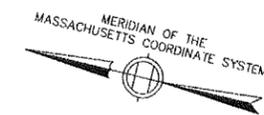
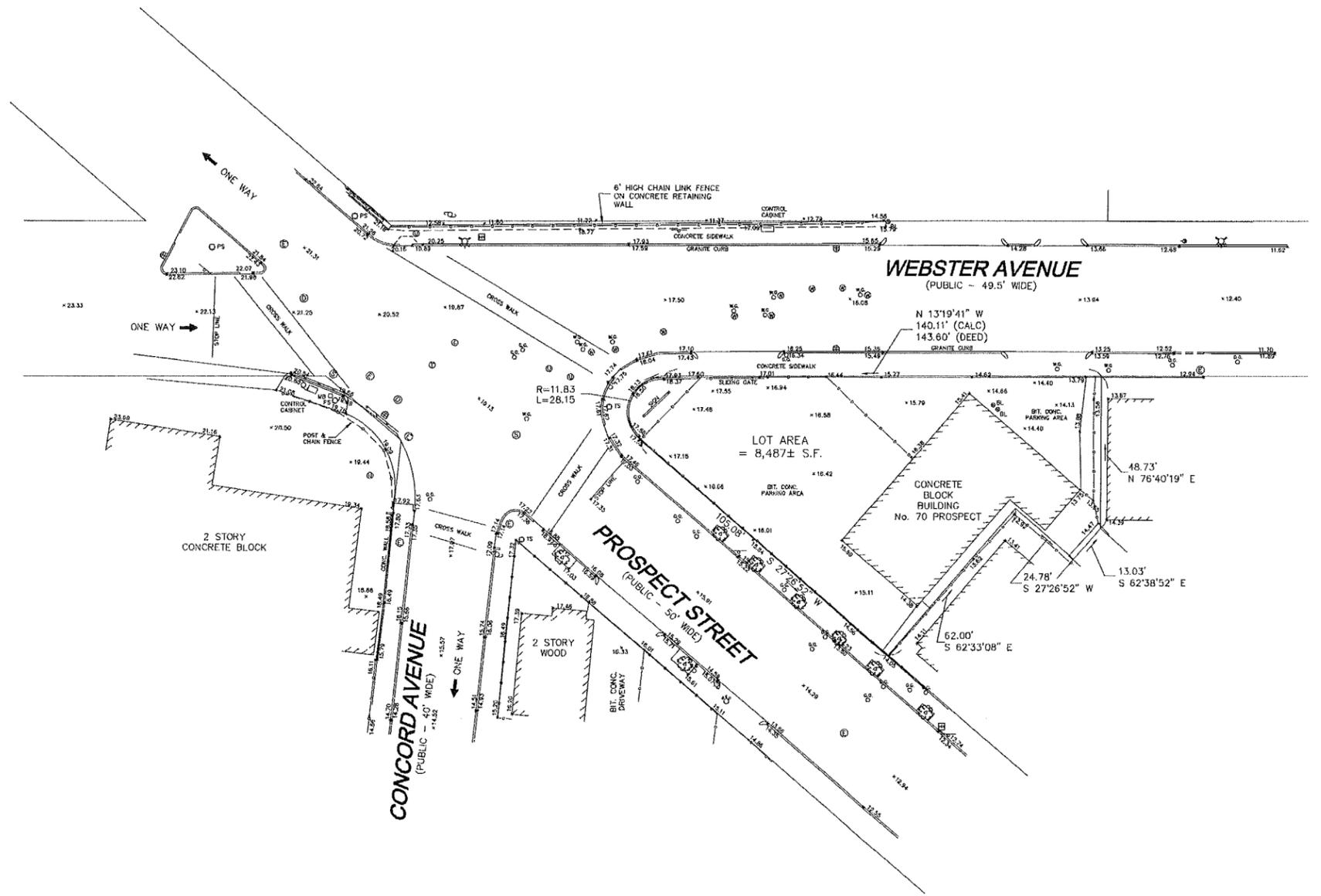


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- LEGEND**
- ○ ○ CHAIN LINK FENCE
 - STOCKADE FENCE
 - CS COMBINED SEWER & DRAIN
 - S SANITARY SEWER
 - D DRAIN LINE
 - W WATER LINE
 - G GAS LINE
 - E ELECTRIC LINE
 - OHW OVERHEAD ELECTRIC
 - ⊙ SANITARY MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ CABLE MANHOLE
 - ⊙ WATER MANHOLE
 - ⊙ FIRE ALARM MANHOLE
 - ⊙ CATCH BASIN
 - N.P.V. NO PIPES VISIBLE
 - ⊙ UTILITY POLE
 - ⊙ FIRE HYDRANT
 - ⊙ W.G. WATER GATE
 - ⊙ G.G. GAS GATE
 - ⊙ LIGHT POLE
 - ⊙ HANDHOLE
 - ⊙ ELECTRIC METER
 - ⊙ CONCRETE PAD
 - SIGN



NOTES
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY TO DEPICT THE PROPERTY LINES AND THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND WAS PERFORMED ON JULY 24, 2012, BY DESIGN CONSULTANTS, INC. (DCI).

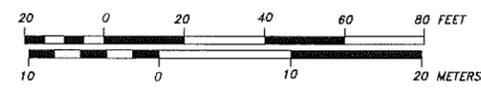
THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES, CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

LOCUS TITLE INFORMATION

70 PROSPECT STREET
OWNER: LAUREL A. SHUMAN TRUST
DEED REFERENCE: BK. 15815 PG. 211
PLAN REFERENCE: PLAN BK. 63 PLAN 47
ASSESSORS: MAP 83, BLOCK B, LOT 1



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Design Consultants, Inc.
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

SCALE:			
HORIZ: 1" = 20'			
VERT: _____			
NO.	DATE	BY	REVISIONS

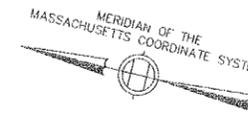
FIELD: LJC	EXISTING CONDITIONS
CALCS: ML	
CHECKED: EJC	
APPROVED: EJC	
53A-55 WEBSTER AVENUE 68-72 PROSPECT STREET	

PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS
SURVEYED FOR DOUGLAS BEAUDET

PROJECT NO. 2012-070
DATE: JULY 24, 2012
SHEET NO. 1 OF 1

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PLANNING DEPT.

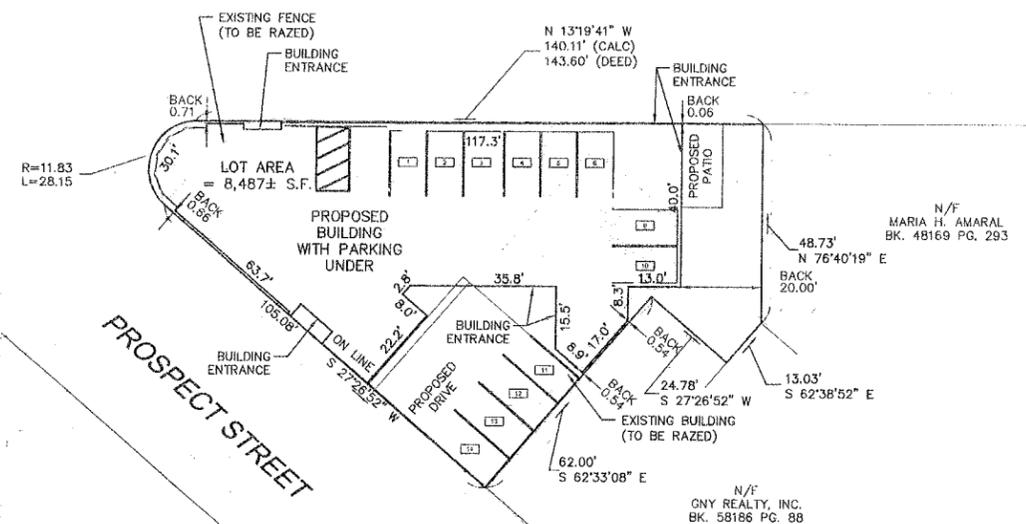
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WEBSTER AVENUE

CONCORD AVENUE

PROSPECT STREET



NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED RECONSTRUCTION OF THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON JULY 24, 2012 BY DESIGN CONSULTANTS, INC.

ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING SIZE AND DECK/STAIR LOCATIONS.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMERVILLE ASSESSOR'S OFFICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

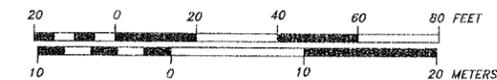


P.L.S. Everett J. Chandler
EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE 11/21/12

LOCUS TITLE INFORMATION

70 PROSPECT STREET
OWNER: LAUREL A. SHUMAN TRUST
DEED REFERENCE: BK. 15815 PG. 211
PLAN REFERENCE: PLAN BK. 63 PLAN 47
ASSESSORS: MAP 83, BLOCK B, LOT 1



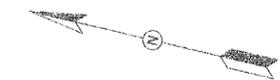
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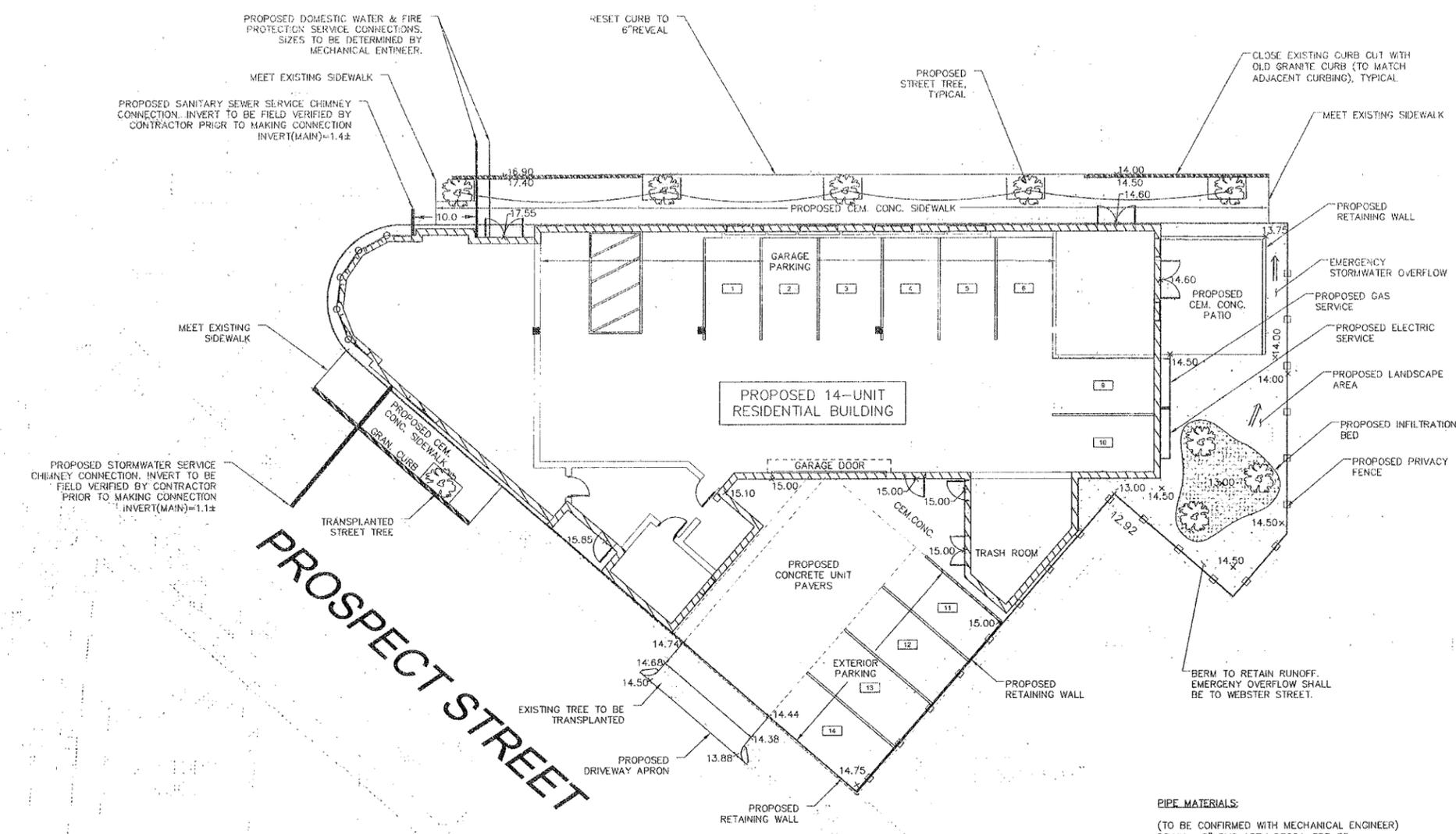
Design Consultants, Inc. Consulting Engineers and Surveyors 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-778-3350 68 PLEASANT STREET NEWBURYPORT, MA 01950 978-368-7173	SCALE: HORIZ: 1" = 20' VERT: _____	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	BY	REVISIONS													FIELD: <u>LJC</u> CALCS: <u>ML</u> CHECKED: <u>EJC</u> APPROVED: <u>EJC</u>	CERTIFIED PLOT PLAN 53A-55 WEBSTER AVENUE 68-72 PROSPECT STREET	PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS SURVEYED FOR DOUGLAS BEAUDET	PROJECT NO. 2012-070 DATE: JULY 24, 2012 SHEET NO. 1 OF 1
			NO.	DATE	BY	REVISIONS																
Design Consultants, Inc. logo and contact information																						

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CONCORD AVENUE



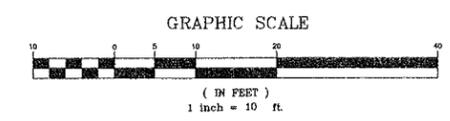
GENERAL NOTES

1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DCI, PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ADJUTING LOTS.
3. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) ARE PART OF DIG-SAFE. MARKING OF CITY OF SOMERVILLE FACILITIES IS DONE BY CITY OF SOMERVILLE PERSONNEL. CONTACT DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
4. THE CONTRACTOR SHALL SUPPLY ALL FITTINGS AND VALVES NECESSARY FOR THE INSTALLATION OF THE DOMESTIC AND FIRE WATER SERVICES.
5. NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF SOMERVILLE.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONS OF EXISTING UTILITIES, AND VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
7. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EACH CONNECTION. THE WATER, DRAIN, AND SEWER SERVICES SHALL BE CAPPED AND CUT AT THE MAIN IN THE STREET BY THE CONTRACTOR. THE PROPOSED GAS INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANY.
8. PERCOLATION TESTS MAY BE REQUIRED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT SYSTEM. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST PIT RESULTS.
9. THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
10. THE CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE MUNICIPAL DRAIN, SEWER, AND COMBINED SEWER SYSTEMS.
11. ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS & REGULATIONS OF THE CITY OF SOMERVILLE AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
12. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
13. ALL RIMS AND COVERS OF EXISTING UTILITIES STRUCTURES TO REMAIN WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED OR REMODELED TO MEET PROPOSED GRADES, UNLESS OTHERWISE NOTED.
14. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE APPROXIMATE AND THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEER PLANS.
15. THIS PLAN HAS BEEN PREPARED FOR THE APPROVAL OF THE DOMESTIC/FIRE WATER SERVICE, SEWER SERVICE, AND THE STORM DRAINAGE SYSTEM.

PIPE MATERIALS:

(TO BE CONFIRMED WITH MECHANICAL ENGINEER)
 DRAIN: 8" PVC ASTM D3034-SDR 35, UNLESS OTHERWISE NOTED.
 ROOF DRAIN: 8" PVC ASTM D3034-SDR 35, UNLESS OTHERWISE NOTED.
 SEWER: 6" PVC ASTM D3034-SDR 35.
 WATER: DOMESTIC: 4" CONCRETE LINED DUCTILE IRON PIPE
 FIRE: 6" CONCRETE LINED DUCTILE IRON PIPE
 ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.

LEGEND	
	CATCH BASIN
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	SIGN
	SEWER MANHOLE
	TELEPHONE MANHOLE
	UNKNOWN MANHOLE
	GAS GATE
	WATER GATE
	AREA DRAIN
	CATCH BASIN
	CLEAN OUT
	FIRE SERVICE
	OVERFLOW
	ROOF DRAIN
	DRAIN
	ELECTRIC
	FIRE SERVICE
	SEWER
	TELEPHONE
	WATER
	CHAIN LINK FENCE

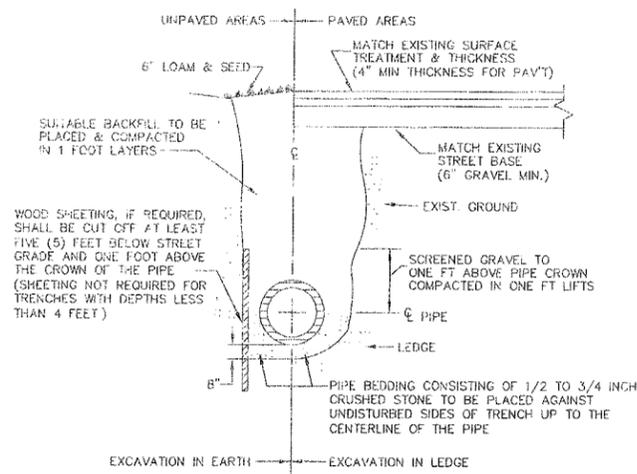


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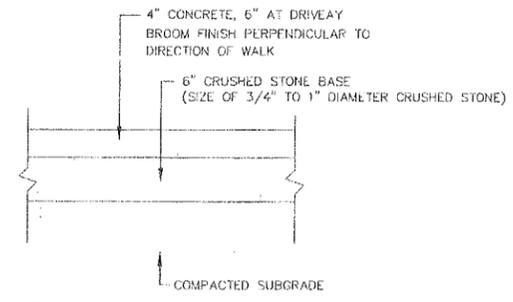
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<p>Design Consultants, Inc. Consulting Engineers and Surveyors</p> <p>120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-778-3360</p> <p>68 PLEASANT STREET NEWBURYPORT, MA 01960 978-368-7173</p>	<p>SCALE: HORIZ: 1" = 10' VERT: _____</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	BY	REVISIONS													<p>DESIGNED: RLB DRAFTED: RLB CHECKED: SBS APPROVED: SBS</p>	<p>PRELIMINARY PERMIT SITE PLAN</p> <p>70 PROSPECT STREET</p>	<p>PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS</p> <p>PREPARED FOR DG/REAL ESTATE DEVELOPMENT</p>	<p>PROJECT NO. 2012-070</p> <p>DATE: NOV 21, 2012</p> <p>SHEET NO. 1 OF 2</p>
			NO.	DATE	BY	REVISIONS																

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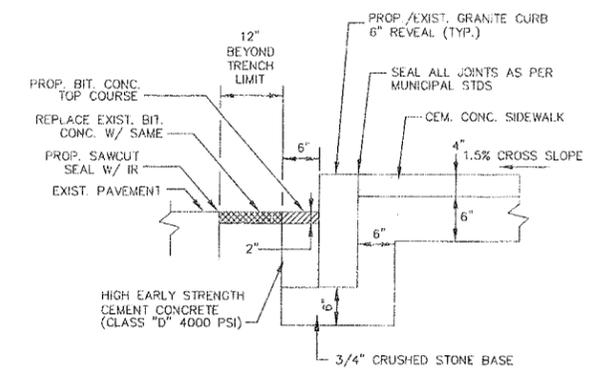


TRENCH EXCAVATION
NOT TO SCALE

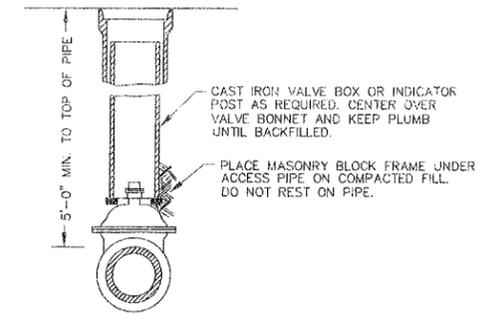


NOTES:
1. PROVIDE 1/2" CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 10'-0" O.C. MAX.
2. PROVIDE A TOOLED DUMMY JOINT 1/2"W x 1/2"D AS NEEDED TO PROVIDE SYMMETRY.

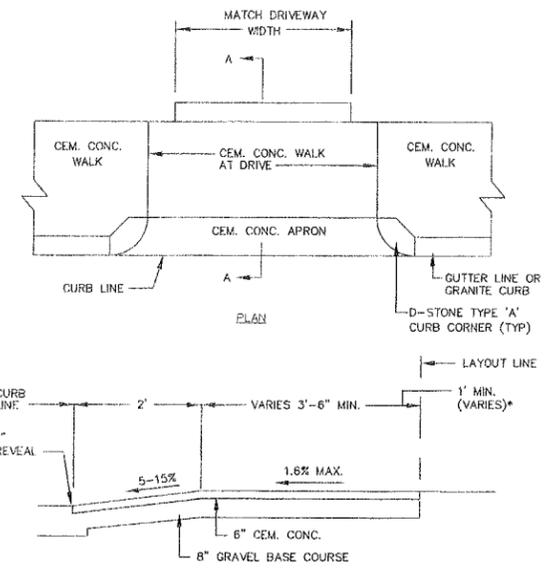
CEMENT CONCRETE SIDEWALK
NOT TO SCALE



GRANITE CURB IN EXISTING ROAD PAVEMENT W/ NEW SIDEWALK
NOT TO SCALE

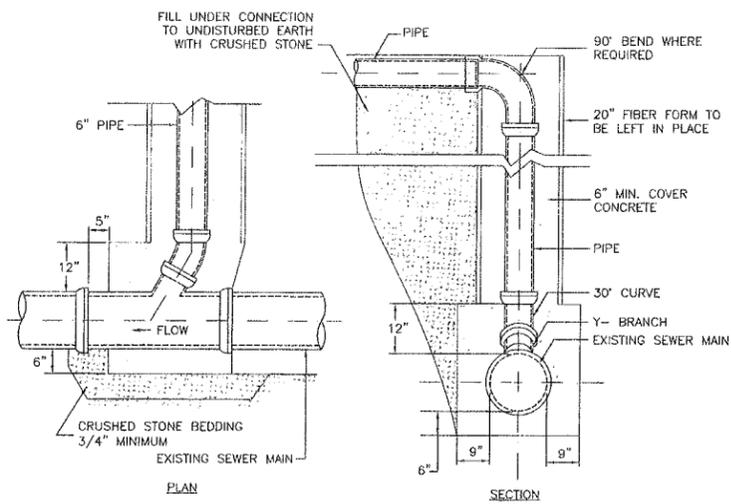


GATE VALVE INSTALLATION IN TRENCH
NOT TO SCALE



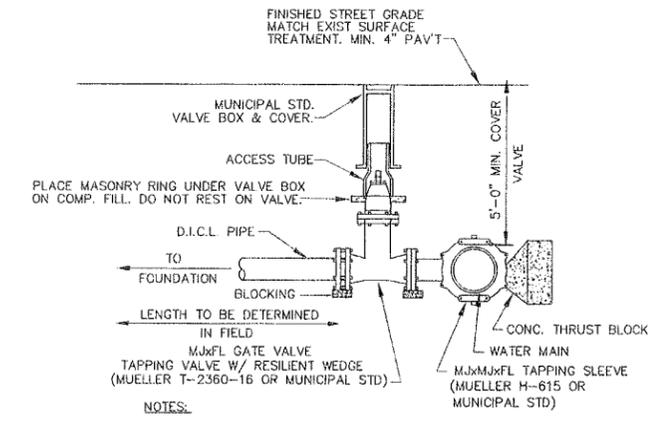
* 2-1/2" BIT CONC. MAY BE ELIMINATED IF EXISTING BACK OF SIDEWALK IS AT THE PROPERTY LINE OR CITY LAYOUT.

DRIVEWAY APRON CONSTRUCTION
NOT TO SCALE



1. SEE SHEET 1 FOR SERVICE CONNECTION SIZES

SEWER/STORMWATER SERVICE CHIMNEY CONNECTION
NOT TO SCALE



NOTES:
1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.
2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

WATER CONNECTION WITH WET TAP
NOT TO SCALE

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DESIGNED: RLB
DRAFTED: RLB
CHECKED: SBS
APPROVED: SBS

PERMIT DETAILS
70 PROSPECT STREET

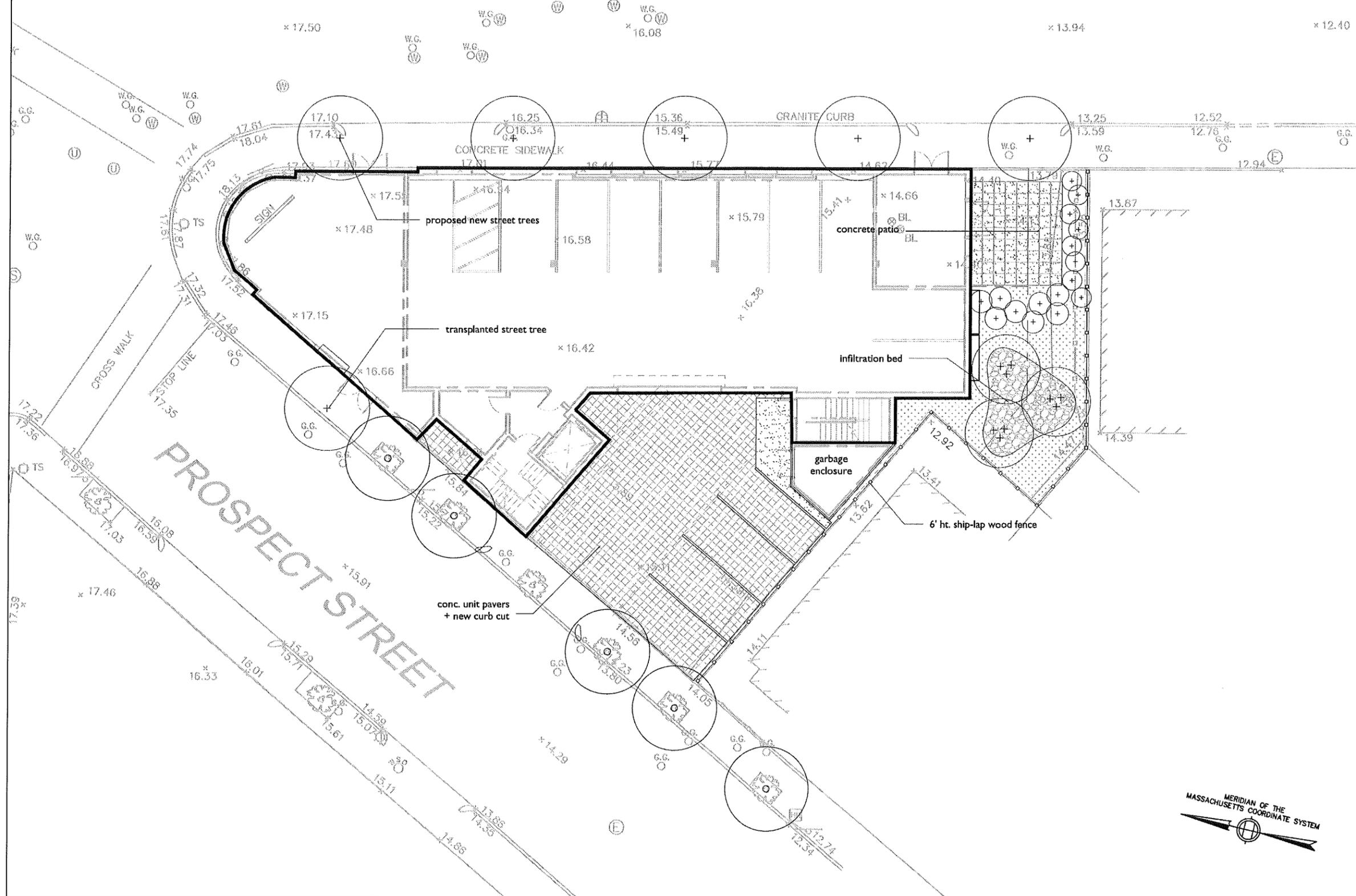
PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
DG/REAL ESTATE DEVELOPMENT

PROJECT NO. 2012-070
DATE: NOV 21, 2012
SHEET NO. 2 OF 2

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WEBSTER AVENUE

L-01



PROJECT:
70 Prospect Street | Somerville MA

DATE: 2012-11-09
SCALE: 1/16" = 1'-0"
DRAWN BY: BN
CHECKED BY: BH

Blair Hines Design
Associates
LANDSCAPE ARCHITECTS
318 Harvard Street, Suite #5
Somerville, MA 02145
Tel: 617.758.1180 Fax: 617.698.0025
email: info@blairhinesdesign.com
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