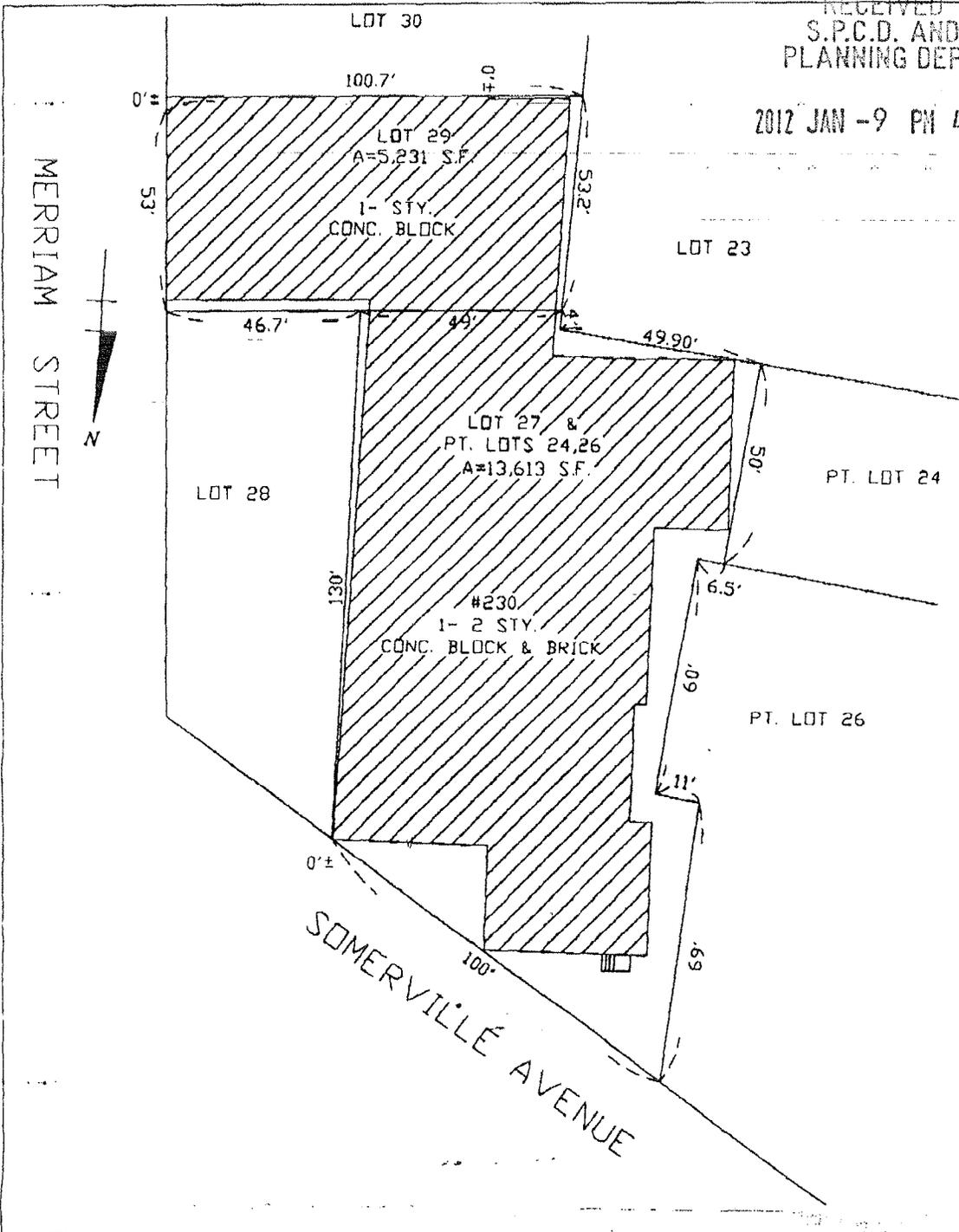


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**NOTE:**

THIS PLOT PLAN IS NOT TO BE USED FOR PROPERTY LINE DETERMINATION. THIS CERTIFICATION IS MADE TO HARVEY EISENBERG TRUSTEE OF TANAR REALTY TRUST AND BECOMES NULL AND VOID UPON FUTURE ANY CONVEYANCE. I HEREBY CERTIFY THAT I HAVE EXAMINED THE PREMISES AND THE BUILDINGS ARE LOCATED ON THE GROUND AS SHOWN. I FURTHER CERTIFY THAT THE PRINCIPAL BUILDING SHOWN DID CONFORM TO THE DIMENSIONAL ZONING LAWS OF SOMERVILLE WHEN CONSTRUCTED. I HEREBY CERTIFY THAT THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED FLOOD HAZARD AREA F.I.R.M. MAP No. 250214  
REVISION DATE: JULY 17, 1986

**PLOT PLAN OF LAND  
IN  
SOMERVILLE, MA**

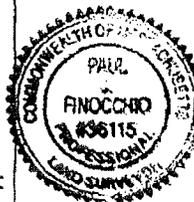
PREPARED BY:  
PJF & ASSOCIATES  
11 GLEASON ST. MEDFORD, MA.  
PAUL J. FINOCCHIO-P.L.S.  
(781)395-7662

SCALE: 1"=30'

DEED REF: BK.21650 PG. 588

DATE: JUNE 28, 2002

FILE No: 4833



PAUL J. FINOCCHIO P.L.S. No.36115 DATE *6/28/02*

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TOD70

RB

ROSBOROUGH STREET

CCD55

SOMERVILLE AVENUE

ALLEN STREET

LINDEN STREET

RB

MERRIAM STREET

TOD55

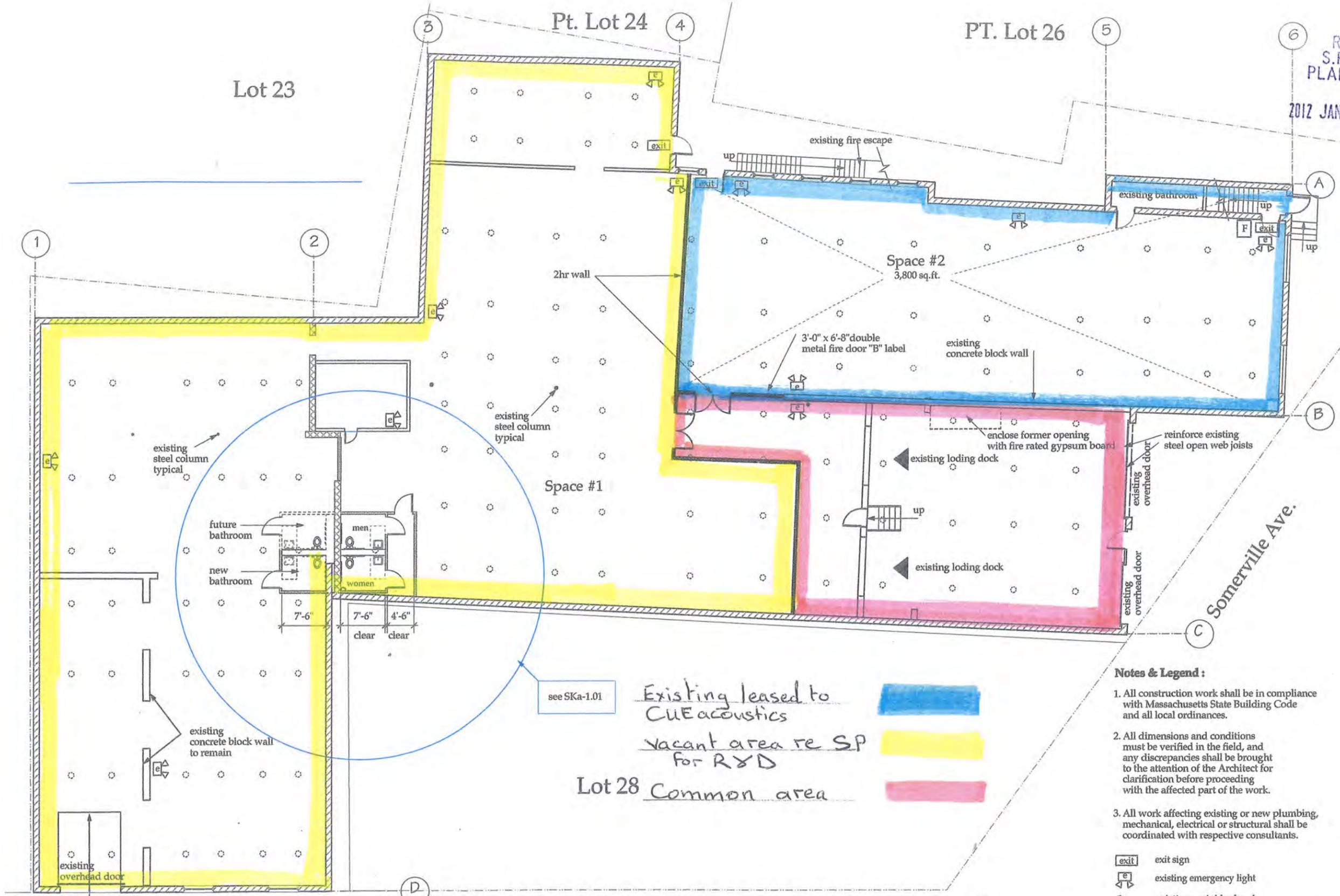
Subject Parcel

Historic Property

xy\_P



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see SKa-1.01

Existing leased to  
CUE acoustics  
vacant area re SP  
for R&D  
Lot 28 Common area



**Notes & Legend :**

- All construction work shall be in compliance with Massachusetts State Building Code and all local ordinances.
- All dimensions and conditions must be verified in the field, and any discrepancies shall be brought to the attention of the Architect for clarification before proceeding with the affected part of the work.
- All work affecting existing or new plumbing, mechanical, electrical or structural shall be coordinated with respective consultants.

- exit sign
- existing emergency light
- existing sprinkler head
- existing manual fire alarm pull station

cut existing floor slab  
and pour new concrete ramp up  
1"/per foot reinforce with 10/10 wwf

**Hresko**  
Associates, Inc  
Architects • Landscape Architects • Interior Designers  
110 Broad Street • Boston, Massachusetts 02110 USA  
tel: 617/350-7666 • fax: 617/350-6260

Owner  
**TYR Realty Trust**  
18 Stults Road  
Belmont, Massachusetts 02478

**230 Somerville Avenue**  
Somerville, Massachusetts

**1st Floor Plan**  
Date: 17 June 2010  
Revised 24 August, 21 September 2010, 30 September 2010  
Scale: 1"=10'  
0 5 10 20 40

#20-12.1  
**A**  
**1.01**

