

Perez Residence

252 Summer St
Somerville, MA 02143

GENERAL DEMOLITION NOTES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH BOTH THE DESIGN DOCUMENTS AND THE EXISTING BUILDING PRIOR TO CONSTRUCTION. SHOULD A CONFLICT ARISE BETWEEN THE DRAWINGS AND BUILDING, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY.

DEMOLITION AS NOTED ON DRAWINGS. CONTRACTOR TO COORDINATE DEMOLITION TO ACCOMMODATE NEW WORK. PROJECT TO BE LEFT BROOM CLEAN DAILY.

PROTECT EXIST'G CONSTRUCTION WHICH COULD BE DETRIMENTALLY AFFECTED BY THE PERFORMANCE OF DEMOLITION WORK; INCLUDING BUT NOT LIMITED TO ALL FLOORS AND FINISHES TO REMAIN.

THE CONTRACTOR SHALL INVESTIGATE THE SITE AND AVAILABLE DOCUMENTATION TO ASSURE HIMSELF OF THE CONDITION OF THE WORK TO BE DEMOLISHED AND SHALL TAKE ALL PRECAUTIONS TO ENSURE SAFETY OF PERSONS AND PROPERTY.

EXERCISE CARE IN REMOVING SALVAGEABLE ITEMS SCHEDULED FOR REUSE. STORE SUCH ITEMS IN AN AREA APPROVED BY THE OWNER, AND PROTECT FROM DAMAGE DURING SUCH STORAGE. CLEAN ITEMS AS NECESSARY FOR REUSE PRIOR TO STORAGE.

EXISTING FIRE AND SMOKE DETECTION SYSTEM TO REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION.

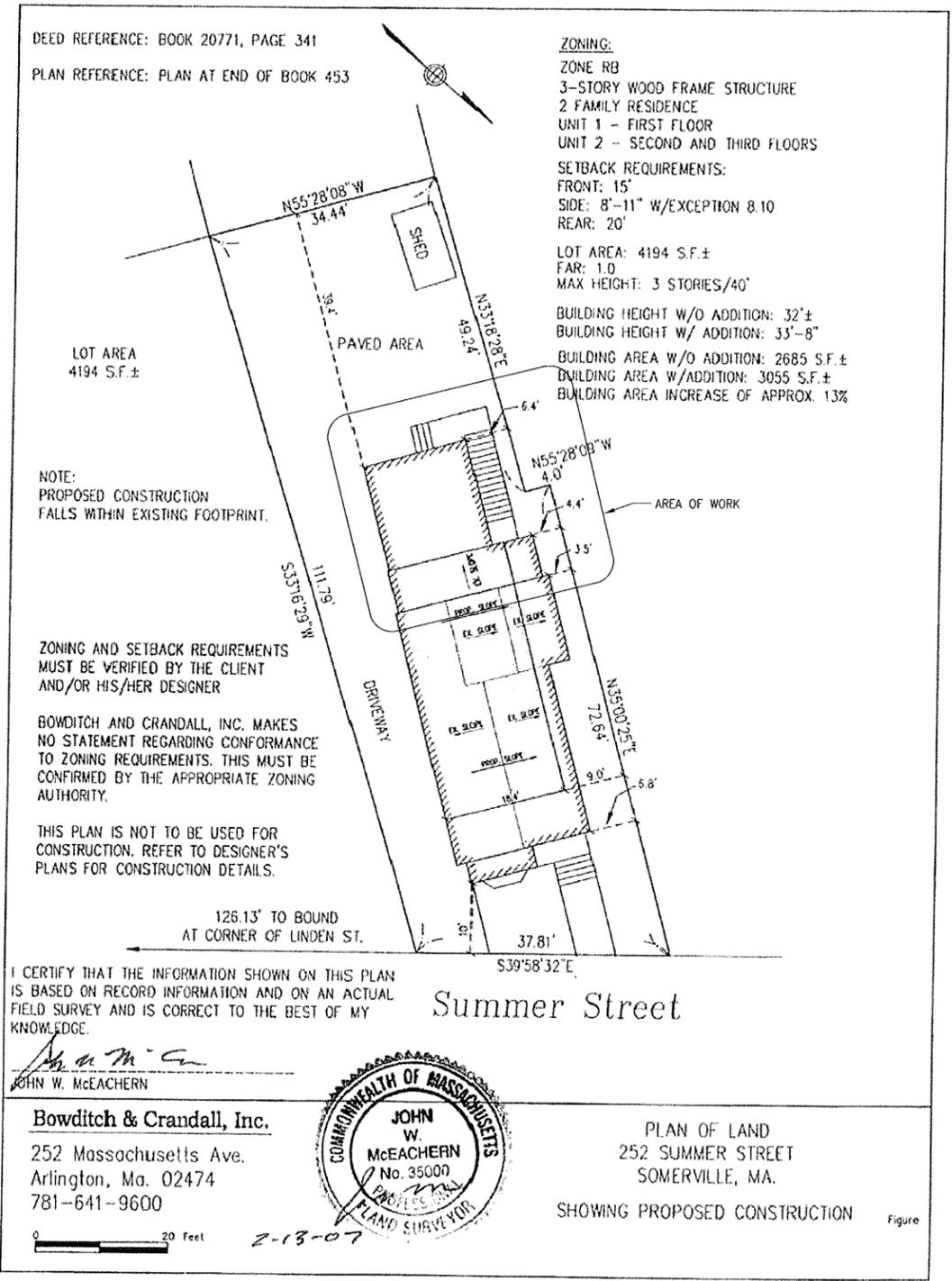
PROVIDE ADEQUATE SHORING AND BRACING TO CARRY LOADS AND STRESSES WITHSTOOD BY ITEMS REMOVED, AND BE RESPONSIBLE FOR ADEQUACY OF SUCH CONSTRUCTION AS WELL AS FOR ANY DAMAGE TO EXIST'G BUILDINGS.

PROCEED WITH DEMOLITION SYSTEMATICALLY, COORDINATE DEMOLITION WITH CONSTRUCTION TO REMAIN. DEMOLISH IN SMALL SECTIONS AND AVOID OVERLOADING STRUCTURE AND UTILITIES.

SELECTIVELY DEMOLISH ITEMS TO BE REMOVED AND LEGALLY REMOVE FROM SITE. USE DEMOLITION METHODS WITHIN LIMITATIONS OF GOVERNING REGULATIONS. MATERIALS NOT INDICATED FOR REUSE OR RESERVED FOR OWNER, AS WELL AS RUBBLE AND DEBRIS RESULTING FROM THESE OPERATIONS, BECOME THE PROPERTY OF THE CONTRACTOR. LEGALLY REMOVE FREQUENTLY FROM SITE.

252 Summer st.
Zoning District RB- Residence B

SIDE YARD SETBACK: 7'-0" SUM OF 15'-0" (Footnote 10)



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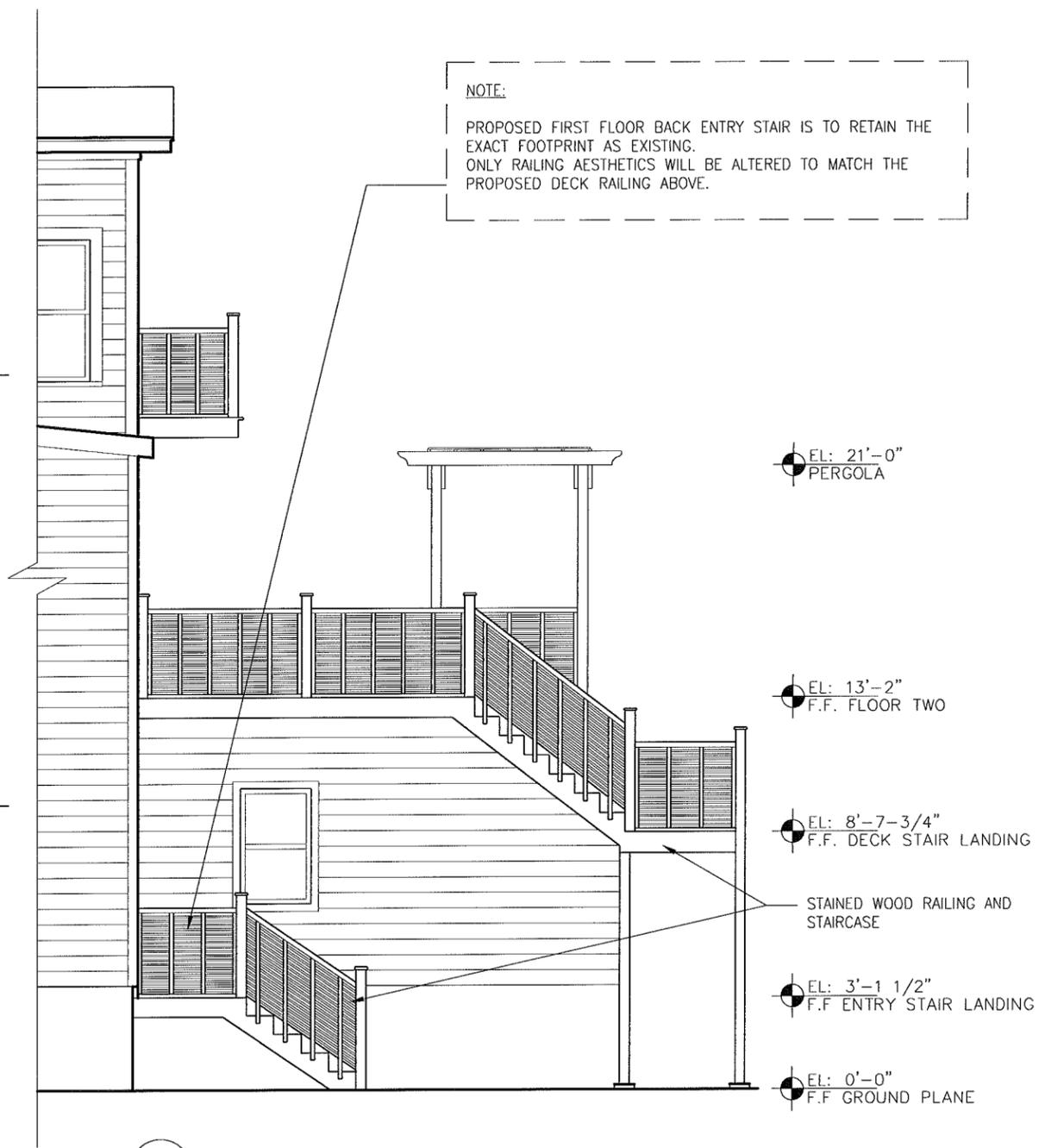
BROWN FENOLLOSA ARCHITECTS INC
197 BROADWAY ARLINGTON, MA 02474
P. 781 641 9500 info@brownfenollosa.com

Rev.:	Date:	Remarks:
		SUBMISSION TO ZBA
		08.18.12
TITLE PAGE AND SITE SURVEY		
Date:	18 SEPT 12	
Scale:	AS NOTED	
Project Number:		
Drawn by:	ZB	

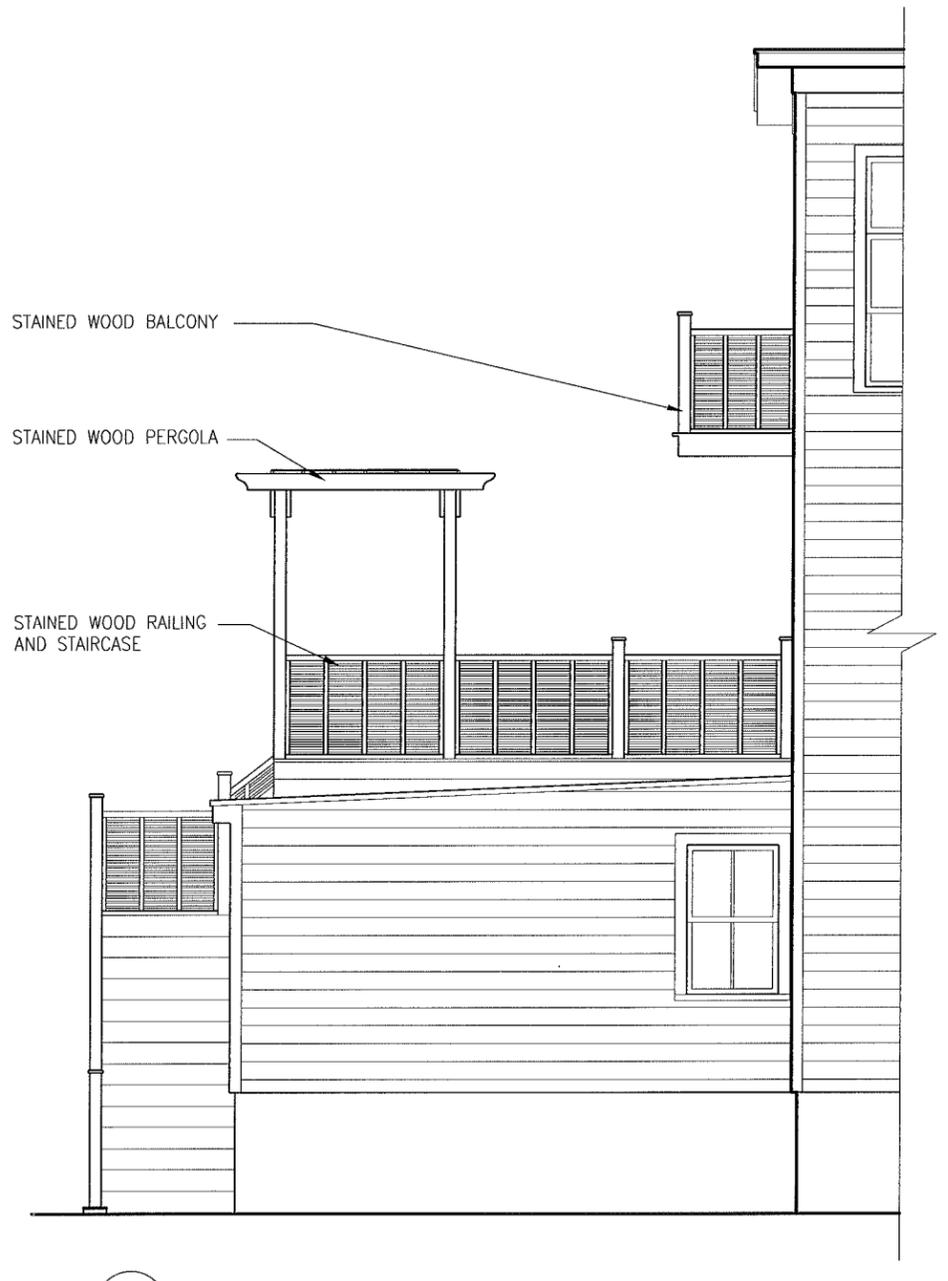
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1 SITE SURVEY
SCALE: NTS

NOTE:
 PROPOSED FIRST FLOOR BACK ENTRY STAIR IS TO RETAIN THE EXACT FOOTPRINT AS EXISTING. ONLY RAILING AESTHETICS WILL BE ALTERED TO MATCH THE PROPOSED DECK RAILING ABOVE.



1 PROPOSED WEST ELEVATION
 SCALE: 1/2" = 1'-0"



2 PROPOSED EAST ELEVATION
 SCALE: 1/2" = 1'-0"

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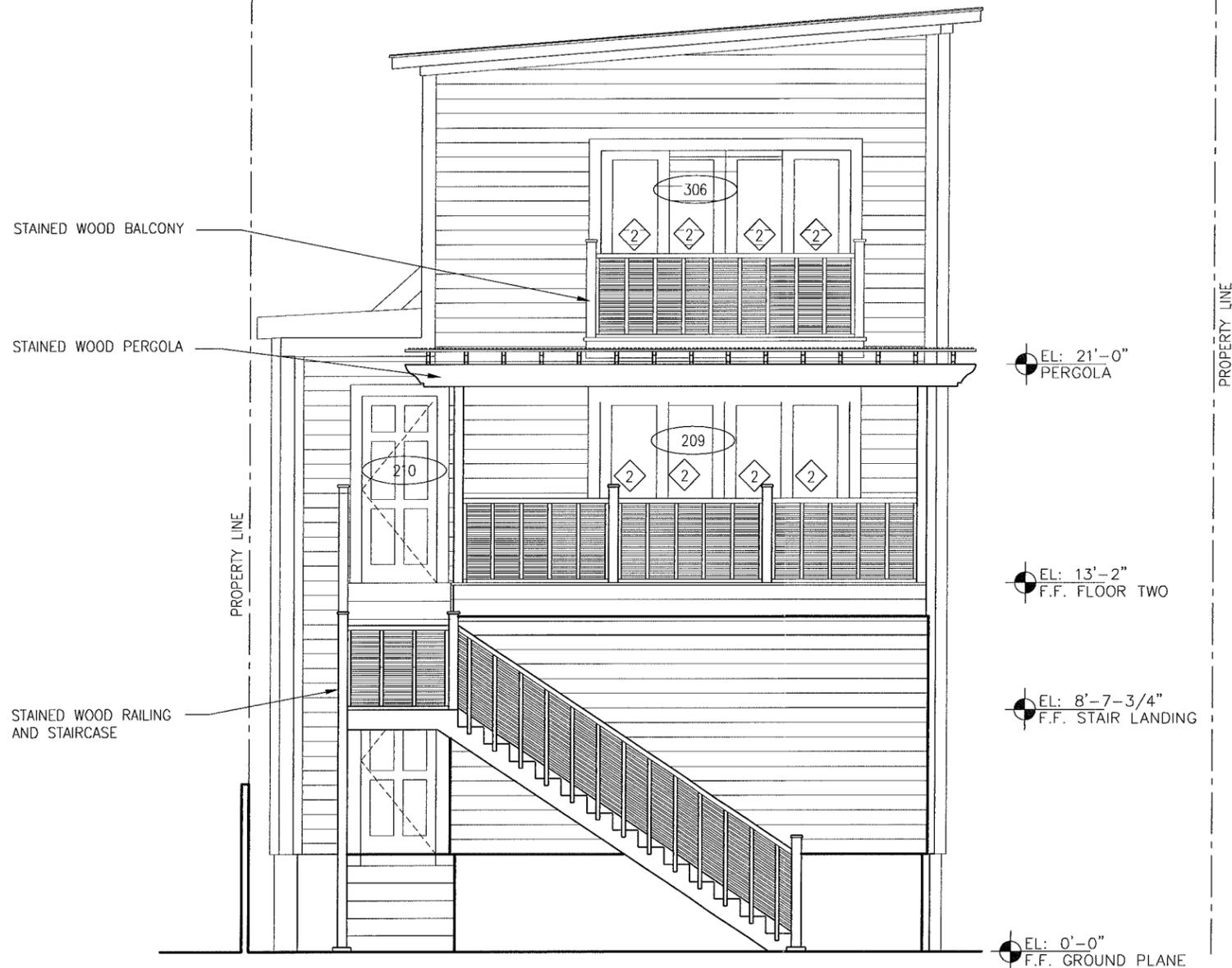
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PROPOSED REAR ROOF DECK AND STAIR ELEVATIONS

Date: 18 SEPT 12
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A2.0



STAINED WOOD BALCONY

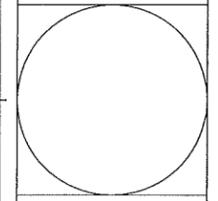
STAINED WOOD PERGOLA

STAINED WOOD RAILING AND STAIRCASE

3 PROPOSED SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

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1	09.18.12	SUBMISSION TO ZBA

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