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S.P.C.D. AND
PLANNING DEPT.

SUMMER STREET

CONC. SIDEWALK
CURB LINE

2012 MAR 15 AM 11:20

PLAN BK. 50, PLAN No. 41

N/F
HARRIS L. GRUMAN
& GIULIANA MINGHELLI
BK. 33684, PG. 522
TAX ID 36-B-2

N/F
ANTHONY R. & LENA F. GISO
BK. 11439, PG. 379
TAX ID 36-B-18

CONC. SIDEWALK
40.52'
CONC. WALL
W/ IRON FENCE
CURB LINE

CHAIN LINK FENCE

BIT. DRIVE

PORCH

2 STORY DWELLING

1 STORY PORTION

CONC.

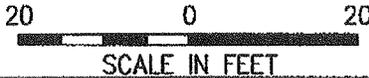
N/F
HENRIETTA HARRISON
BK. 47830, PG. 501
TAX ID 36-B-4

PROPOSED 2ND
STORY ADDITION
TO BE SET ON
EXISTING FIRST
FLOOR

FENCE

GARAGE

N/F
PATRICIA E. SMART
BK. 22890, PG. 335
TAX ID 36-B-17



Bryant

General Notes

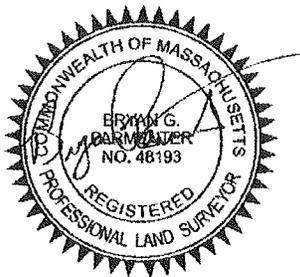
THE PROPERTY LINE AND EXISTING CONDITIONS ARE THE RESULT OF AN ACTUAL GROUND SURVEY CONDUCTED IN NOVEMBER 2011.

Plan References

PLAN BOOK 50, PLAN NUMBER 41

Current Owner

SALVATORE & LINDA FAZZOLARI
BK. 25813, PG. 196
TAX ID 36-B-3



PLAN OF LAND
IN
SOMERVILLE, MA

240 SUMMER STREET

SURVEY BY:
PFS LAND SURVEYING

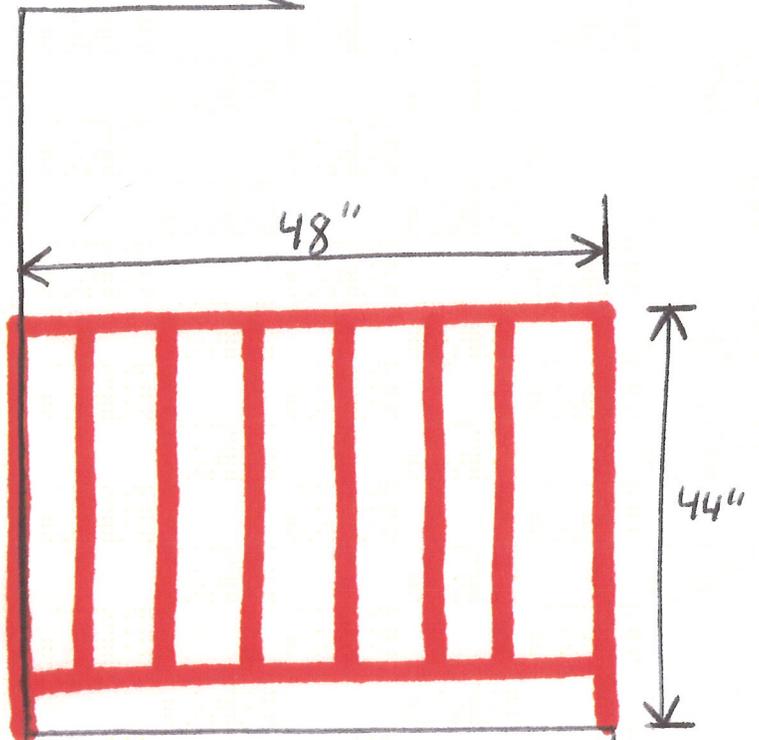
SCALE: 1"=20' DATE: 11/22/2011

PLANS DENIED
J. L. L. 2/20/12
SIGNATURE DATE

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1a) Railing: 44" h x 48" w x 12' L



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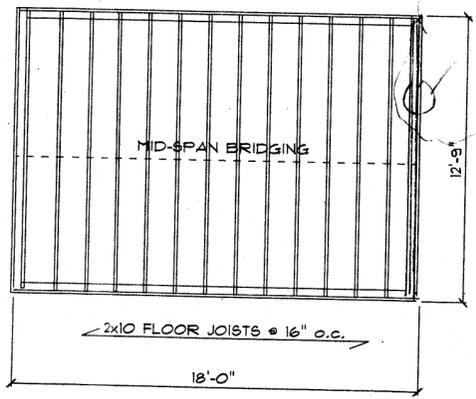
2012 MAR 15 AM 11: 20



2012 MAR 15 AM 11:23



M. Javid Malek
12-23-11



SECOND FLOOR FRAMING

SCALE: 3/16" = 1'-0"

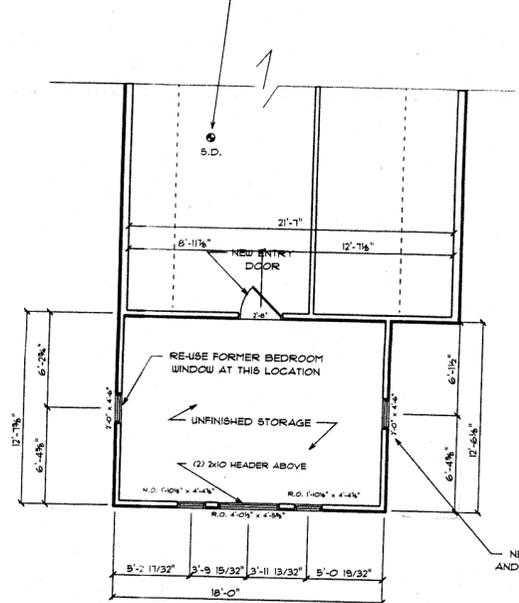
LIFE SAFETY DEVICES

ALL SMOKE ALARMS SHALL BE PHOTOELECTRIC TYPE SMOKE ALARMS LISTED IN ACCORDANCE WITH UL 217 OR UL 268, AND SHALL BE INTERCONNECTED AND INSTALLED IN ACCORDANCE WITH NFPA 72

ALL CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH M.G.L. c. 148 - SECTION 26F 1/2, 521 CHR 31.00, CARBON MONOXIDE ALARMS, 248 CHR, NFPA 720 AND THE MANUFACTURER'S INSTRUCTIONS

ENTIRE STRUCTURE TO BE UPGRADED WITH NEW SMOKE & CARBON MONOXIDE DETECTORS AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE (IRC) - SECTION R314.3.1 AND THE COMMONWEALTH OF MASSACHUSETTS RESIDENTIAL CODE AMENDMENTS - 2007 CHR 31.00, SECTION R315.4

NEW SMOKE DETECTOR & CARBON MONOXIDE DETECTORS TO BE INSTALLED (SEE NOTE THIS PAGE)



PROPOSED SECOND FLOOR

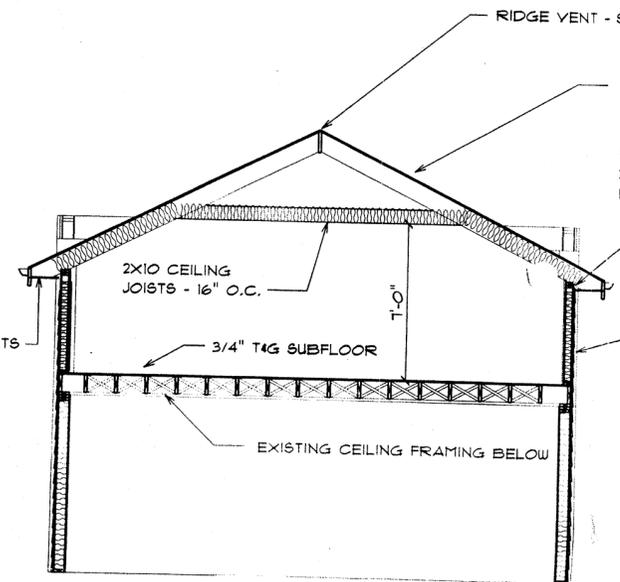
SCALE: 1/8" = 1'-0"

ALL WINDOWS SHALL BE ANDERSEN UNITS - DOUBLE PANE W/ LOW-E GLAZING

3-2x12 (LVLS) TO SUPPORT WALL & ROOF

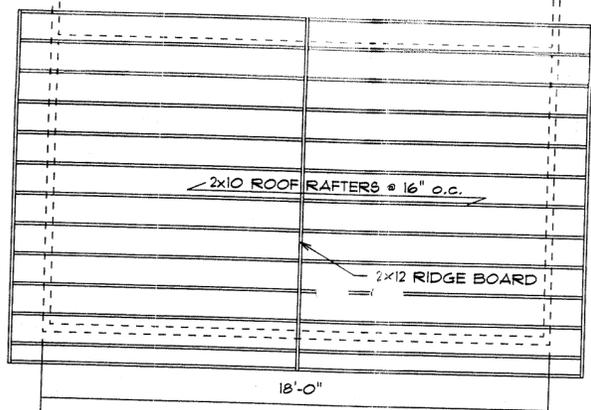
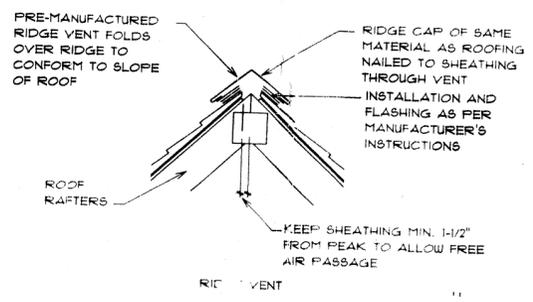
CONTRACTOR TO VERIFY ALL MEASUREMENTS & FIELD CONDITIONS AT SITE

SECOND FLOOR FRAMING SHOWN TO BE USED IF DEMOLITION OF FIRST FLOOR ROOF DOES NOT COMPLY WITH CURRENT BUILDING CODE CONTRACTOR TO FIELD VERIFY THIS CONDITION



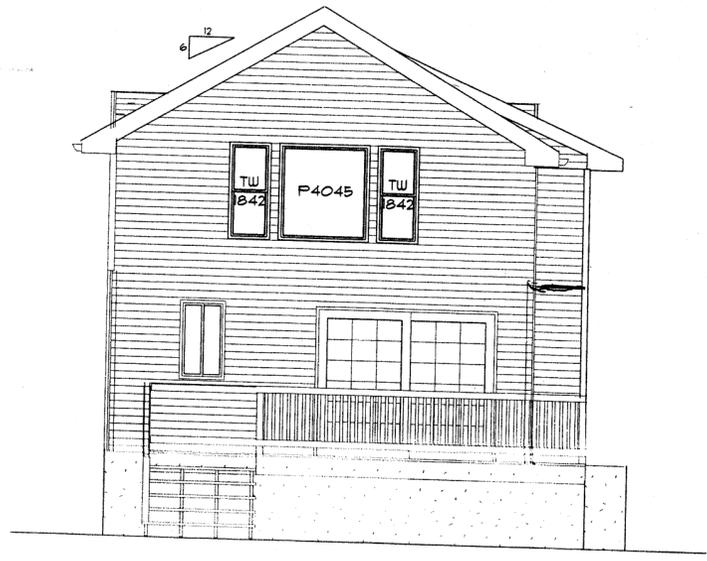
SECTION A-A

N.T.S.



ROOF FRAMING

SCALE: 3/16" = 1'-0"



REAR ELEVATION

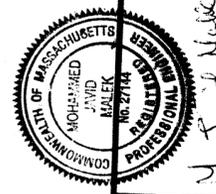
SCALE: 3/16" = 1'-0"

FRAMING/ GENERAL NOTES

- FLOOR AREA RATIO (FAR) = 1,782 SQ. FT. / 3,769 SF. = 48%
- FRAMING LUMBER TO BE SPUCE-PINE-FIR, #2 GRADE OR BETTER
- ALL WALL SHEATHING TO BE 1/2" CDX TYPE PLYWOOD WITH EXTERIOR GLUE
- SUBFLOOR TO BE 3/4" T&G STURDI-FLOOR
- ALL PLYWOOD SUBFLOORS TO BE GLUED TO THE FRAMING MEMBERS WITH AN APPROVED ADHESIVE PRIOR TO NAILING
- ALL JOISTS AND RAFTERS TO HAVE A MIN. 1 1/2" BEARING ON WOOD OR STEEL AND A MIN. 3" BEARING ON MASONRY, UNLESS SUPPORTED BY APPROVED METAL HANGERS
- JOISTS SHALL BE Laterally SUPPORTED AT POINTS OF SUPPORT BY FULL-DEPTH SOLID BLOCKING
- CONTRACTOR SHALL MONITOR ALL SUB-CONTRACTORS TO ASSURE ALL CUTTING AND NOTCHING OF FRAMING MEMBERS IS PERFORMED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE (IRC 2009)
- ALL FASTENING OF LUMBER TO BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009)
- ALL HEADERS TO BE (2) 2x8'S UNLESS OTHERWISE NOTED
- ALL LUMBER USED IN EXTERIOR LOCATIONS TO BE PRESSURE-TREATED OR OTHER APPROVED TYPE OF MATERIALS TO RESIST DAMAGE FROM EXPOSURE TO THE WEATHER
- ALL JOIST AND BEAM HANGERS TO BE SIMPSON STRONG-TIE HANGERS
- ALL JOIST AND BEAM HANGERS TO BE FASTENED USING APPROVED JOIST HANGER NAILS
- CONTRACTOR TO USE PROPER BRACING METHODS DURING CONSTRUCTION TO ASSURE THE STRUCTURE CAN SAFELY SUPPORT ALL LOADS SO AS NOT TO OVERLOAD ANY AREA OF THE STRUCTURE

SCALE: AS SHOWN	DATE: DEC. 18, 2011
DRAWN BY: PFM	REVISED: 12/18/2011
SECOND FLOOR ADDITION	REV-1.2

SINGLE FAMILY DWELLING
240 SUMMER ST
SOMERVILLE, MA



M. Javid Malek
12-23-11
ME Consulting Engineers
407 Rear Mystic Ave. # 26
MEDFORD, MA 02155
Phone: (781) 398-9747
Fax: (781) 398-9882

VISION DESIGN & CONSTRUCTION, INC.
14 WESTERN AVENUE
WAKEFIELD, MA 01880
(781) 246-7571

PLANS DENIED
J. J. [Signature]
2/29/12
SIGNATURE DATE

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