

13 ROBERTS STREET

RENOVATION AND ADDITION TO EXISTING 3-FAMILY BUILDING

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
 PH 617-354-3989

SEAL

CONSULTANT

PROJECT
13 ROBERTS ST

13 ROBERTS ST,
 SOMERVILLE, MA

PREPARED FOR
 A TEAM SOMERVILLE

370 CHESTNUT HILL AVENUE
 BRIGHTON, MA 02135

DRAWING TITLE

COVER SHEET

SCALE AS NOTED

REVISION | DATE

SP REV 2 | 27 AUG 2015

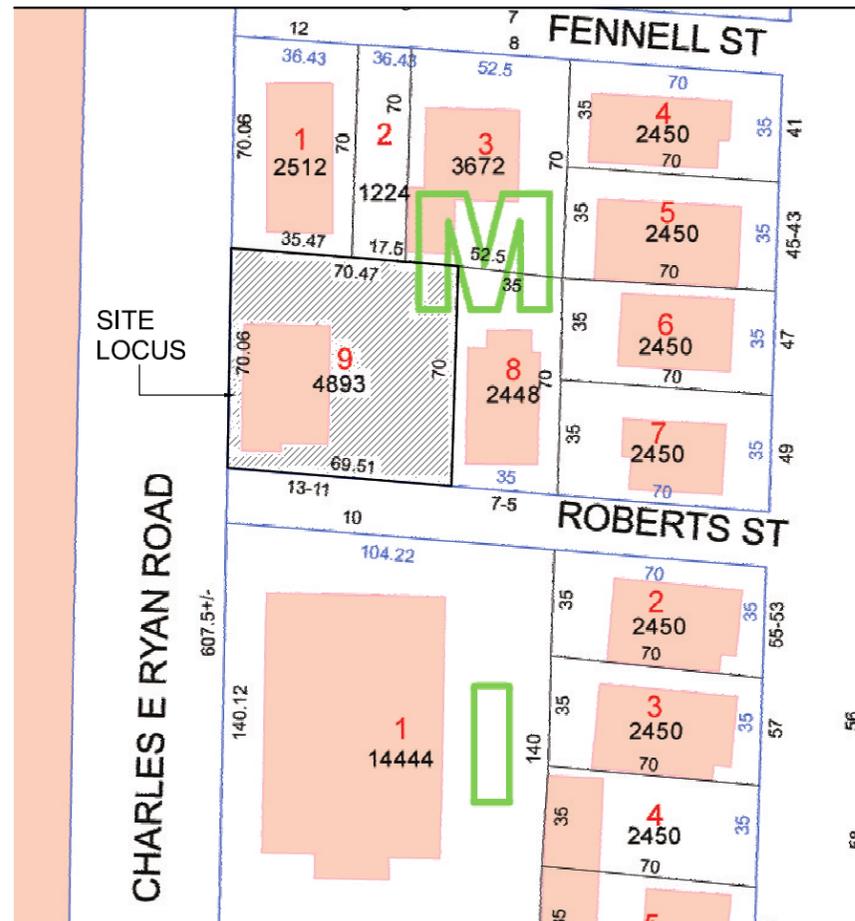
SP REV 1 | 24 JUL 2015

SP APPL | 25 NOV 2014

DRAWN BY | REVIEWED BY
 DM | PQ

SHEET

T-1

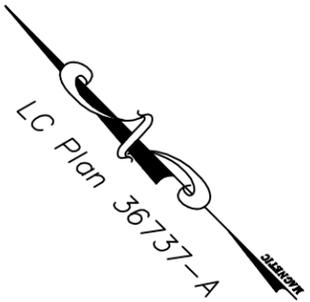
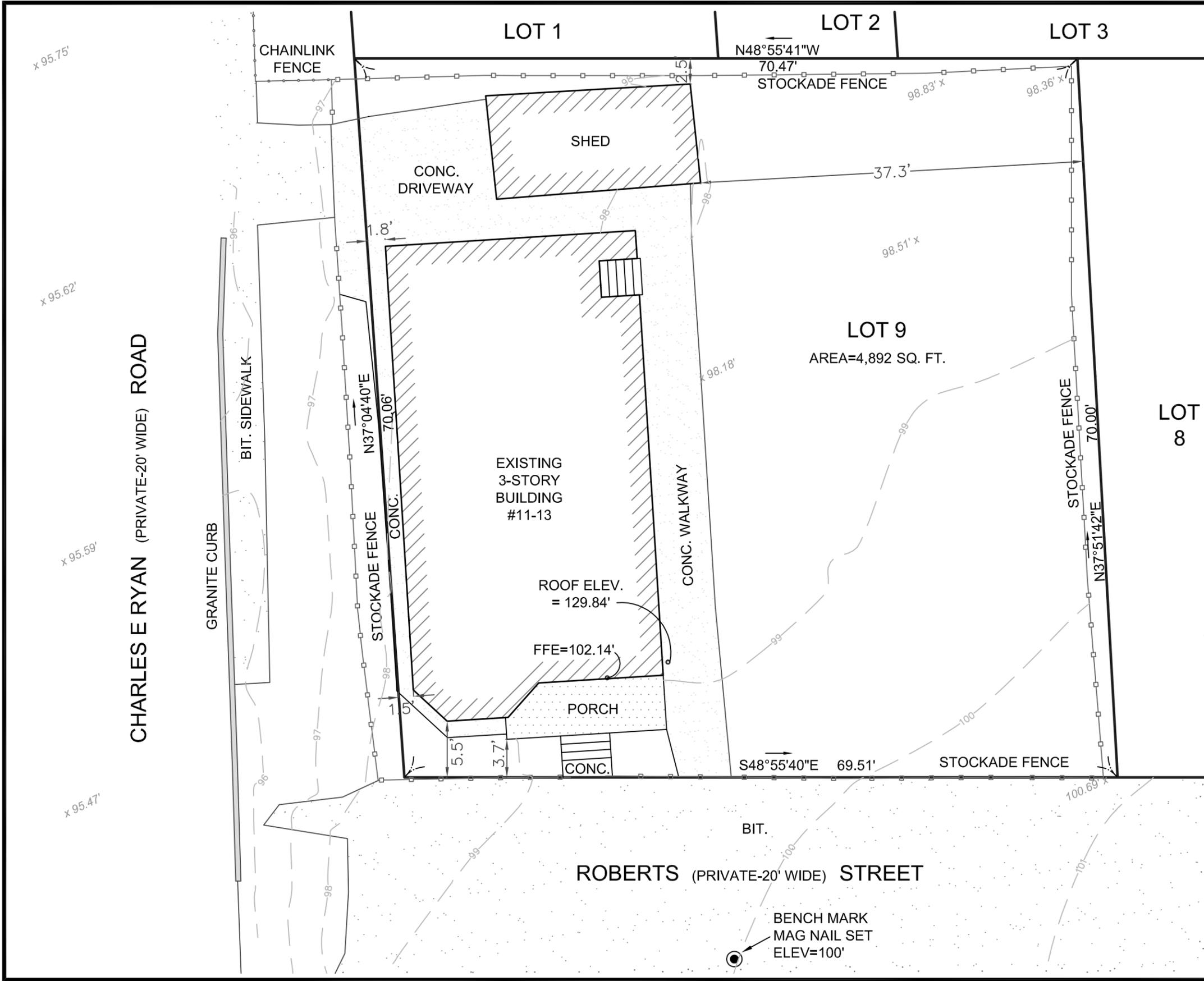


LOCUS MAP



STREET ELEVATION

LIST OF DRAWINGS		SP APPL 25 NOV 2014	SP APPL REV 1 29 JUL 2015	SP APPL REV 2 27 AUG 2015
T-1	COVER SHEET	X	X	X
	PLOT PLAN	X	X	X
Z-1	ZONING COMPLIANCE	X	X	X
Z-2	ZONING COMPLIANCE	X	X	X
A-1	PROPOSED FIRST FLOOR/SITE PLAN	X	X	X
A-2	PROPOSED SECOND & THIRD FLOOR PLAN	X	X	X
A-3	PROPOSED FRONT ELEVATION	X	X	X
A-4	PROPOSED REAR ELEVATION	X	X	X
A-5	PROPOSED SIDE ELEVATIONS	X	X	X
E-1	EXISTING FLOOR PLANS	X	X	X
E-2	EXISTING SOUTH & NORTH ELEVATIONS	X	X	X
E-3	EXISTING EAST & WEST ELEVATIONS	X	X	X



NOTES:

- * Scale 1 inch = 10 ft.
- * Assessors Ref.: 32 / M / 9 //
- * Deed Ref.: Book 63793, Page 168
- * Plan Ref.: Plan Book 62, Plan 44
- LC Plan 36737-A
- * Zone: RB
- * Distances shown were measured from building clapboard

Patrick Roseingrave



Patrick J. Roseingrave
Professional Land Surveyor

Plot Plan

11-13 Roberts Street
Somerville, MA 02145



10 Andrew Squqre, Suite 201B
South Boston, MA 02127
Tel. 857-544-3061
www.land-mapping.com

Date: October 16, 2014

DIMENSIONAL TABLE - RES B ZONING DISTRICT, SPECIAL PERMIT PER ARTICLE 4.4.1 FOR ADDITION > 25%

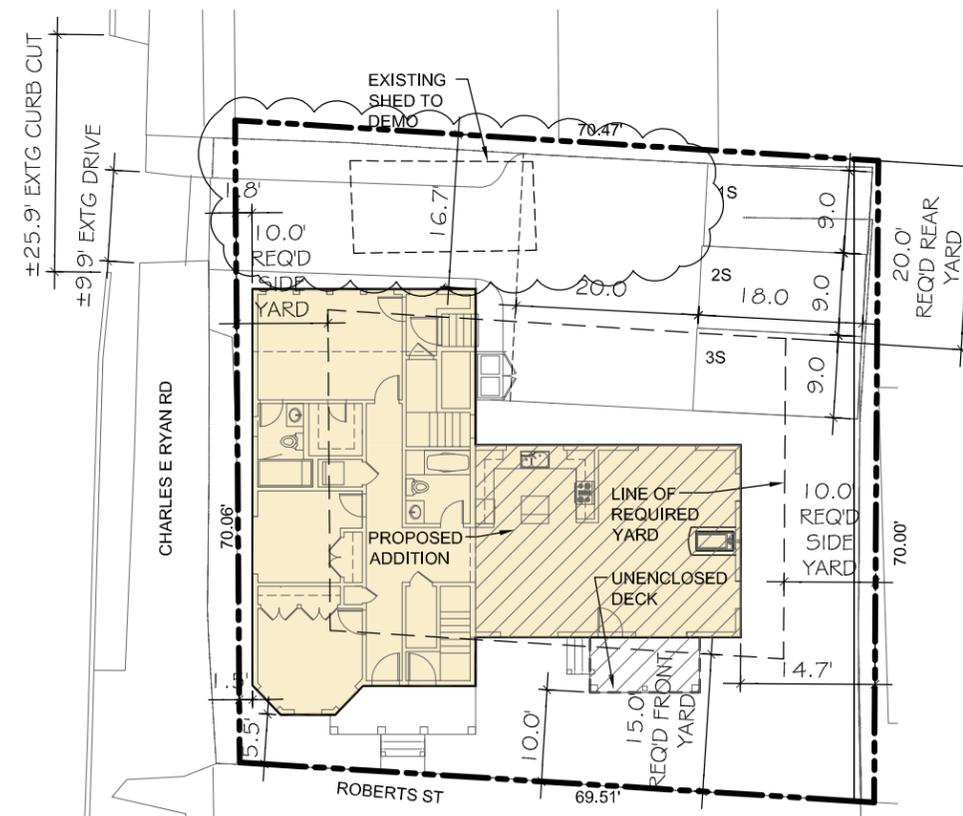
ITEM	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
USE	3 RES UNITS BY-RIGHT	3 RES UNITS	3 RES UNITS	COMPLIES
MIN LOT PER DWELLING (<10 UNITS)	1,500 SF	1,631 SF	1,631 SF	COMPLIES
MIN LOT SIZE	7,500 SF	4,892 SF	4,892 SF	EXISTING NON-CONFORMITY
MAX GROUND COVERAGE	50% (±2,446 SF)	28% (1,371 SF)	38% (1,865 SF)	COMPLIES
MIN LANDSCAPED AREA	25% (1,223 SF)	59% (2,889 SF)	33% (1,624 SF)	COMPLIES
PERVIOUS AREA, MIN % OF LOT	35% (1,712 SF)	59% (2,889 SF)	43% (2,113 SF)	COMPLIES
MAX FLOOR AREA RATIO	1.0 (4,892 SF)	0.59 (2,907)	0.97 (4,734 SF)	COMPLIES
MAX BUILDING HEIGHT	3 STY / 40'	3 STY / ±29.8'	3 STY / ±29.8'	COMPLIES
MIN YARD FRONT (Roberts)	15'	5.5'	5.5'	EXISTING NON-CONFORMITY
SIDE (L Charles E Ryan)	10'	1.5'	1.5'	EXISTING NON-CONFORMITY
SIDE (R)	10'	37.3'	14.7'	COMPLIES
REAR (Opposite Roberts)	20'	16.7'	16.7'	EXISTING NON-CONFORMITY
MIN FRONTAGE	50'	69.51'	69.51'	COMPLIES
MIN NO. PARKING SPACES	1, SEE NOTE 1*	0	3	COMPLIES
MIN NO. BICYCLE SPACES	EXEMPT	0	2	COMPLIES
MIN NO. LOADING SPACES	EXEMPT	0	0	COMPLIES

* NOTE 1: NUMBER OF REQUIRED PARKING SPACES PER §9.5
 EXISTING (3) 2-BR UNITS
 (3) 2-BR UNITS AT 1.5 SPACES PER UNIT
 = 3X1.5
 = 4.5 (ROUND TO 5) EXISTING CONDITION REQUIREMENT WITH NONE PROVIDED (GRANDFATHERED EXISTING CONDITION)

PROPOSED (3) 3-BR UNITS
 (3) 3-BR UNITS AT 2 SPACES PER UNIT
 = 3X2
 = 6 PROPOSED REQUIREMENT
 6 PROPOSED LESS 5 GRANDFATHERED = 1 SPACE REQUIRED
 3 PROVIDED

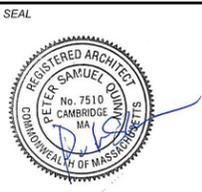


2 BUILDING HEIGHT
 SCALE: 3/32" = 1'-0"



1 DIMENSIONAL LAYOUT SITE PLAN
 SCALE: 1" = 20'-0"
 S = STANDARD SPACE (9'X18')

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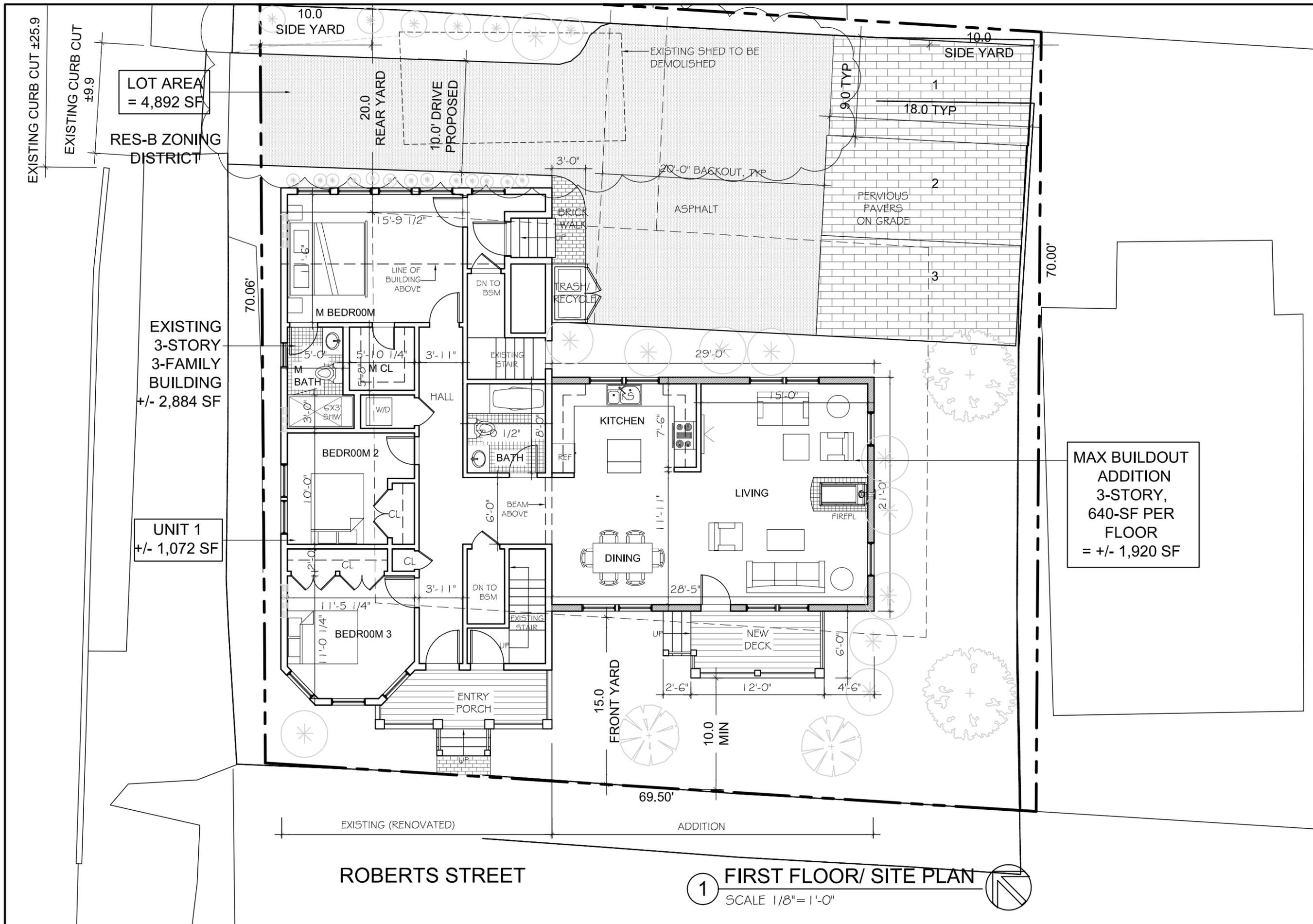
DRAWING TITLE
ZONING COMPLIANCE

REVISION	DATE
SP REV 2	27 AUG 2015
SP REV 1	24 JUL 2015
SP APPL	25 NOV 2014
DRAWN BY MY	REVIEWED BY PQ

SHEET
Z-1

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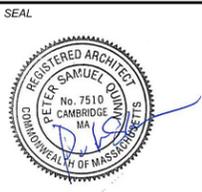
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DRAWING TITLE
**FIRST FLOOR/
SITE PLAN**

SCALE AS NOTED

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SP REV 2	27 AUG 2015
SP REV 1	24 JUL 2015
SP APPL	25 NOV 2014
DRAWN BY DM, MY	REVIEWED BY PQ
SHEET	

SP REV 2 27 AUG 2015

SP REV 1 24 JUL 2015

SP APPL 25 NOV 2014

DRAWN BY DM, MY REVIEWED BY PQ

SHEET

A-1

1 FIRST FLOOR/ SITE PLAN
SCALE 1/8" = 1'-0"

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1 SOUTH (FRONT) ELEVATION
SCALE 1/8" = 1'-0"

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**PROPOSED
FRONT
ELEVATION**

SCALE AS NOTED

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SHEET

A-3

**PETER
QUINN
ARCHI
TECTS**

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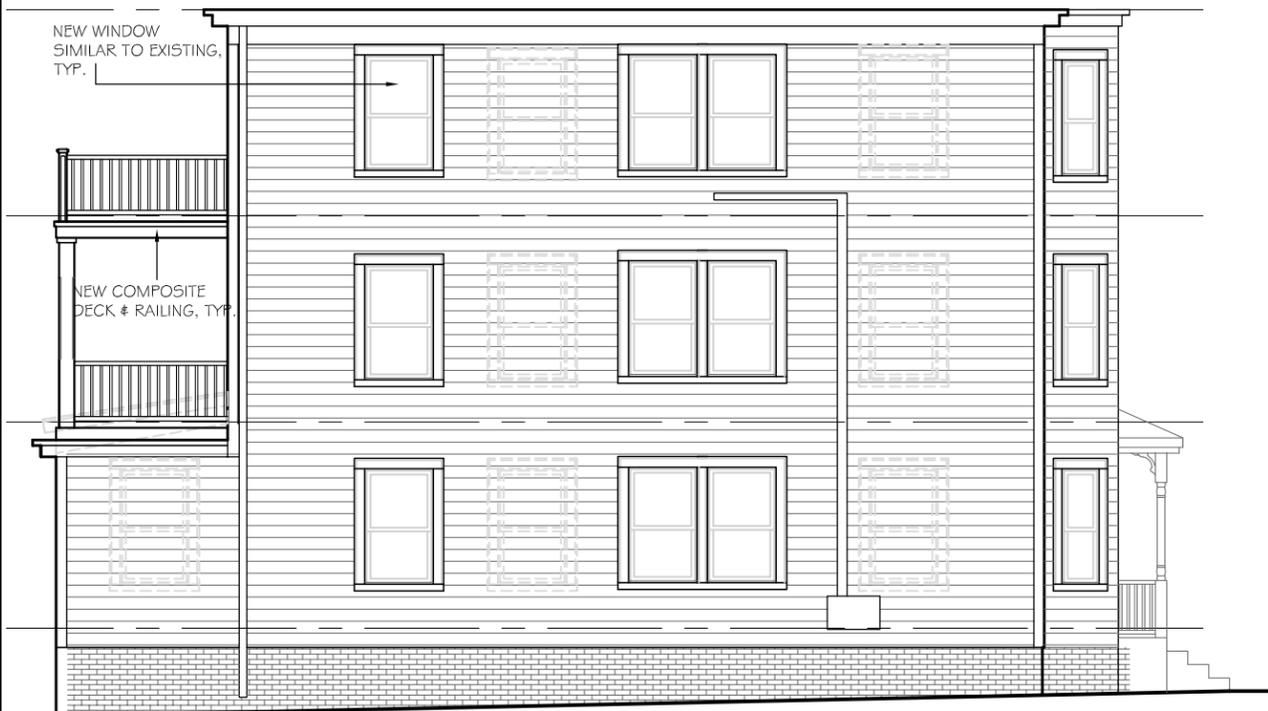
**PROPOSED
EAST & WEST
ELEVATION**

SCALE AS NOTED

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SHEET

A-5



1 EAST (LEFT SIDE) ELEVATION
SCALE 1/8" = 1'-0"



2 WEST (RIGHT SIDE) ELEVATION
SCALE 1/8" = 1'-0"

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**EXISTING
FLOOR
PLANS**

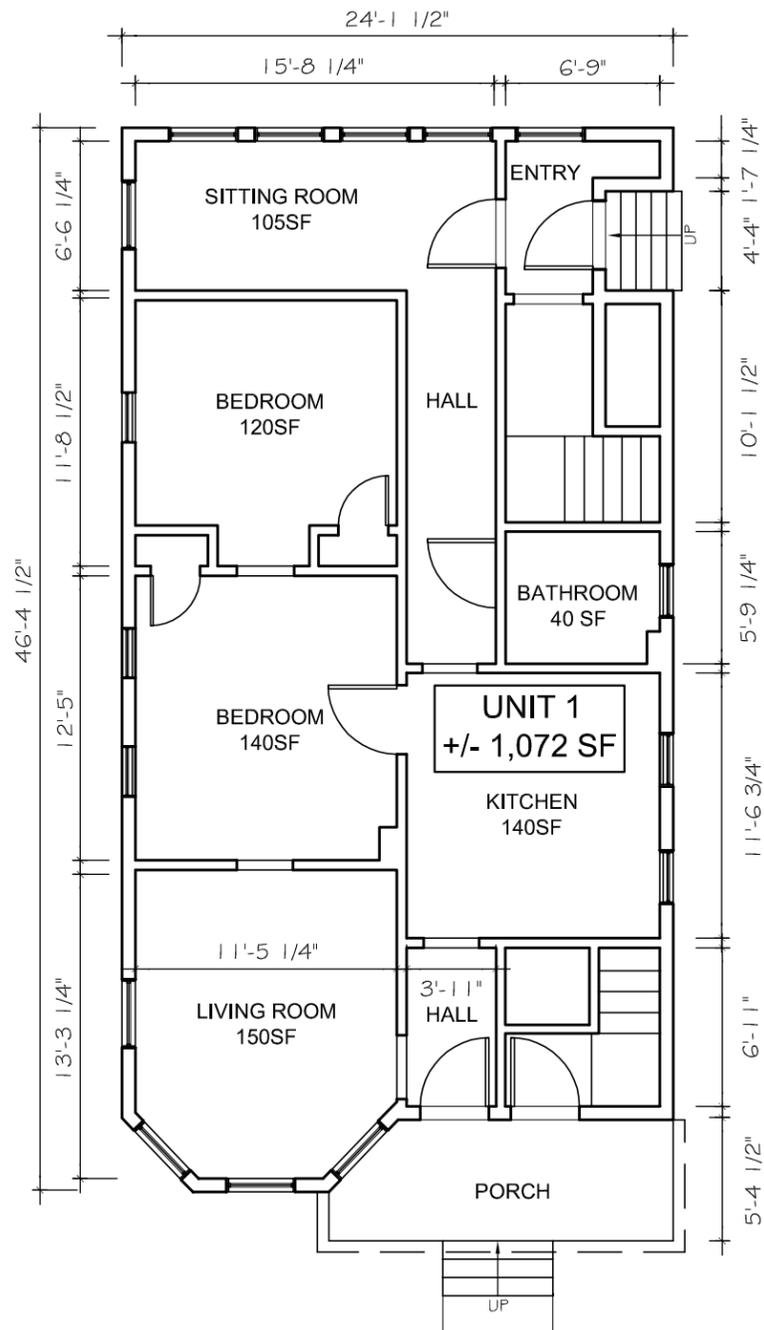
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REVISION	DATE

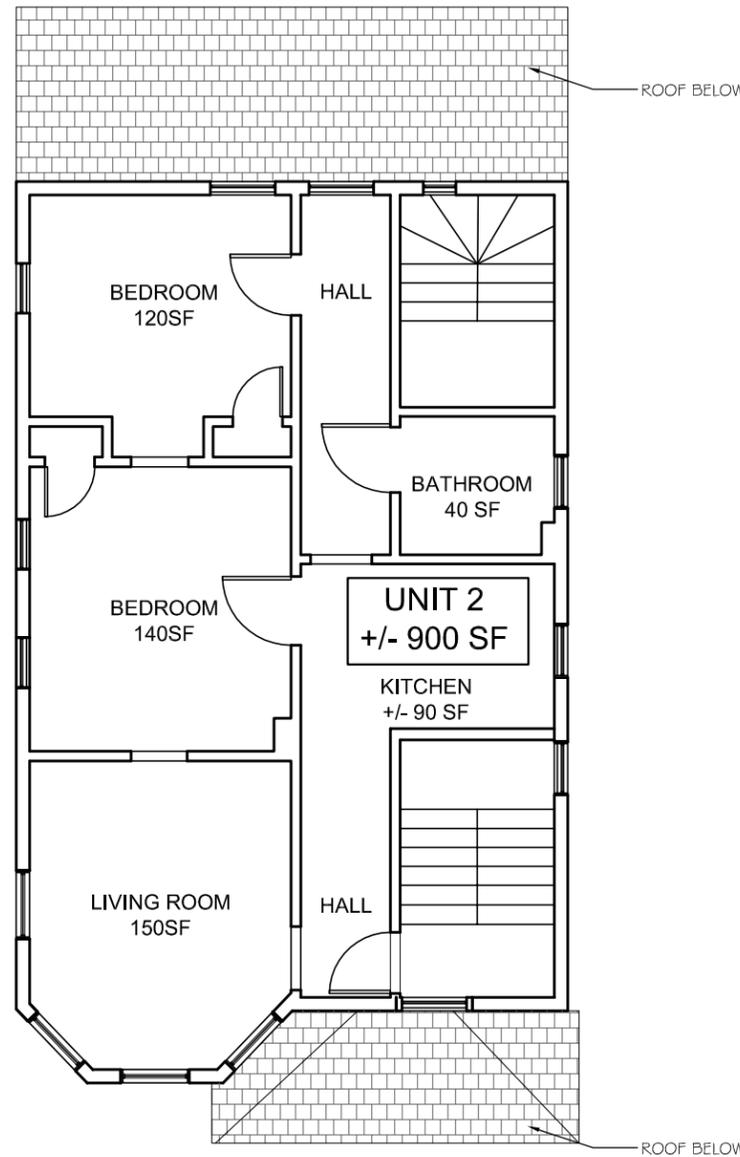
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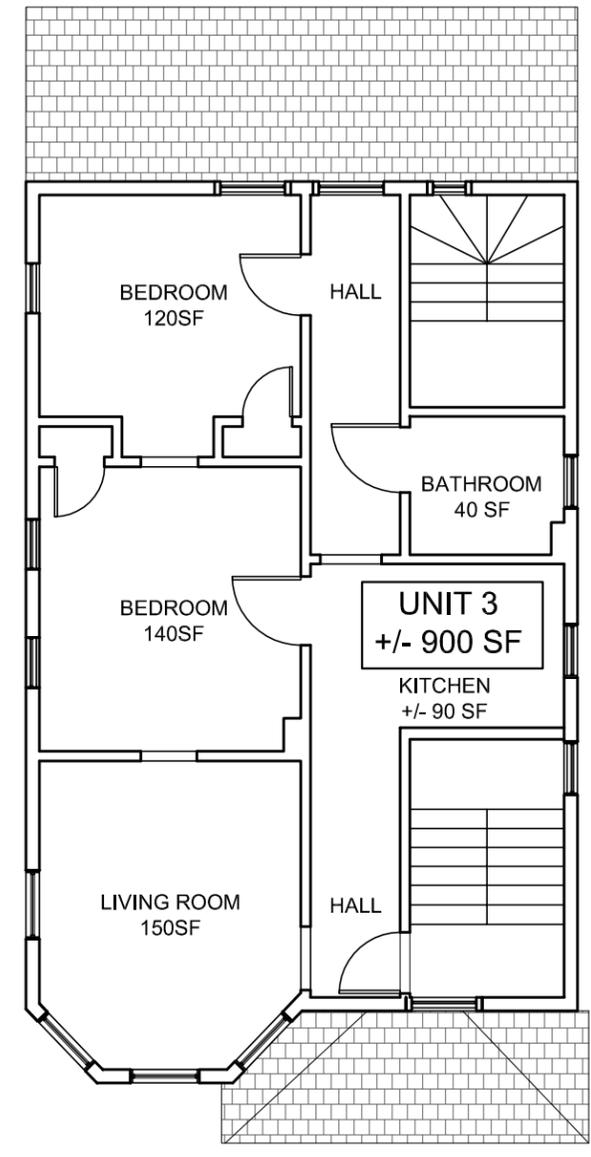
E-1



1 FIRST FLOOR/ SITE PLAN
SCALE 1/8" = 1'-0"



1 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

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EXISTING
SOUTH &
NORTH
ELEVATIONS

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E-2



1 SOUTH (FRONT) ELEVATION
SCALE 1/8" = 1'-0"



1 NORTH (REAR) ELEVATION
SCALE 1/8" = 1'-0"

