



# DRAWING SET INTENDED FOR ZONING BOARD OF APPEALS REVIEW.

2014 APR - 3 A 11:41  
 CITY CLERK'S OFFICE  
 SOMERVILLE, MA

## DRAWING LIST:

- |        |  |
|--------|--|
| ZBA-00 | COVER SHEET                            |
| ZBA-01 | SITE PLAN: PROPOSED MODIFICATIONS      |
| ZBA-02 | LEVEL 3 PLAN: EXISTING AND PROPOSED    |
| ZBA-03 | ELEVATIONS: EXISTING CONDITIONS        |
| ZBA-04 | ELEVATIONS: PROPOSED                   |
| ZBA-05 | EXISTING PHOTOS AND PROPOSED RENDERING |

NATHAN SARGENT COMPANY

59 PEARSON ROAD  
SOMERVILLE, MA 02144

P 617 320-5928  
F 617 628 6410

### STEALTH CONSTRUCTION INC.

93 SANTILLI HWY  
EVERETT, MA 02149  
P: 617-623-3300

OWNER:  
Pam Hearon and Jack Higham  
119 Rogers Avenue  
Somerville, Massachusetts 02144

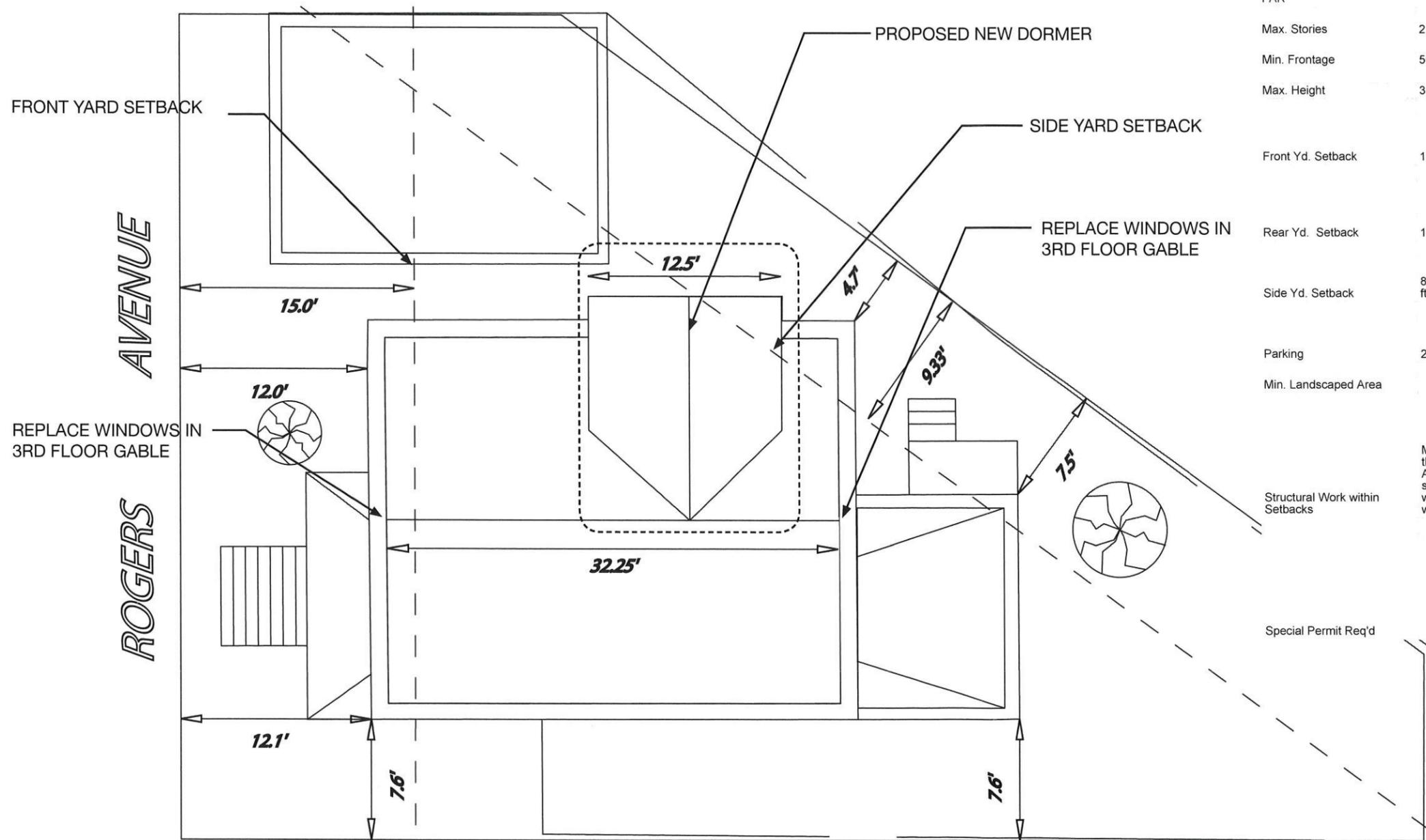
Zoning Matrix - 03/26/2014 119 Rogers Ave. Somerville, MA "Proposed Modifications"

Zone Type	RA	Residential A	
Tax Map	Lot 39	Map 27	Block I

Requirements	Zoning	Actual/Proposed	Notes	Conformance
Min. Lot Size	10,000 Sq. Ft.	3097 Sq. Ft. +/-	Existing Non Conforming - see 4.4 Non Conforming Structures.	No
Min. Lot Area per Dwelling	2250 Sq. Ft.	3097 Sq. Ft.		Yes
Max. Coverage		50%	43% 1350 sq. ft. proposed ground coverage	Yes
FAR		0.75	0.74 Total Proposed Net Floor Area = 2213 sq. ft.	Yes
Max. Stories	2.5 stories	2.5 Stories		Yes
Min. Frontage	50 ft.	52 ft.		Yes
Max. Height	35 ft.	34.8 ft.		Yes
Front Yd. Setback	15 ft.	12 ft.	Existing Non Conforming - see 4.4 Non Conforming Structures. Existing Front façade is over setback by 3 ft.	No
Rear Yd. Setback	16 ft.*	21 ft.		Yes
Side Yd. Setback	8 ft. w/ sum of 17 ft.	(4.7 ft.)	Existing Non Conforming - see 4.4 Non Conforming Structures. Existing East façade is over setback by 4.7 ft.	No
Parking	2 Spaces	2 Space	Calc'd from Article 9.5- Two parking spaces required for single family dwelling with 3 or more bedrooms.	Yes
Min. Landscaped Area		25%	43.60%	Yes
Structural Work within Setbacks			Alteration of Nonconforming Structures - Article 4.4.1 requires a special permit to structurally alter area that do not meet dimensional conformity requirements.	No

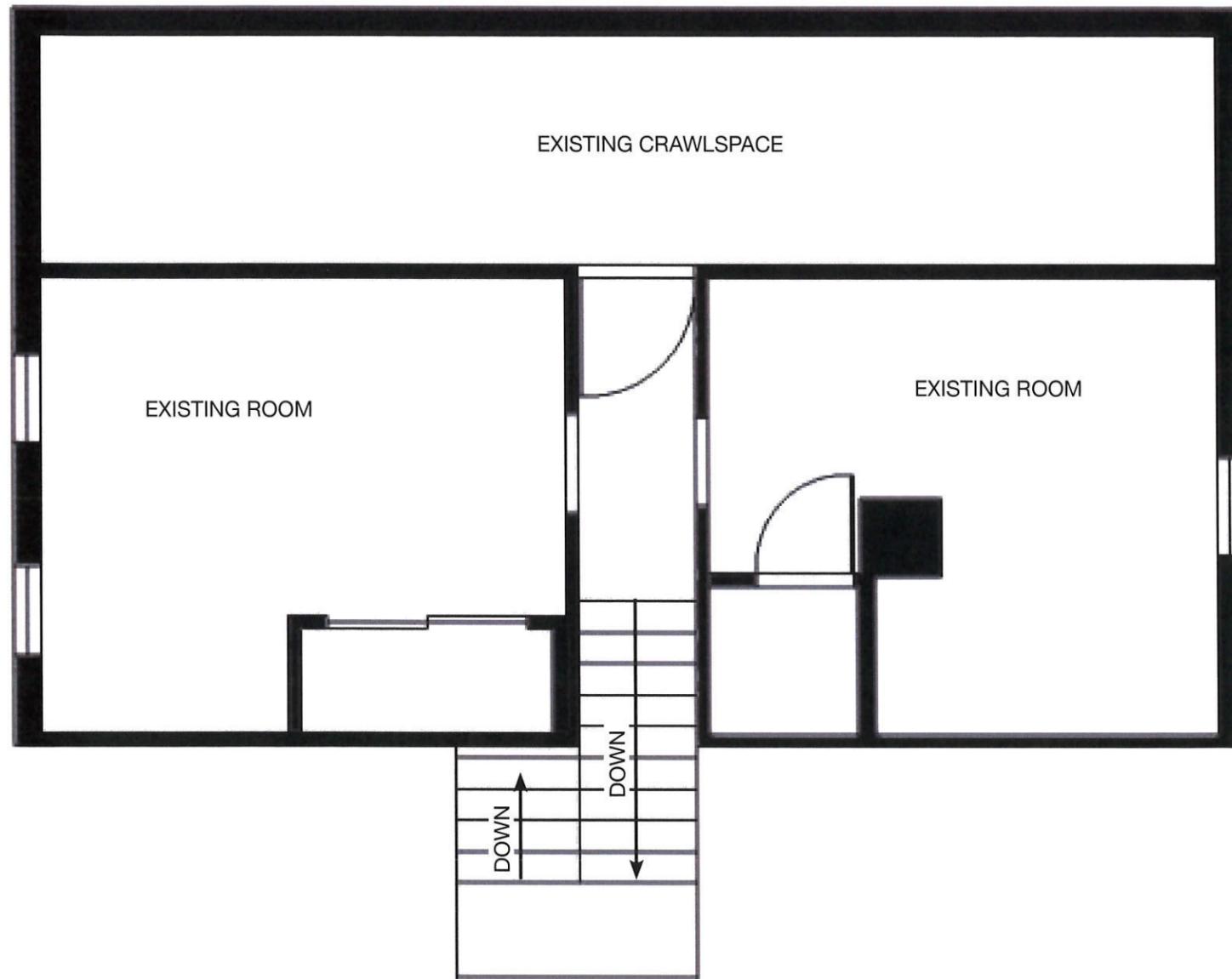
Modifications to the following do not meet the dimensional setback requirements:  
 Adding dormer to gabled roof within the side yard setback and adding new windows to the front gable that exists within the 15' front yard setback.

**YES: EXISTING NON-CONFORMING CONDITIONS ARE BEING STRUCTURALLY ALTERED. THE ALTERATIONS AND THE ADDITIONS DO NOT EXCEED THE 25% THRESHOLD. ADDITIONS REPRESENT A 4% INCREASE OF GROSS AREA ABOVE EXISTING GROSS AREA.**

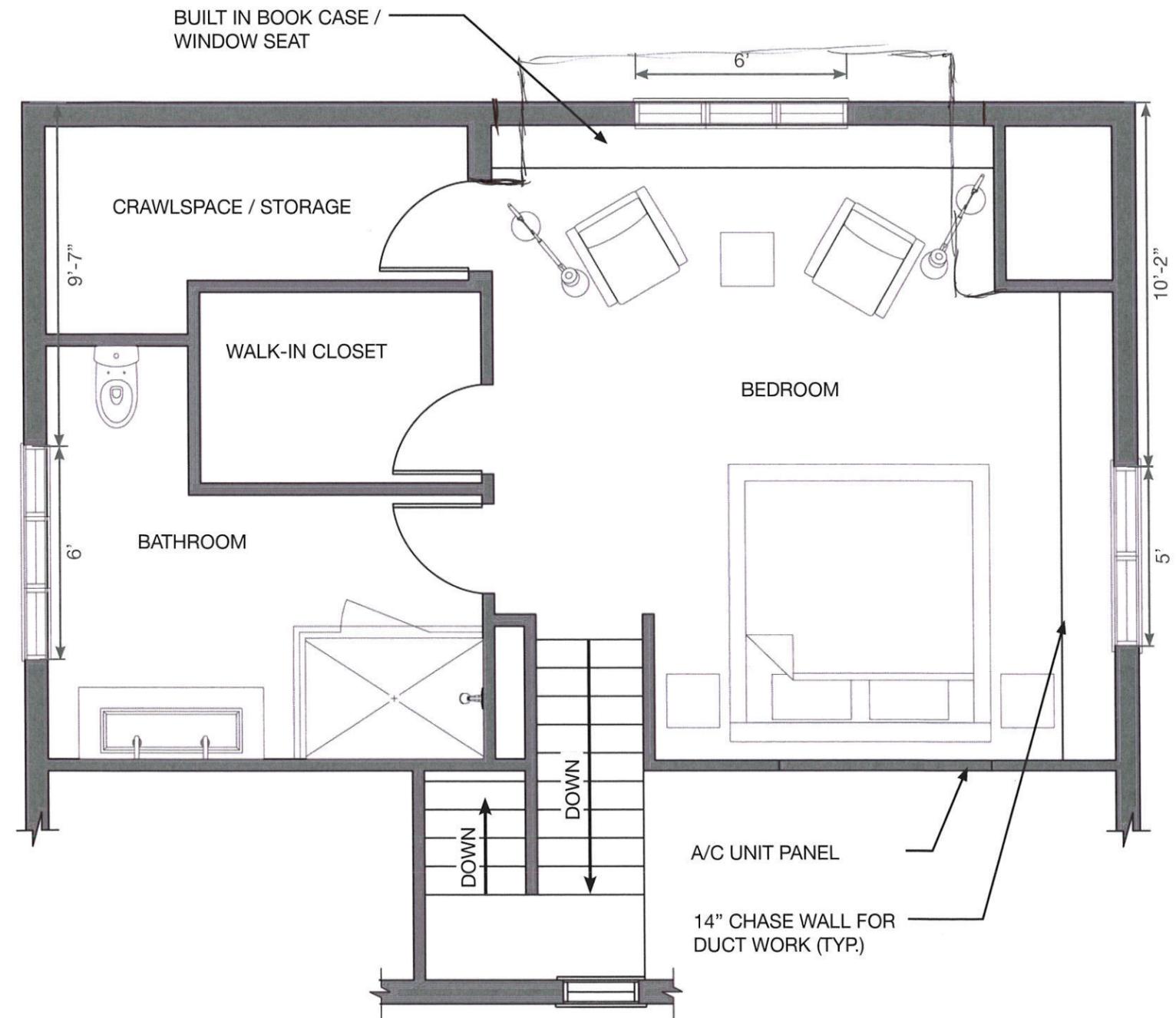


1 SITE PLAN: PROPOSED MODIFICATIONS  
 1/8" = 1'





1 LEVEL 3 PLAN: EXISTING CONDITIONS  
1/4" = 1'



2 LEVEL 3 PLAN: PROPOSED  
1/4" = 1'





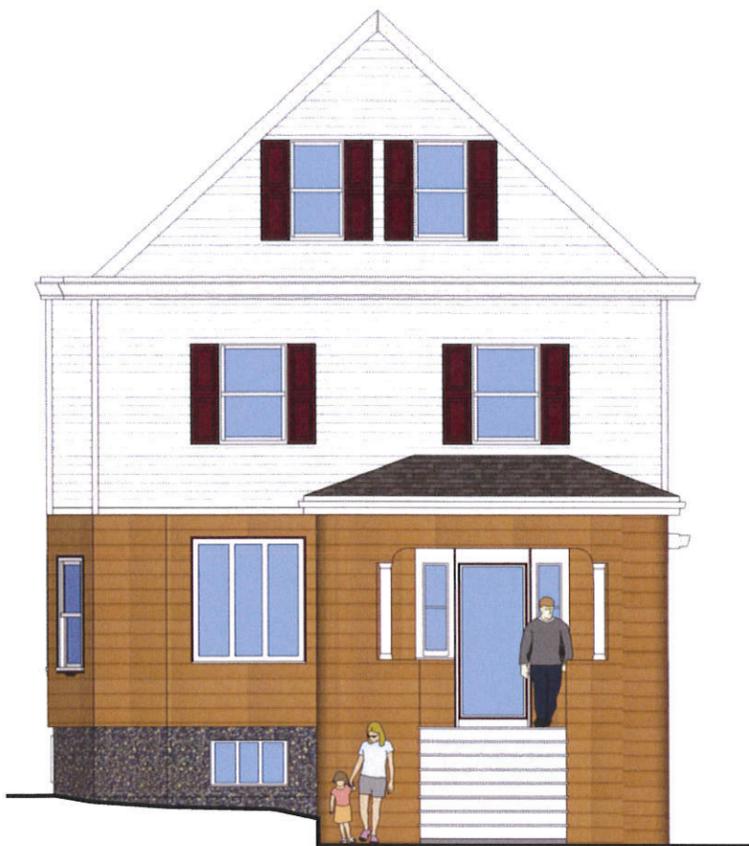
4 EXISTING CONDITION  
N/A



5 EXISTING CONDITION  
N/A



6 EXISTING CONDITION  
N/A



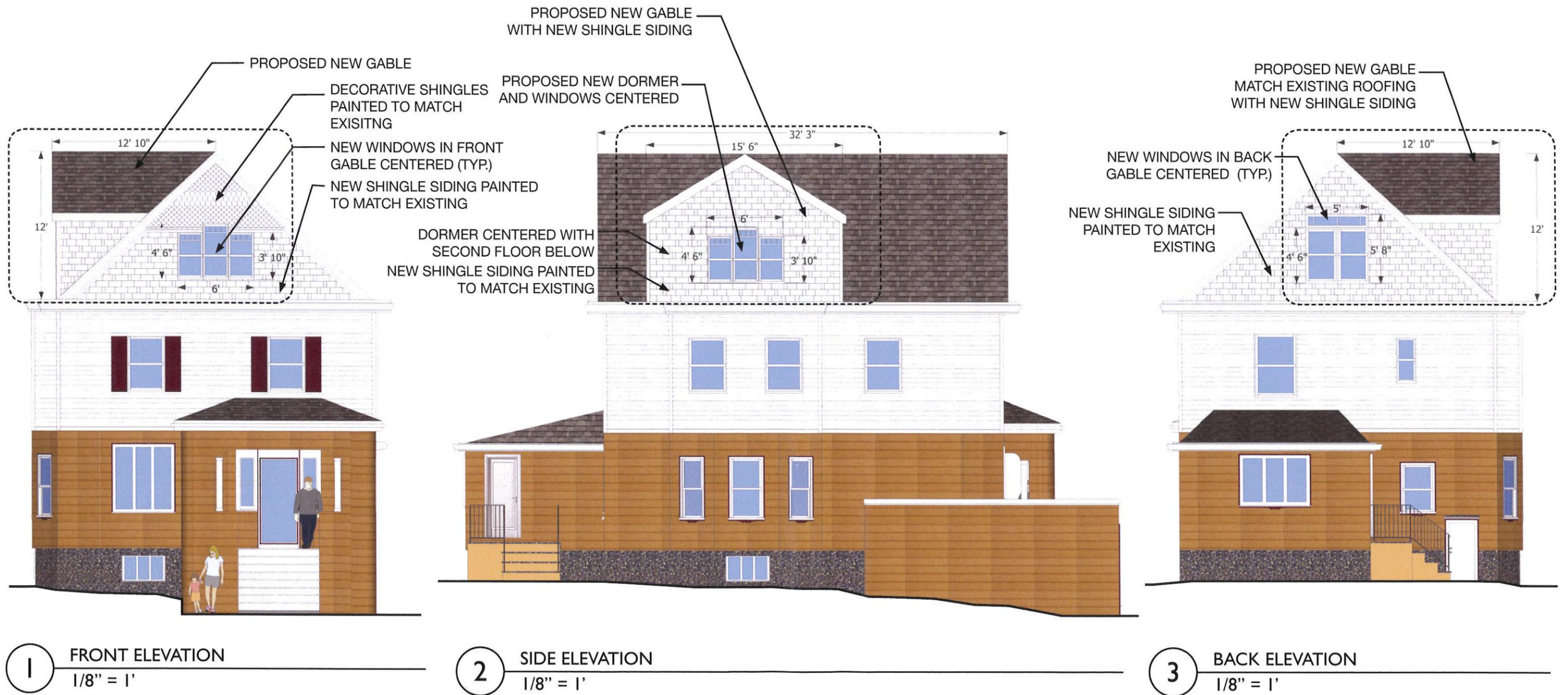
1 FRONT ELEVATION  
1/8" = 1'



2 SIDE ELEVATION  
1/8" = 1'



3 BACK ELEVATION  
1/8" = 1'





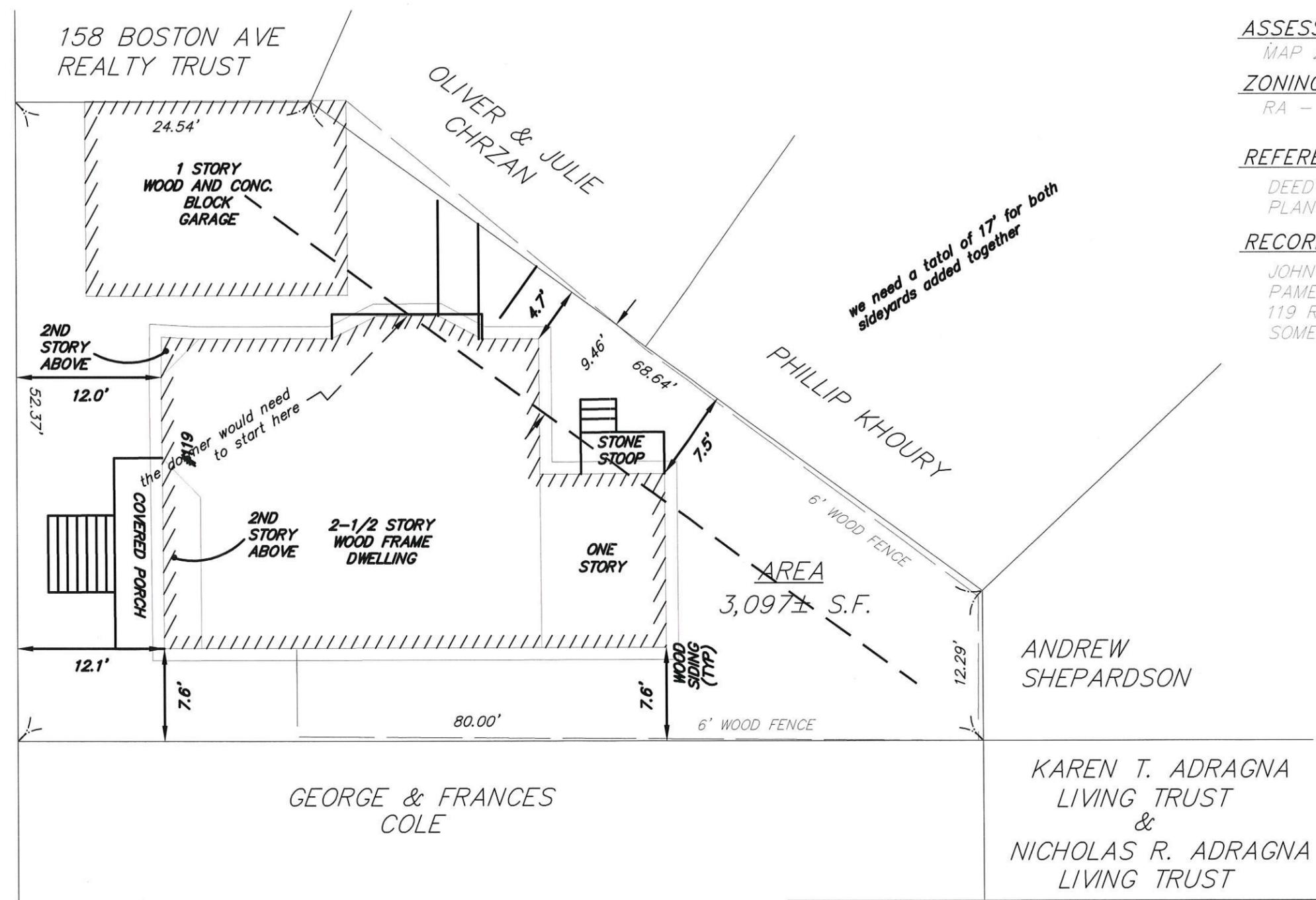
1 EXISTING CONDITIONS



2 PROPOSED RENDERING

MERIDIAN SCALED FROM PLAN BOOK 123, PLAN 13

ROGERS AVENUE (PUBLIC - 45' WIDE)



**ASSESSORS:**  
MAP 27, BLOCK 1, LOT 39

**ZONING:**  
RA - RESIDENCE A

**REFERENCES:**  
DEED BOOK 27819, PAGE 377  
PLAN BOOK 123, PLAN 13

**RECORD OWNER:**  
JOHN R. HIGHAM  
PAMELA E. HEARON  
119 ROGERS AVENUE  
SOMERVILLE, MA 02144

**NOTE:**  
THIS PLAN IS NOT TO BE CONSIDERED AN ALTA/ACSM LAND TITLE SURVEY, NOR IS IT TO BE USED FOR RETRACEMENT OF PROPERTY LINES.

PROFESSIONAL LAND SURVEYOR

<b>PLOT PLAN</b> OF LAND 119 ROGERS AVE, SOMERVILLE, MA PREPARED FOR: JOHN HIGHAM		CHK. BY: GGG
<b>HANCOCK</b> Survey Associates, Inc. 185 CENTRE STREET, DANVERS, MA. 01923 VOICE (978) 777-3050, FAX (978) 774-7816		DATE: 2/25/14
SCALE: 1" = 10' 		JOB NO. 18081