

SPECIAL PERMIT APPLICATION

# ADDITION AND RENOVATION OF 346 SUMMER ST

346 SUMMER ST, SOMERVILLE, MA 02144

**PETER QUINN ARCHITECTS**  
 ARCHITECTURE  
 PLANNING  
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
 259 ELM STREET, SUITE 301  
 SOMERVILLE, MA 02144  
 PH 617-354-3989



SEAL

CONSULTANT

PROJECT

**ADDITION & RENOVATION**

346 SUMMER ST  
 SOMERVILLE, MA 02144

PREPARED FOR

DRAWING TITLE

**TITLE SHEET**

SCALE AS NOTED

REVISION	DATE
SP REV 1	11 NOV 2015
SP APPL	30 SEP 2015
DRAWN BY MY	REVIEWED BY PQ

SHEET

# T1

LIST OF DRAWINGS	SP APPL 30 SEP 2015	SP APPL REV 1 11 NOV 2015
<b>GENERAL</b>		
T1 TITLE SHEET	X	X
CERTIFIED PLOT PLAN	X	X
Z1 ZONING COMPLIANCE	X	X
Z2 ZONING COMPLIANCE	X	X
Z3 ZONING COMPLIANCE	X	X

ARCHITECTURAL		
A0 DIMENSIONAL SITE PLAN	X	X
A1 BASEMENT & 1ST FLOOR PLAN	X	X
A2 2ND FLOOR & ATTIC FLOOR PLAN	X	X
A3 ELEVATIONS - NORTH & EAST	X	X
A4 ELEVATIONS - SOUTH & WEST	X	X
EC1 EXISTING ELEVATIONS	X	X



**LOCUS PLAN**

PREPARED BY:

**ARCHITECT**

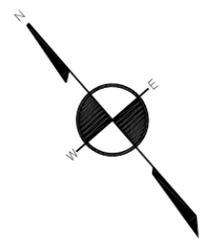
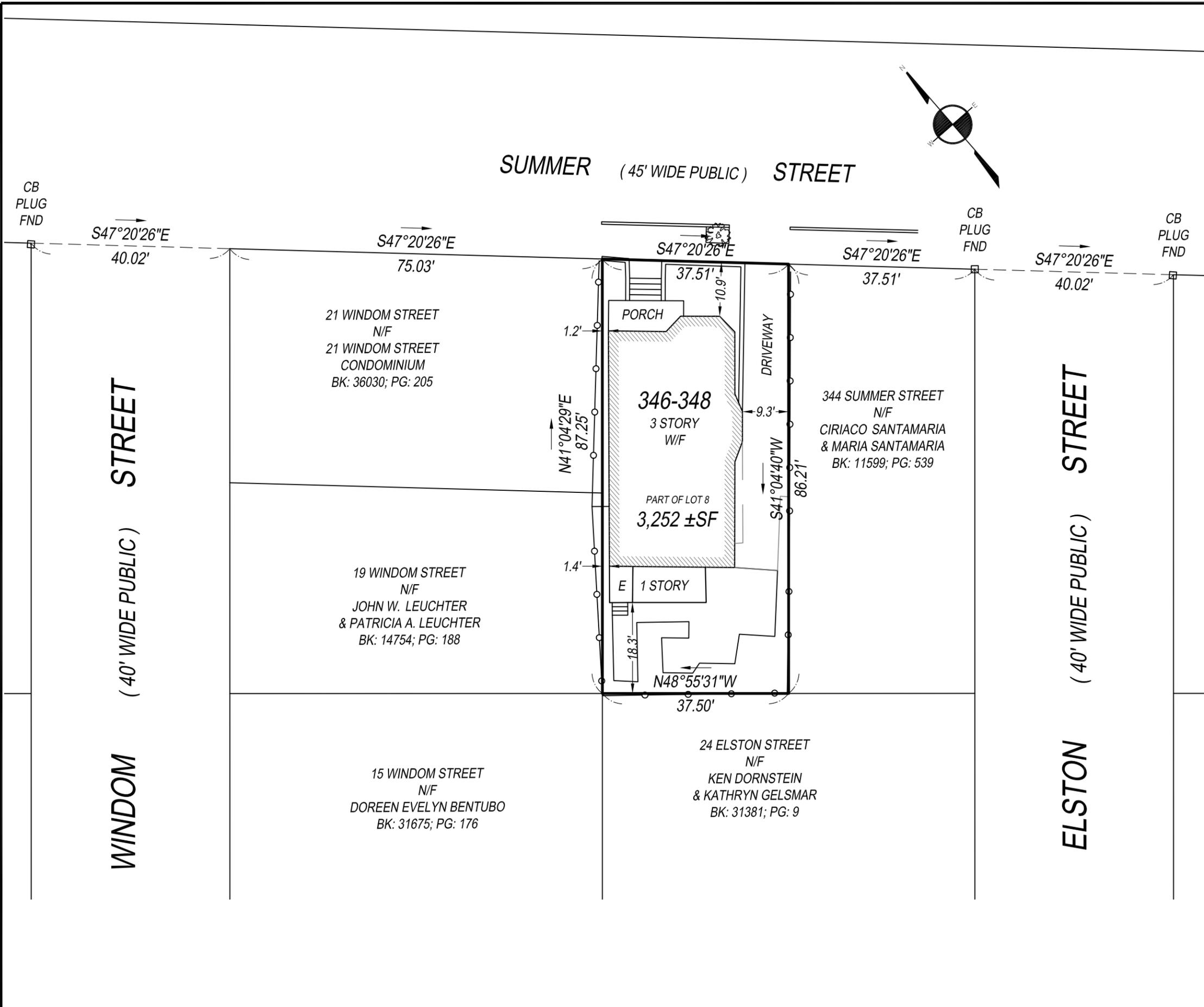
**PETER QUINN ARCHITECTS LLC**

259 ELM ST, STE 301  
 SOMERVILLE, MA 02144  
 PH (617) 354 3989

**SURVEYOR**

**BOSTON SURVEY, INC.**

UNIT C-4 SHIPWAY PLACE  
 CHARLESTOWN, MA 02129  
 PH (617) 242-1313



**REFERENCES:**  
 DEED:  
 BK 62664; PG 289  
 PLAN:  
 PL BK 70; PL 33  
 PL NO. 33; OF 2012



FB	PG	INSP. BY	DRAFT	REVIEW
J1	57	JJH	JJH/RAP	GCC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JANUARY 17, 2014 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).  
 COMMUNITY-PANEL # 250214 0438 E  
 EFFECTIVE DATE: JUNE 4, 2010

**PREPARED FOR:**  
 PAUL A. LAVELLE  
 346-348 SUMMER ST.  
 SOMERVILLE, MA 02144

**NOTES:**  
 PARCEL ID: 26 / D / 1  
 ZONING DISTRICT: RA

**CERTIFIED PLOT PLAN**  
 LOCATED AT  
**346 SUMMER STREET**  
**SOMERVILLE, MA**  
 SCALE: 1 INCH = 20 FEET    DATE: JANUARY 23, 2013

**BOSTON SURVEY, INC.**  
 UNIT C-4 SHIPWAY PLACE  
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**ZONING COMPLIANCE**

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SHEET  
**Z1**

SUMMER 346 - DIMENSIONAL TABLE - RES A ZONING DISTRICT, SP PER §4.4.1

ITEM	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	10,000	± 3,252	± 3,252	EXTG NON-CONF, NO CHANGE
MIN LOT AREA / UNIT 1-9 UNITS (SF)	2,250	1,084	1,084	EXTG NON-CONF, NO CHANGE
MAX GROUND COVERAGE (%)	50	± 47	± 49	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	± 34	± 33	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 22	± 24	EXTG NON-CONF, IMPROVED
FLOOR AREA RATIO (FAR)	0.75	1.11	1.09	REDUCED NON-CONFORMITY
NET FLOOR AREA (NSF)	2,439	3,608	3,554	REDUCED NON-CONFORMITY
MAX HEIGHT (FT/ STORIES)	35 / 2 1/2	±36.1 / 2 1/2	±36.1 / 2 1/2	EXTG NON-CONF, NO CHANGE
MIN FRONT YARD (FT)	15	± 10.9	± 10.9	EXTG NON-CONF, NO CHANGE
MIN SIDE YARD - LEFT (FT)	9	± 10.6	± 10.6 ADDITION	COMPLIES
			± 10.6 EXTG BLDG	COMPLIES
MIN SIDE YARD - RIGHT (FT)	8	± 1.4	± 1.4 ADDITION	EXTG NON-CONF, NO CHANGE
			± 1.4 EXTG BLDG	EXTG NON-CONF
MIN REAR YARD (FT)	16.8*	± 18.3	± 16.8	COMPLIES
MIN FRONTAGE (FT)	50	37.51	37.51	EXTG NON-CONF, NO CHANGE
MIN NO. OF PARKING SPACES	7**	1	1	EXTG NON-CONF, NO CHANGE
MIN NO. BIKE PARKING SPACES	0	0	3	COMPLIES

\*REAR YARD REDUCTION CALCULATION PER §8.6.13

100' - 86.21' LOT DEPTH = 13.79'

13.79' X 3"/FOOT = 41.7" REDUCTION

20' - 41.7" =

240" - 41.7" = 198.3" = 16.6' REQUIRED REAR YARD (LEFT)

100' - 87.25' LOT DEPTH = 12.75'

12.75' X 3"/FOOT = 38.25" REDUCTION

20' - 38.25" =

240" - 38.25" = 201.75" = 16.8' REQUIRED REAR YARD (RIGHT)

\*\*NUMBER OF REQUIRED PARKING SPACE PER §9.5

FOR (2) 3-BR UNITS:

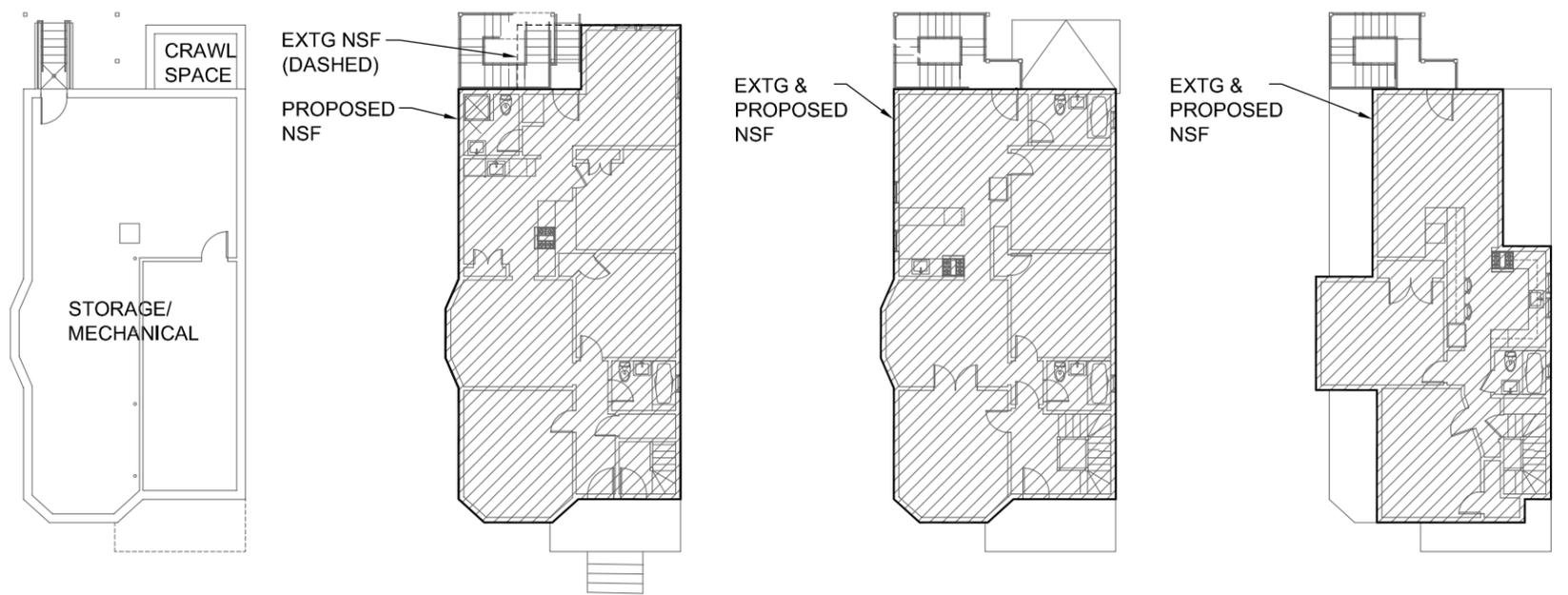
(2) 3-BR UNITS AT 2 PER UNIT = 2X2 = 4

FOR (2) 1OR2-BR UNITS:

(2) 1OR2-BR UNITS AT 1.5 PER UNIT = 2X1.5 = 3

VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 0

7 REQUIRED PARKING SPACES



BASEMENT: 0-NSF EXTG  
BASEMENT: 0-NSF PROPOSED

1ST FLOOR: 1,379-NSF EXTG  
1ST FLOOR: 1,325-NSF PROPOSED

2ND FLOOR: 1,241-NSF EXTG  
2ND FLOOR: 1,241-NSF PROPOSED

ATTIC: 988-NSF EXTG  
ATTIC: 988-NSF PROPOSED

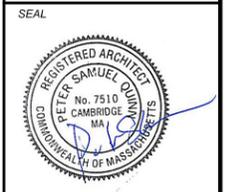
FLOOR	EXISTING NSF
ATTIC FL	988
2ND FL	1,241
1ST FL	1,379
BASEMENT	0
<b>TOTAL</b>	<b>3,608-NSF</b>

FLOOR	PROPOSED NSF
ATTIC FL	988
2ND FL	1,241
1ST FL	1,325
BASEMENT	0
<b>TOTAL</b>	<b>3,554-NSF</b>

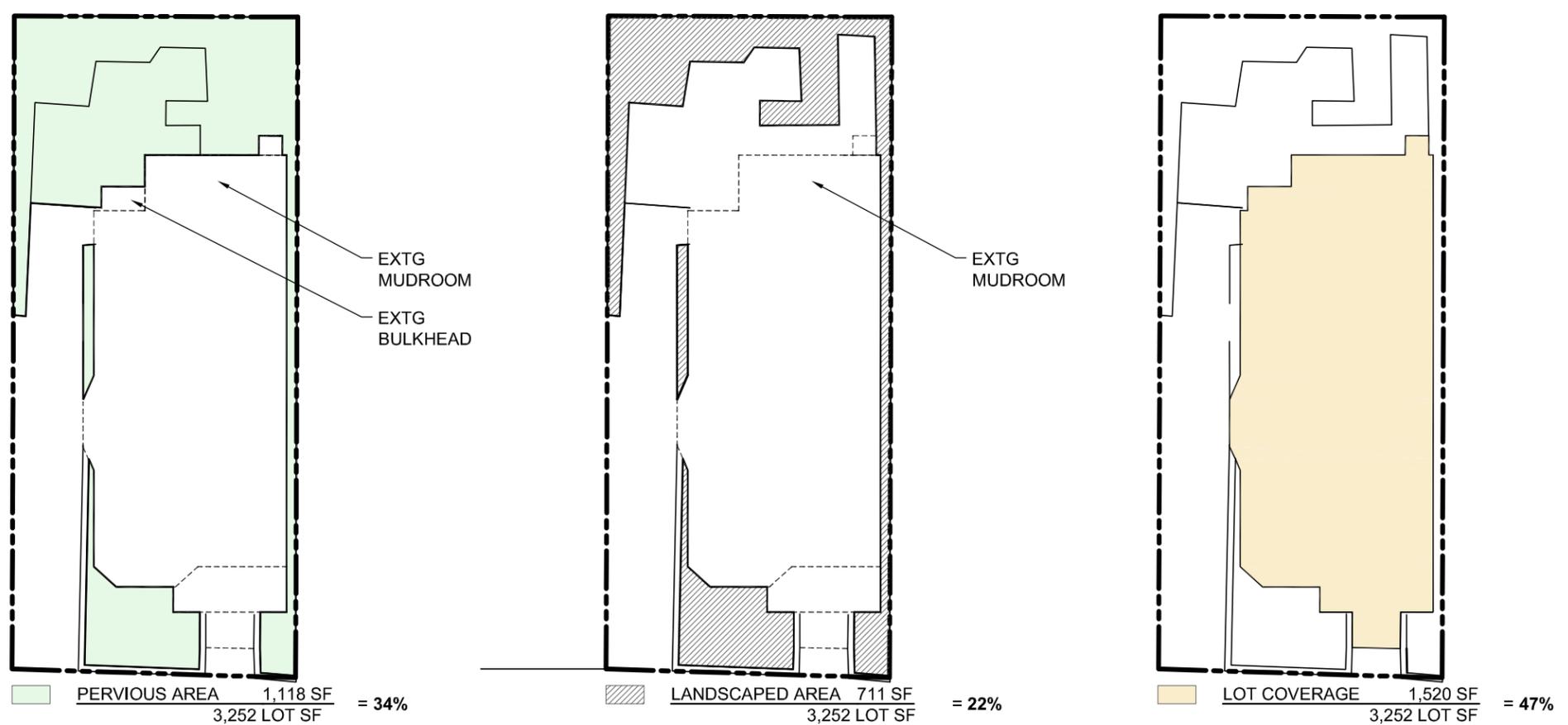
PROPOSED NSF IS 54-SF LESS THAN EXISTING NSF.

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**1 NET SQUARE FOOTAGE CALC**  
SCALE: 1"=20'-0"



PERVIOUS AREA  $\frac{1,118 \text{ SF}}{3,252 \text{ LOT SF}} = 34\%$

LANDSCAPED AREA  $\frac{711 \text{ SF}}{3,252 \text{ LOT SF}} = 22\%$

LOT COVERAGE  $\frac{1,520 \text{ SF}}{3,252 \text{ LOT SF}} = 47\%$



**5 BUILDING HEIGHT**  
SCALE: 1"=10'-0"

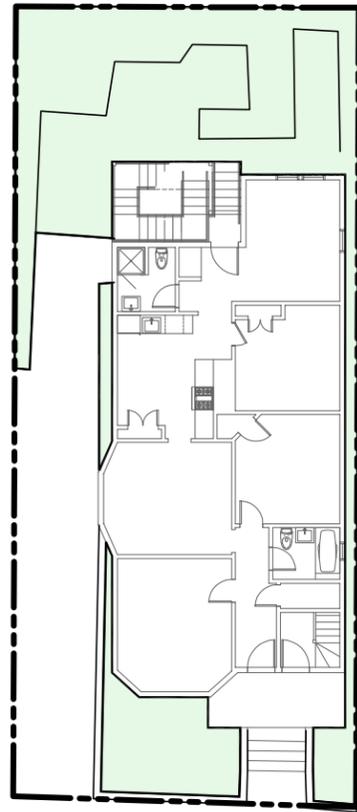
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**ZONING COMPLIANCE**

SCALE AS NOTED

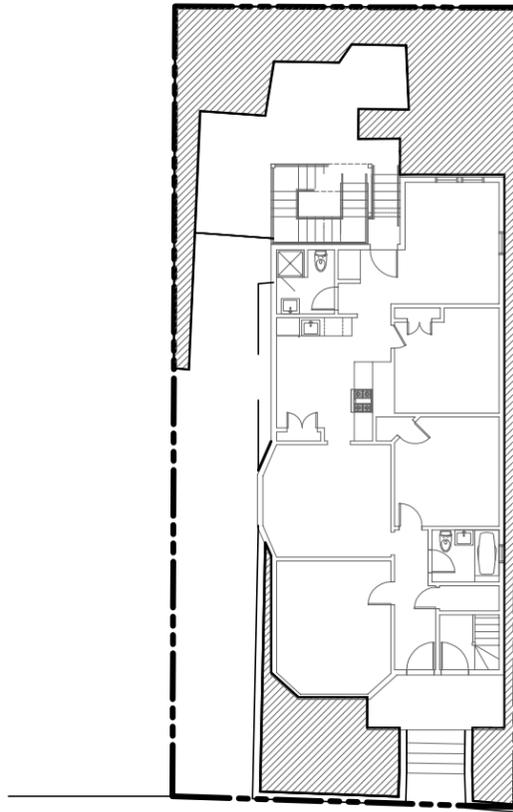
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**Z2**



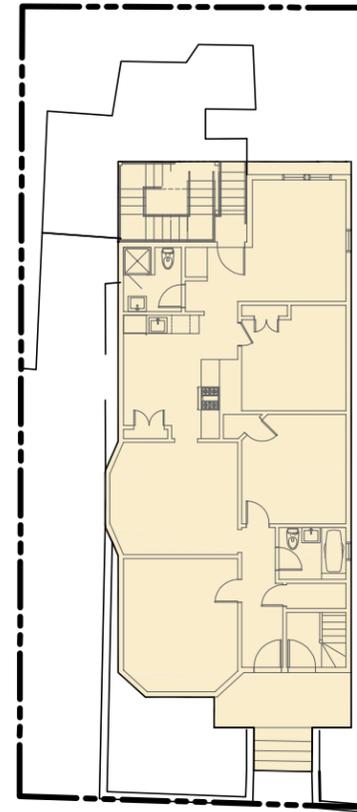
PERVIOUS AREA 1,075 SF = 33%  
3,252 LOT SF

2 LANDSCAPE AREA  
SCALE: 1" = 20'-0" PROPOSED



LANDSCAPED AREA 785 SF = 24%  
3,252 LOT SF

3 PERVIOUS AREA  
SCALE: 1" = 20'-0" PROPOSED



LOT COVERAGE 1,579 SF = 49%  
3,252 LOT SF

4 LOT COVERAGE  
SCALE: 1" = 20'-0" PROPOSED

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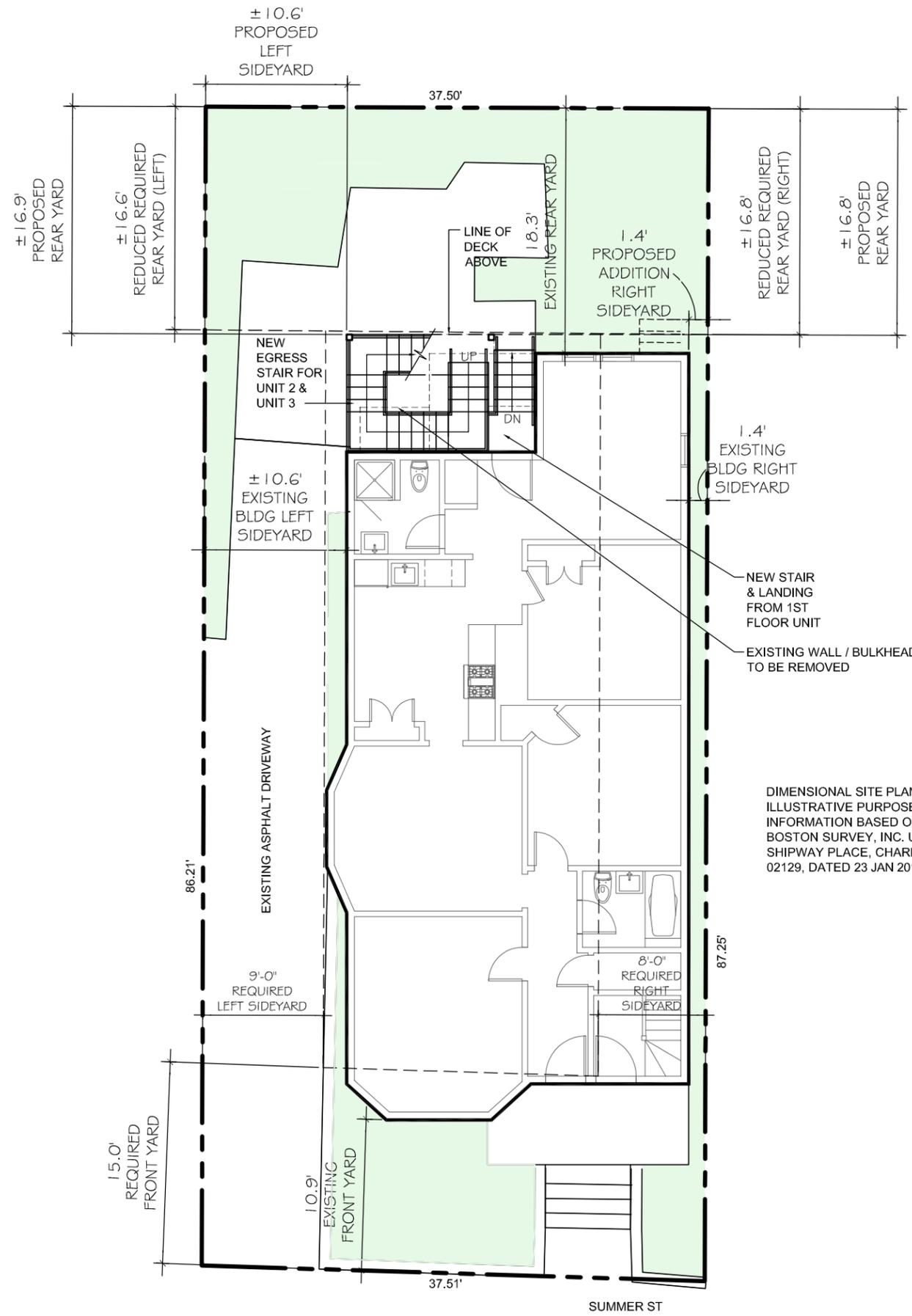
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Z3

Z:\DCADD\WGS\Summer-346\Drawings\Summer 346-Scheme 02 Dim Site Plan.dwg, A0, 11/11/2015 2:32:36 PM



DIMENSIONAL SITE PLAN FOR ILLUSTRATIVE PURPOSES ONLY. INFORMATION BASED ON SURVEY BY BOSTON SURVEY, INC. UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129, DATED 23 JAN 2013.

**1** DIMENSIONAL SITE PLAN  
SCALE: 1" = 10'

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**DIMENSIONAL SITE PLAN**

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**A0**





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PROPOSED  
NORTH & EAST  
ELEVATIONS

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A3



1 PROPOSED NORTH (FRONT) ELEVATION  
SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

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RENOVATION**

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**PROPOSED  
SOUTH & WEST  
ELEVATIONS**

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**1** PROPOSED SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**2** PROPOSED WEST ELEVATION  
SCALE: 1/8" = 1'-0"

9'-8 1/2"

9'-10"

3'-1 1/2"

