

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
.C-1	EXISTING SURVEY PLAN	10/18/13
.L-001	Landscape Plan	10/18/13
A-000	Cover Sheet	10/18/13
A-010	Combined Site Plan	10/18/13
A-100	1st & 2nd Floor Plans	10/18/13
A-101	3rd Floor & Roof Plan	10/18/13
A-110	Perspectives	10/18/13
A-300	Building Elevations	10/18/13
A-303	Street View & Perspectives	10/18/13
Z-001	Site Context	10/18/13



PROPOSED 595 SOMERVILLE AVE RESIDENCES

01-28-2013 SUBMISSION

CLIENT
DOUG BEAUDET
c/o DG REAL ESTATE DEVELOPMENT
14 Ibbetson Street #3
Somerville, MA 02143

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F: 617-608-5025

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SOMERVILLE, MA 02143
T:(617)-591-8682

CIVIL ENGINEER
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Consulting Engineers
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PROJECT NAME

595 SOMERVILLE AVE

PROJECT ADDRESS
595
SOMERVILLE AVE,
SOMERVILLE, MA

CLIENT

BEAUDET

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

Project number 12052
Date 10-18-13
Drawn by MT
Checked by JSK
Scale

REVISIONS

No.	Description	Date

Cover Sheet

A-000

595 SOMERVILLE AVE



1



2



3



4



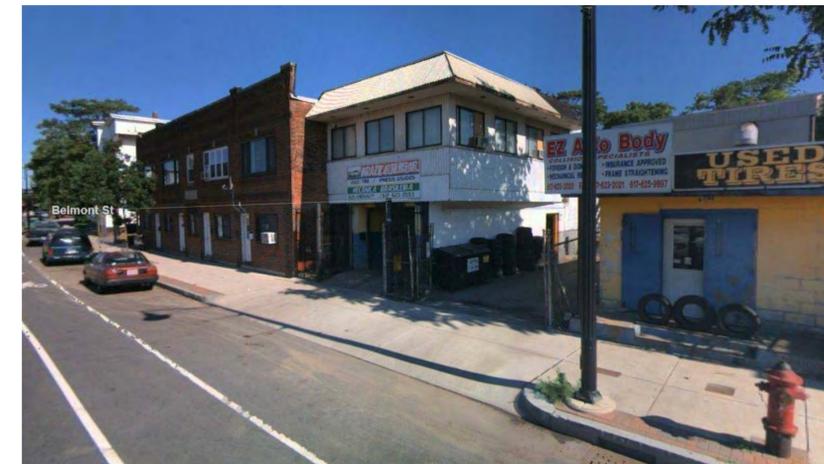
5



6



7



8

PROJECT NAME

595 SOMERVILLE AVE

PROJECT ADDRESS
595
SOMERVILLE AVE,
SOMERVILLE, MA

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CONSULTANTS:

REGISTRATION

Project number 12052
Date 10-18-13
Drawn by Author
Checked by Checker
Scale

REVISIONS

No.	Description	Date

Site Context

Z-001

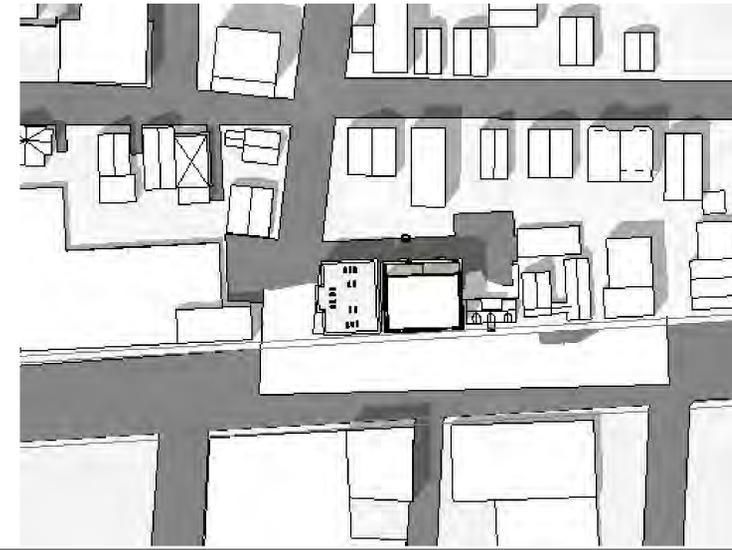
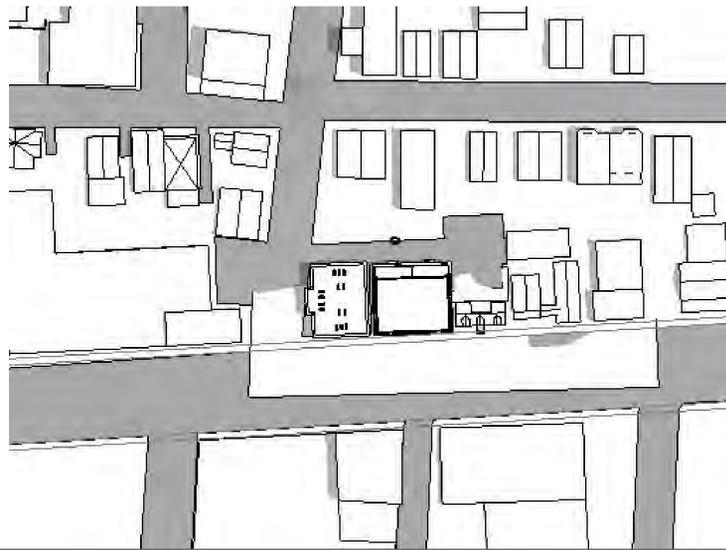
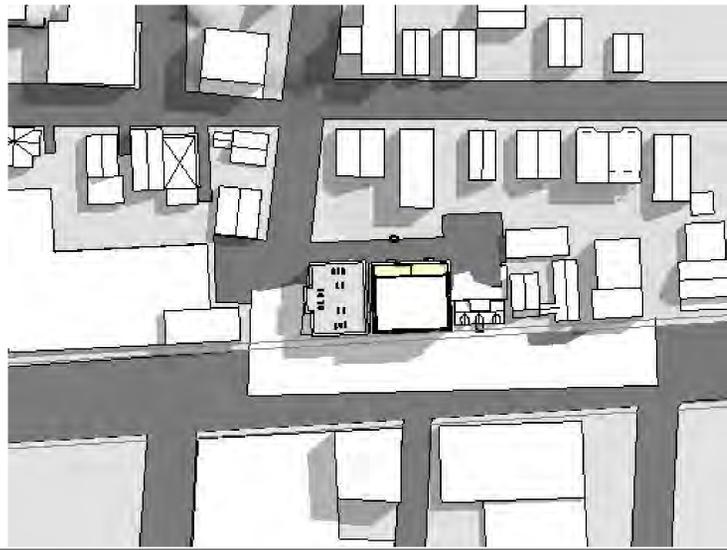
595 SOMERVILLE AVE

MORNING (9-10 AM)

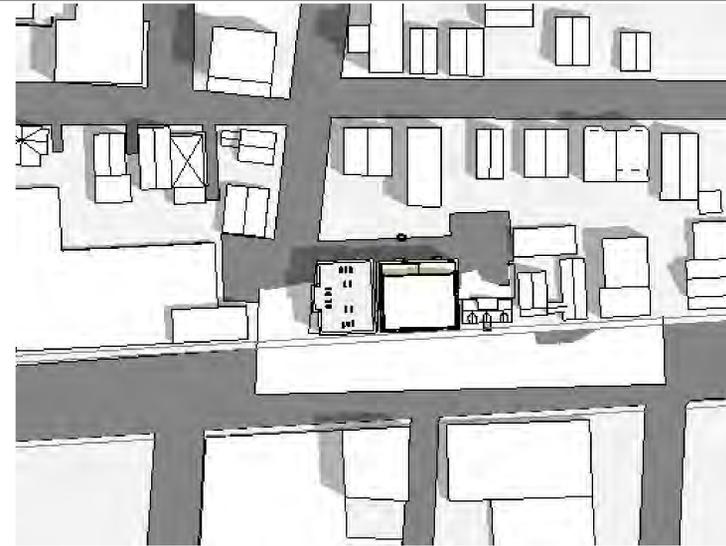
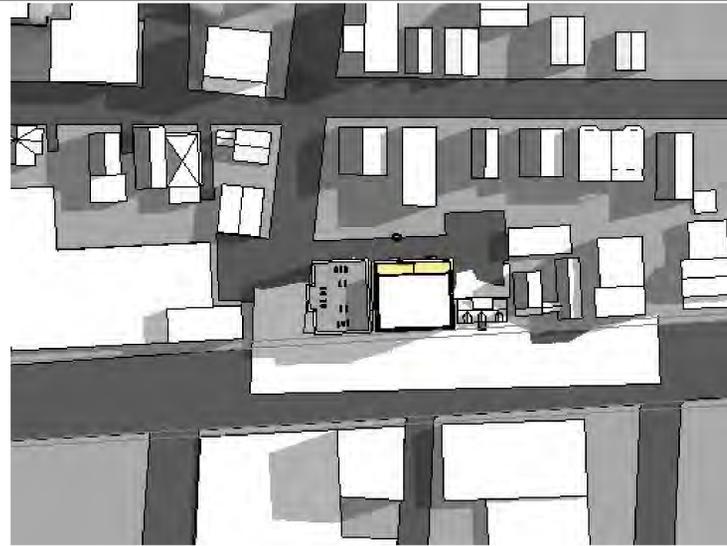
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

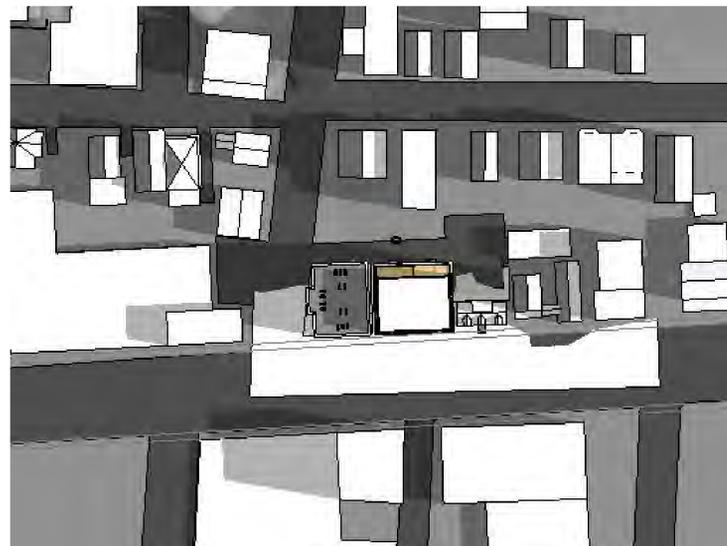
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME
595-593
Somerville Ave

PROJECT ADDRESS
595-593 Somerville Ave
SOMERVILLE, MA

CLIENT

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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CONSULTANTS:

REGISTRATION

Project number	12031
Date	10-18-2013
Drawn by	WC
Checked by	JSK
Scale	12" = 1'-0"

REVISIONS

No.	Description	Date

SHADOW STUDY

SHD

595-593 Somerville Ave

PLANT LIST						PLANTING NOTES	
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES		
TREES							
AL	2	Almelanchier laevis	Shadblow	2-2.5" cal	B&B	1. All plant material shall be approved by the Landscape Architect prior to arrival on the site.	
MS	2	Magnolia soulangeana 'rosea'	Tulip Saucer Magnolia	7-8'	B&B	2. All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.	
TP	1	Thuja 'Green Giant'	Hybrid Western Cedar	8-10' ht.	B&B	3. No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.	
UA	2	Ulmus americana 'Valley Forge'	American Elm Hybrid	2.5-3" cal.	B&B	5. The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.	
SHRUBS/VINES							
BS	3	Buddleja davidii 'Nanho Purple'	Butterfly Bush	2 gal.pot		6. All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface	
CV	5	Clematic maximowicziana	Autumn Clematis	2 gal. pot		7. No planting shall be installed before acceptance of rough grading of topsoil.	
IG	10	Ilex glabra "compacta"	Inkberry	24-30"	B&B	8. The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.	
IM	3	Ilex meserveae 'China Girl'	Holly	30" ht.	B&B	9. The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.	
MP	2	Myrica pensylvanica	Northern Bayberry			10. All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.	
RM	7	Rosa meidiland 'Bonica'	Bonica Rose	24" ht.		11. 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.	
SJ	11	Spirea japonica 'Little Princess'	Little Princess Spirea	18" ht.		12. All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.	
TB	15	Taxus baccata 'Repandens'	Spreading English Yew	18-24"	B&B	13. All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.	
VT	4	Viburnum trilobum	Highbush Cranberry	3' ht.		14. All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.	
PERENNIALS/GRASSES							
GM	5	Geranium macrorozum 'Bevan's Variety'	Groundcovering Geranium	1 gal. pot			
GR	30	Geranium 'Rozanne'	Blue Hybrid Geranium	1 gal. pot			
HS	27	Helictotrichon sempervirens	Blue Oat Grass	2 gal. pot			
MS	13	Miscanthus chinensis 'Morning Light'	Maiden Grass	2 gal. pot			
NB	14	Nepeta faassenii 'Blue Wonder'	Blue Wonder Catmint	1 gal. pot			
PV	20	Panicum virgatum 'Shenandoah'	Purple leaf Switch Grass	2 gal. pots			
RG	6	Rudbeckia goldsturm	Black eyed Susan	1 gal. pot			
VM	60	Vinca Minor	Vinca	2 qt pots			



PROJECT NAME
**593 - 595
 SOMERVILLE AVE
 SOMERVILLE MA**

ARCHITECT
KHALSA DESIGN INC.



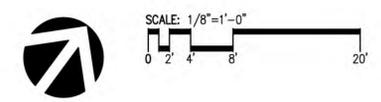
17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE 617-591-8682 FAX: 617-591-2086

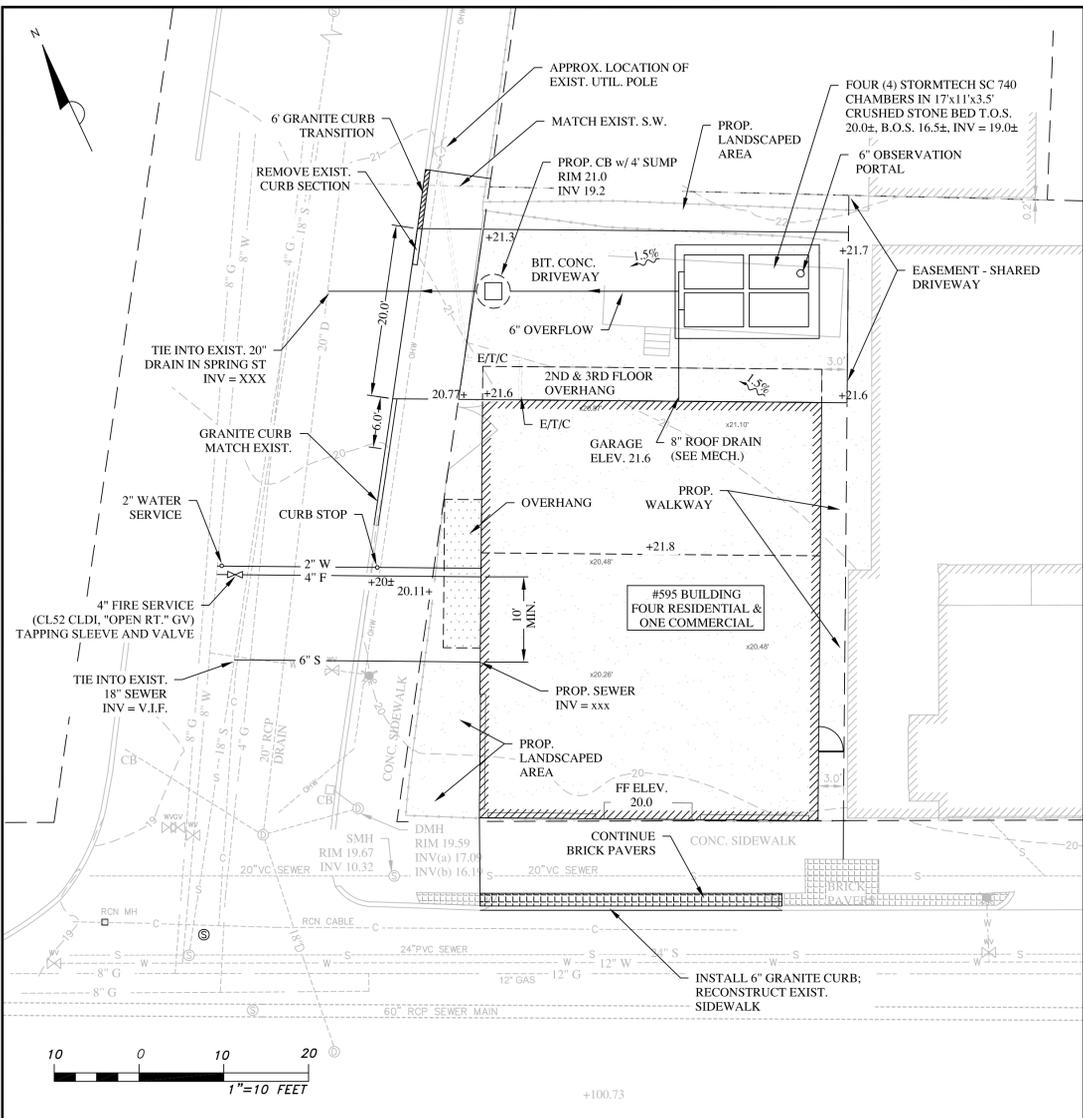
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REGISTRATION

Project number **XX**
 Date **January 14**
 Drawn by
 Checked by **KP**
 Scale

REVISIONS		
No.	Description	Date



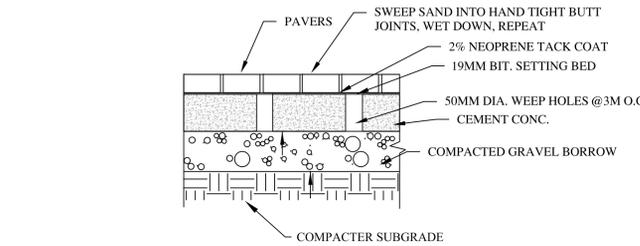


OPERATIONS AND MAINTENANCE

1. STORMTECH: THE PROPOSED UNDERGROUND INFILTRATION SYSTEMS HAVE INSPECTION PORTS THAT CAN BE USED TO OBSERVE ANY EXCESSIVE BUILD UP OF SEDIMENTS OR STANDING WATER. INSPECTIONS ARE TO BE PERFORMED AFTER EVERY MAJOR STORM DURING FIRST THREE MONTHS AND TWICE PER YEAR THEREAFTER. REMOVAL OF SEDIMENT, IF REQUIRED, TO BE PERFORMED BY A MAINTENANCE COMPANY FAMILIAR WITH THE SYSTEM DESIGN.

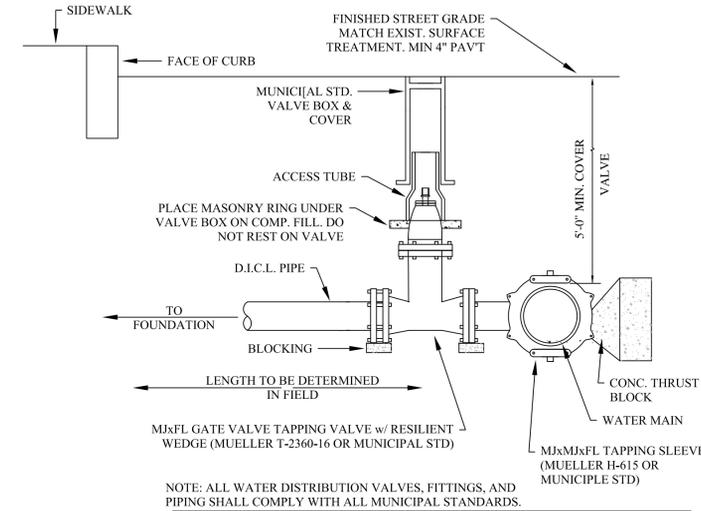
2. CATCH BASIN: SHALL BE INSPECTED TWICE PER YEAR AND CLEANED OF DEBRIS AS NEEDED.

- GENERAL NOTES**
1. THE PURPOSE OF THIS SITE PLAN IS TO DEPICT THE DESIGN AND LAYOUT OF THE DRIVEWAY, PROP. BUILDING, UTILITIES AND STORM DRAINAGE SYSTEM. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL AND LAND SURVEY PLANS.
 2. ROOF RUNOFF IS TO BE COLLECTED BY AN AREA DRAIN ON ONE END OF THE FLAT TOP ROOF AND PIPED TO THE INFILTRATION SYSTEM LOCATED UNDER PAVED PORTING AT REAR OF PROPERTY.
 3. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OR SIZE OF EXISTING UTILITIES ON THE SITE OR WITHIN THE STREET. IT IS THE CONTRACTORS RESPONSIBILITY FOR VERIFYING AND RECORDING THE LOCATION OF EACH UTILITY. THE CONTRACTOR SHALL CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF EXISTING MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233, FAX 1-800-322-4844. DIGSAFE MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 4. ALL WORK PERFORMED SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE CITY OF SOMERVILLE AND TO ALL APPLICABLE LOCAL AND STATE REGULATIONS.
 5. THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO COMPLETE THE STORM DRAINAGE SYSTEMS AS INDICATED ON THE PLANS.
 6. THE CITY RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
 7. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED TO PROTECT AGAINST CAVE-IN.
 8. THE CONTRACTOR SHALL TIE IN ALL ROOF DRAINAGE FROM THE BUILDING TO THE INFILTRATION SYSTEM. COORDINATION WITH THE ARCHITECTURAL DRAWINGS IS NECESSARY.
 9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SOIL IS TRACKED FROM THE SITE ONTO CITY STREETS OR SIDEWALKS. NO VEHICLES MAY PARK ON CITY SIDEWALKS AT ANY TIME.
 10. AN AS-BUILT DRAWING (CERTIFIED BY P.E.) OF THE PROPOSED SITE WORK, INCLUDING BUILDING FOOTPRINT, UTILITIES ABANDONED AND INSTALLED, DRAINAGE IMPROVEMENTS AND FINAL GRADING MUST BE SUBMITTED TO THE DPW. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER AND SOMERVILLE DPW FOR INSPECTION PRIOR TO BACKFILLING.
 11. SOIL TESTS MAY BE REQUIRED BY THE DPW AT THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE TESTS AND INSPECTIONS WITH THE DPW.
 12. FIRE SERVICE SIZE IS PER THE OWNERS MECHANICAL ENGINEER/FIRE SUPPRESSION DESIGNER. THE CONTRACTOR SHALL VERIFY SIZE PRIOR TO CONSTRUCTION.



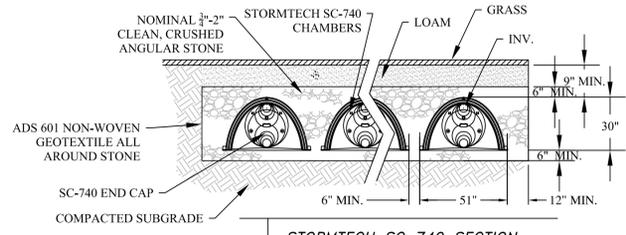
PAVERS ON CONC. SIDEWALK

NOT TO SCALE



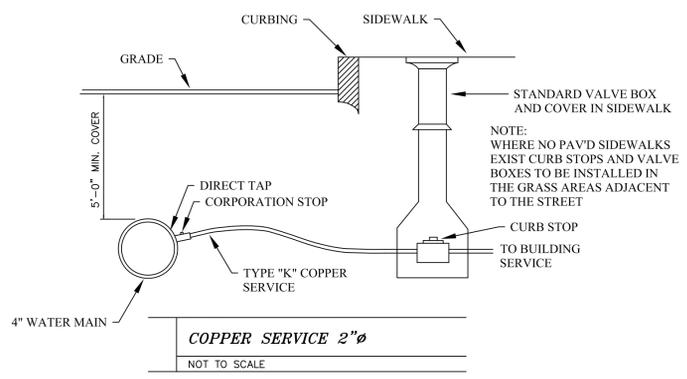
TYPICAL WATER CONNECTION W/ TAP FOR 4 INCH SERVICE PIPE

NOT TO SCALE



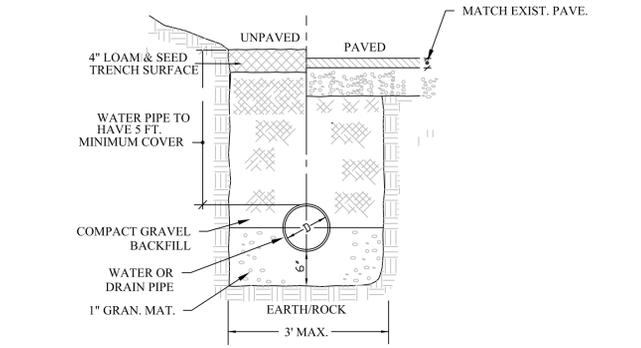
STORMTECH SC 740 SECTION

NOT TO SCALE



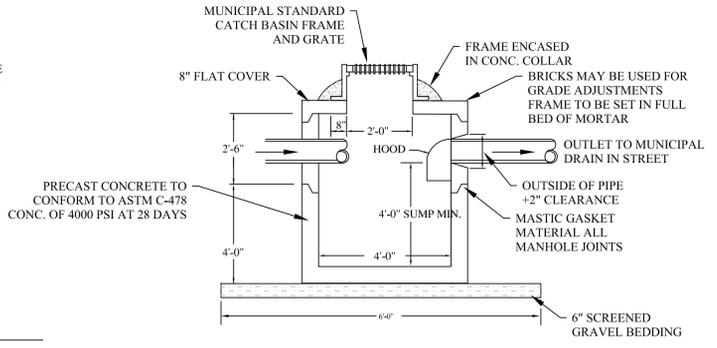
COPPER SERVICE 2\"/>

NOT TO SCALE



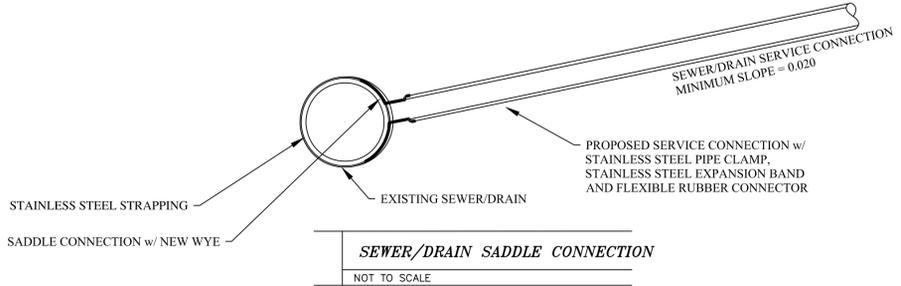
PIPE EXCAVATION & TRENCH PATCH

NOT TO SCALE



FLAT TOP CATCH BASIN WITH HOODED OUTLET (H20)

NOT TO SCALE



SEWER/DRAIN SADDLE CONNECTION

NOT TO SCALE

Civil Site Plan

595 Somerville Ave.
Somerville, MA



REFERENCES:

SURVEY:
By Land Mapping Inc. on 4/11/13

ARCHITECT: KDI, Somerville MA

MATERIALS:

- STORM DRAIN: 8" PVC ASTM D3034-SDR 35 SIZE AS NOTED ON PLANS (1% MINIMUM SLOPE)
- ROOF DRAINS: 4" PVC SCHED. 40 (TYP.) SIZES AS NOTED ON THE PLANS
- SEWER: 6" SEWER & 6" WASTE - PVC ASTM D3034-SDR 35 (2% MIN. SLOPE)
- WATER: 4" DUCTILE IRON CEMENT LINED (CLASS 56) 2" COPPER TUBING TYPE K (MINIMUM OF 3 FEET BELOW GRADE)

No.	Date	Comment

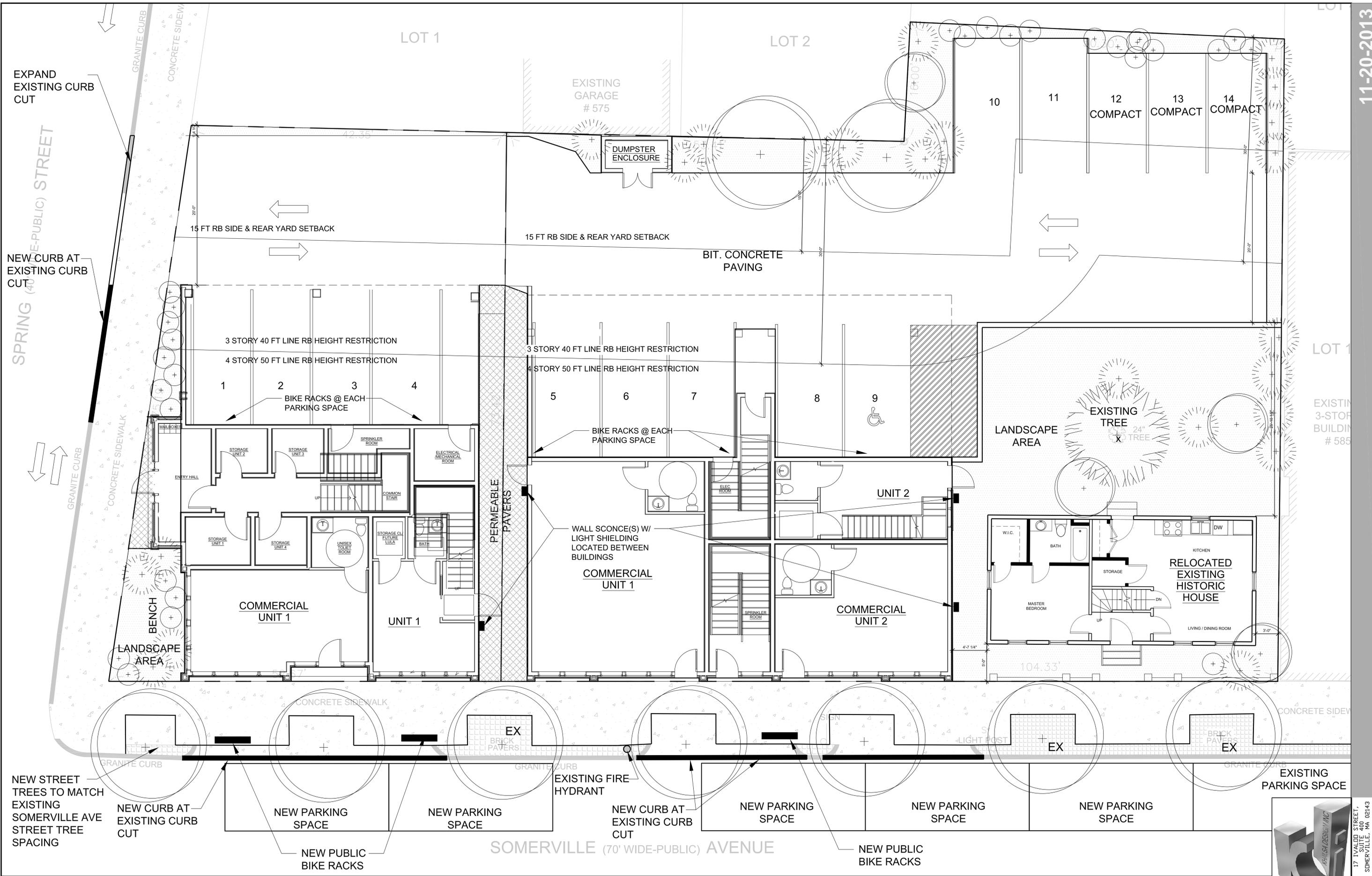
Columbia Design Group, LLC
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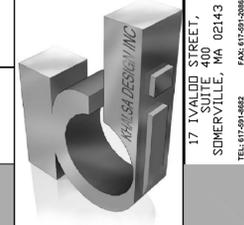
587-593 Somerville Ave.
Somerville

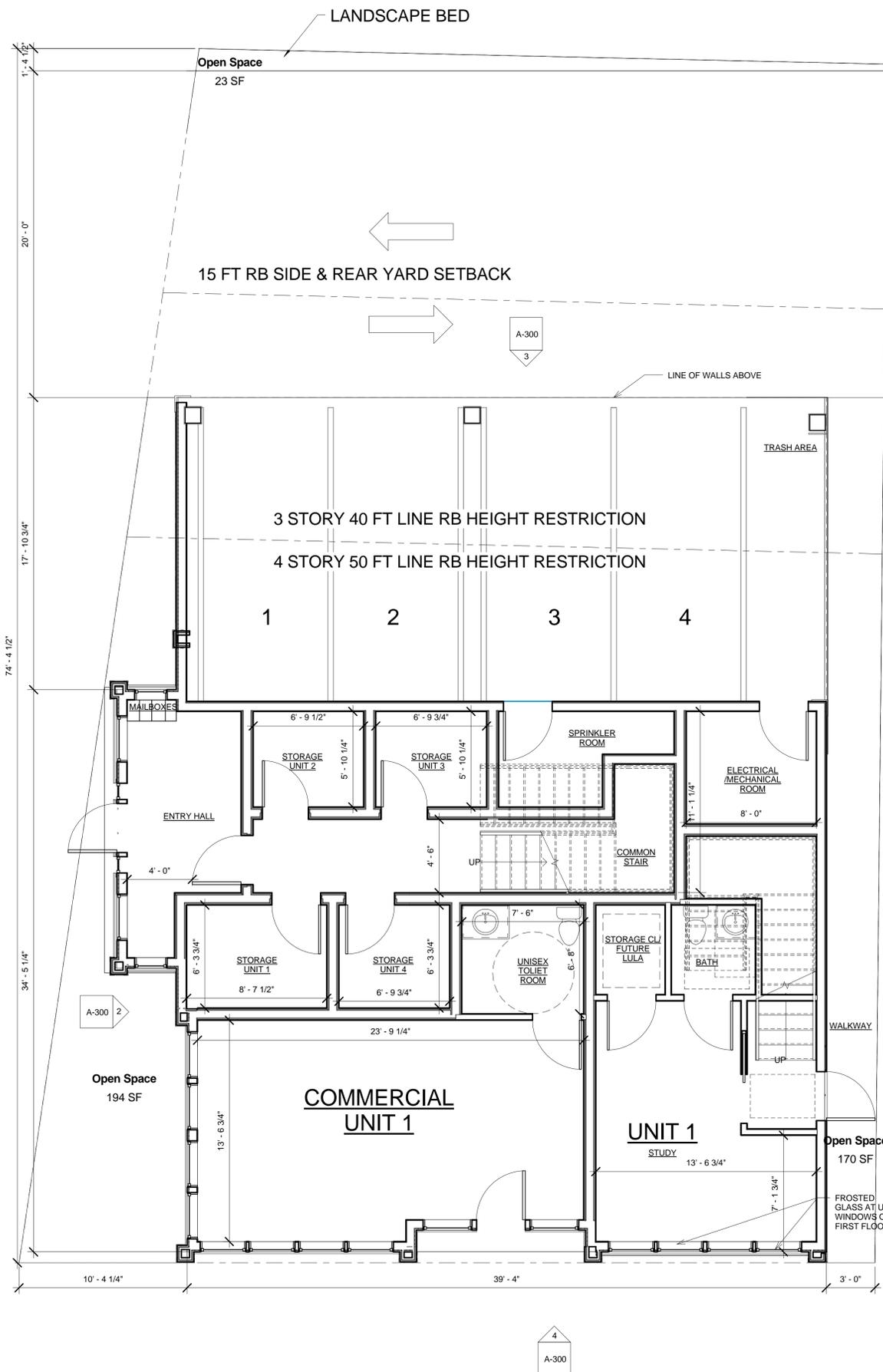
Date: April 18, 2013	Scale: 1" = 10'
Project No.: 2013-113	Drawing by: NG/PJ

C-1



LOT 1
EXISTING
3-STORY
BUILDING
585





ZONING REQUIREMENTS FOR 595 SOMERVILLE AVE PROJECT					
ZONE BA	REQUIRED	ALLOWED	PROVIDED	COMPLIANCE	
A	LOT SIZE in SF	N/A	5000 MIN	3907	YES
B	MIN. LOT AREA FOR EACH D.U. in SF	875	4,465(4,285)	4	YES
	10 D.U.	1,000			YES
	NUMBER OF D.U. ALLOWED		4	4	YES
C	TOTAL D.U.				YES
	MAXIMUM GROUND COVERAGE %	80%	3125.6	50%	YES
D	LANDSCAPED AREA MINIMUM % OF LOT	10%	390.7	17%	YES
	FAR - MAX.	2	7.814	1.36	YES
E	MAXIMUM HEIGHT IN FEET	50	50	35'4"	YES
	(20) # STORIES	4	4		YES
	(3) ABUTING RB ZONE WITHIN 30 FT. 3 STORIES	40	40		YES
F	(3) ABUTING RB ZONE WITHIN 30 FT. 40 FT HEIGHT	3	3		YES
	MINIMUM FRONT (FT) (5a, 5b, 5c, 17)	0	0	0	YES
G	5a FIRST FLOOR 50% BAY WINDOWS	N/A	N/A	varies	YES
	SIDE (12, 5b, 8, 7, 10, 17)				YES
H	(12)-1/3 OF HT OR 15 FT MIN WHEN ABUTING RB ZONE				YES
	(8)-1/3 OF LENGTH-BAYS 3 FT MAX OR 1/4 OF SB				YES
I	REAR				varies
	(10 FT) 27' STORY ABOVE SF (12, 5b, 13, 14, 15, 17)				YES
J	(13)-1/3 OF HT OR 15 FT MIN WHEN ABUTING RB ZONE				YES
	(14) 50% PROJECTED TO REAR YARD, 1/4 SB, 1/2 MIN SB				YES
K	MIN. LOT FRONTAGE	N/A	N/A	N/A	YES
	PARKING				YES
L	CARS PER DU (1,2 BDR UNITS)	1.5	6	4	YES
	VISITORS 1 PER 6 DU		0		YES
M	BIKES 1 FOR EVERY 3 D.U.		1.33	2	YES

Scale: 0' 2' 4' 8' 16'

Area Schedule (Gross Building)		
Name	Level	Area
COMMERCIAL UNIT 1	First Floor Level	406 SF
COMMON AREA	First Floor Level	408 SF
COMMON AREA	Second Floor Level	157 SF
COMMON AREA	Third Floor Level	160 SF
UNIT 1	First Floor Level	353 SF
UNIT 1	Second Floor Level	1026 SF
UNIT 1 STORAGE	First Floor Level	71 SF
UNIT 2	Second Floor Level	870 SF
UNIT 2 STORAGE	First Floor Level	52 SF
UNIT 3	Third Floor Level	870 SF
UNIT 3 STORAGE	First Floor Level	52 SF
UNIT 4	Third Floor Level	870 SF
UNIT 4 STORAGE	First Floor Level	53 SF
		5347 SF



1 First Floor Level
1/4" = 1'-0"

2 Second Floor Level
1/4" = 1'-0"

PROJECT NAME
595 SOMERVILLE AVE

PROJECT ADDRESS
595
SOMERVILLE AVE,
SOMERVILLE, MA

CLIENT
BEAUDET

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

Project number	12052
Date	10-18-13
Drawn by	MT
Checked by	JSK
Scale	1/4" = 1'-0"

No.	Description	Date

1st & 2nd Floor Plans

A-100
595 SOMERVILLE AVE



PROJECT NAME
595 SOMERVILLE AVE

PROJECT ADDRESS
 595
 SOMERVILLE AVE,
 SOMERVILLE, MA

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CONSULTANTS:

REGISTRATION

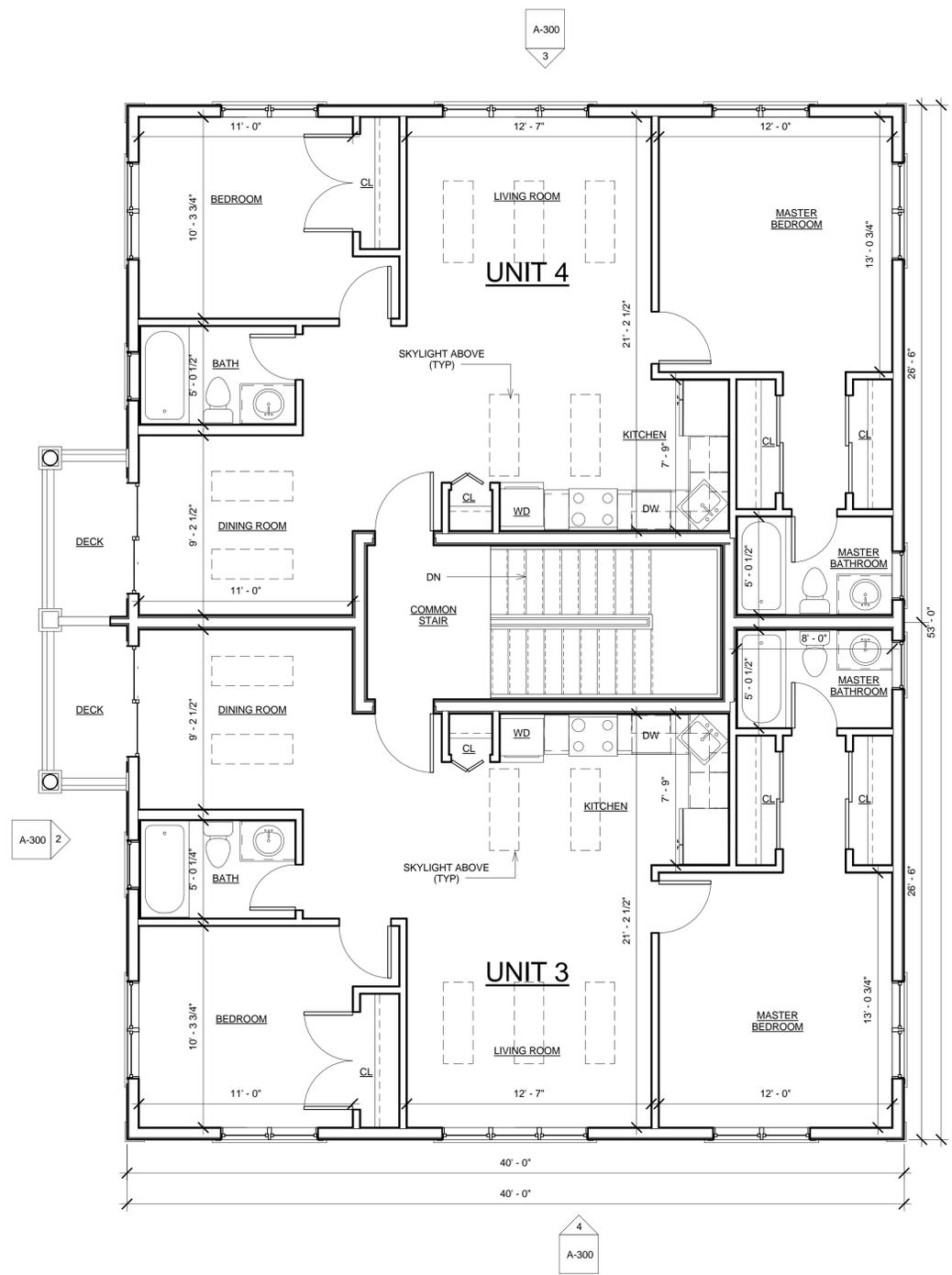
Project number 12052
 Date 10-18-13
 Drawn by MT
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 Scale 1/4" = 1'-0"

REVISIONS

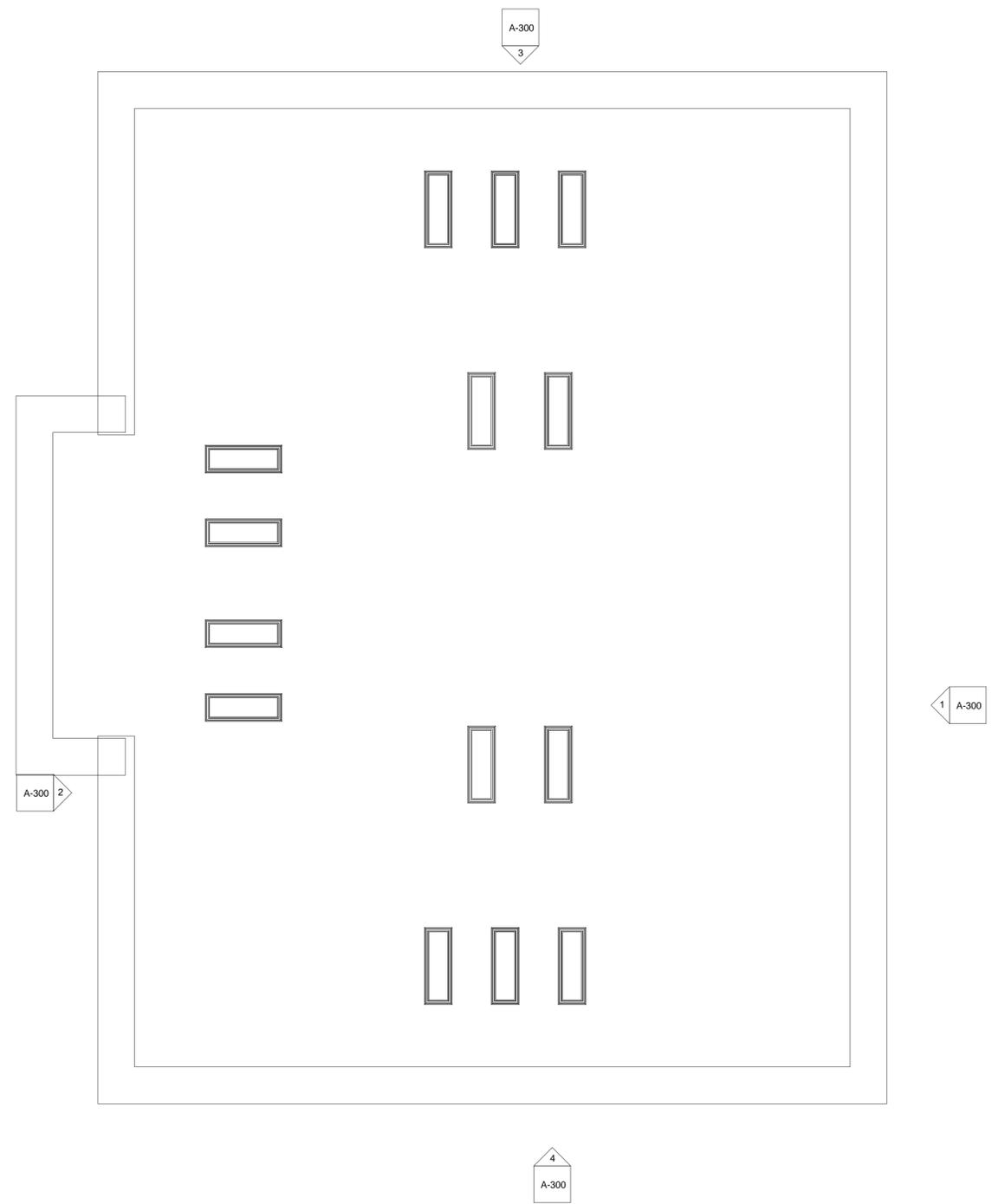
No.	Description	Date

3rd Floor & Roof Plan

A-101
 595 SOMERVILLE AVE



① Third Floor Level
 1/4" = 1'-0"



② Roof
 1/4" = 1'-0"



1 View 1



2 View 2



3 View 3



4 View 4

PROJECT NA **595**
SOMERVILLE
AVE

PROJECT ADDRESS
 595
 SOMERVILLE AVE,
 SOMERVILLE, MA

CLIENT

BEAUDET

ARCHITECT
KHALSA DESIGN INC.



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 SOMERVILLE, MA 02143
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CONSULTANTS:

REGISTRATION

Project number 12052
 Date 10-18-13
 Drawn by Author
 Checked by Checker
 Scale

REVISIONS

No.	Description	Date
1	Planning Board Review	2-16-12
2	Design Committee Review	2-22-12
3	Zoning Board Submission	5-30-12

Perspectives

A-110

595 SOMERVILLE AVE

PROJECT NAME

595 SOMERVILLE AVE

PROJECT ADDRESS
595
SOMERVILLE AVE,
SOMERVILLE, MA

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ARCHITECT

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17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



① East Elevation
1/4" = 1'-0"



③ North Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



④ South Elevation
1/4" = 1'-0"

REGISTRATION

Project number 12052
Date 10-18-13
Drawn by MT
Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

Building Elevations

A-300

595 SOMERVILLE AVE

