDY BACKFILL
 TOPPED WITH LOAM AND
 SLOPED AWAY FROM FOUNDATION,
 TYP. AT ALL PERIMETER LOCATIONS

2 - #5 TOP & BOTTOM
 WATERPROOFING MEMBRANE
 10" THICK CONCRETE FOUNDATION WALL -
 (SEE STRUCTURAL NOTES)
 PT2X6 STUDS AT 16" OC
 R-20 UNFACED INSULATION
 1/2" GWB (BOTTOM HELD 2" ABOVE FLOOR)
 BASE TRIM

SLAB ISOLATION JOINT W/ SEALER, TYP
 R-5 UNFACED RIGID INSULATION (THERMAL
 BREAK BETWEEN SLAB AND FOUNDATION)
 1'-0" X 2'-0" CONT. FOOTINGS AT 4'-0"
 BELOW GRADE, MIN W/ 2X4 KEYWAY

BASEMENT FLOOR ASSEMBLY:
 ENGINEERED WOOD FLOORING
 DRICORE SUBPANELS
 4" REINF. CONCRETE SLAB
 MIN 10 MIL. POLYETHYLENE VAPOR BARRIER
 2" THICK R-10 RIGID INSULATION
 MIN 4" COMPACTED GRAVEL FILL

4" PERFORATED PIPE W/
 FILTER FABRIC AND MIN 2" GRAVEL FILL
 ON ALL SIDES - LOCATED LEVEL W/ BASE
 OF FTG AND AT LEAST 1'-0" AWAY FROM
 FTG - TIE IN TO STORM DRAIN SYSTEM

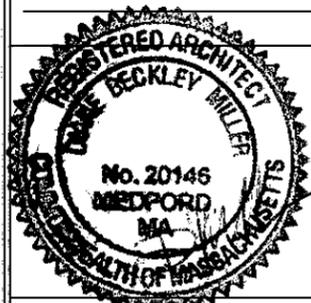
NOTE: REFER TO STRUCTURAL
 ENGINEERING DRAWINGS FOR ALL
 FRAMING AND WORK ASSOCIATED
 WITH LOAD-BEARING MEMBERS.



1 TYPICAL WALL SECTION
 SCALE: 1/4" = 1'

Architect:
 Miller Design LLC
 52 Statler Road
 Belmont MA 02478
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Date:	Issued for:
5/28/12	SCHEMATIC DESIGN
6/12/12	DESIGN DEVELOPMENT
8/10/12	CONSTRUCTION DOCS
2/21/13	REVISION 1
5/20/13	REVISION 2
7/10/13	REVISION 3
8/8/13	REVISION
8/14/13	REVISION



THE RESIDENCE
 336 SUMMER ST
 SOMERVILLE MA

SECTION

Sheet Number:

A9