

ADAPTIVE REUSE OF 92 PROSPECT (SPECIAL PERMIT)

92 PROSPECT STREET, SOMERVILLE, MA 02143



VIEW OVERLOOKING TREMONT ST



VIEW ACROSS INTERIOR COURTYARD

LIST OF DRAWINGS

GENERAL

- T-1 COVER SHEET, LOCUS MAP
- CERTIFIED PLOT PLAN

ZONING

- Z.1 ZONING COMPLIANCE SHEET

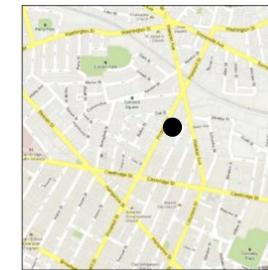
LANDSCAPE

- L1.0 LANDSCAPE FLOOR PLAN

ARCHITECTURAL

- A1.1 FIRST FLOOR PLAN AND SOUTH ELEVATION
- A1.2 SECOND AND THIRD FLOOR PLAN
- A2.1 PROPOSED ELEVATIONS

LOCUS MAP



PREPARED BY:

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PREPARED FOR:

TWO SQUARES LLC

56 REGENT STREET
CAMBRIDGE, MA 02140

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SEAL



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DRAWING TITLE

COVER SHEET

SCALE AS NOTED

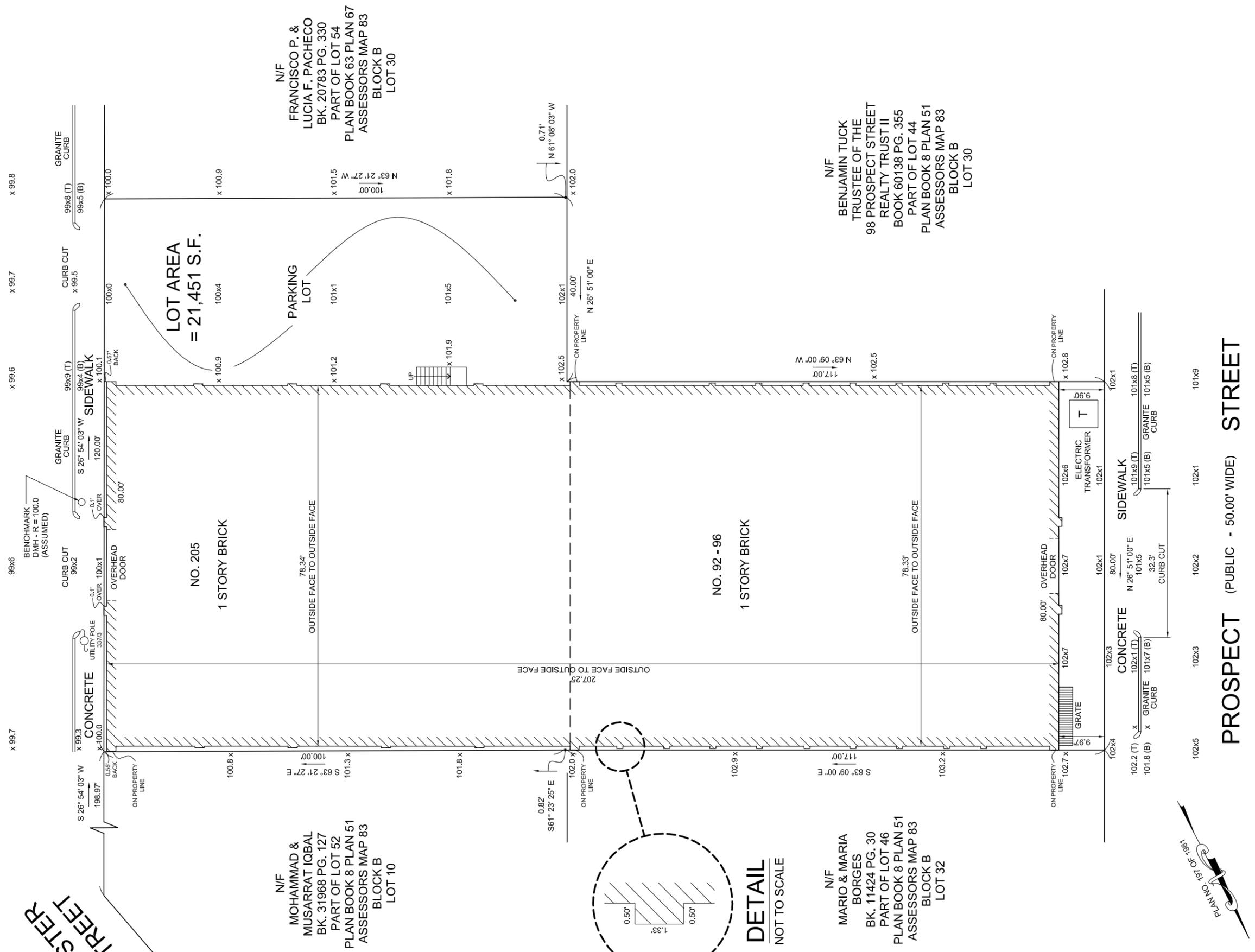
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DRAWN BY ACW	REVIEWED BY PQ

SHEET

T.1

TREMONT (PUBLIC - 40.00' WIDE) STREET

WEBSTER STREET



CERTIFIED PLOT PLAN

IN

SOMERVILLE, MA

92-96 PROSPECT STREET & 205 TREMONT STREET



MARCH 6, 2013

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566 (781) 321 - 2501 (FAX)

NOTES:

1. THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY.
2. RECORD OWNER: TWO SQUARES, LLC
BK. 60811 PG. 267
L.C. CERT. NO. 253034
3. PROPERTY DESCRIPTION: LOT 46 AND A PORTION OF LOT 54 AS SHOWN ON A PLAN BY W.A. MASON, SURVEYOR, DATED NOVEMBER 1854 AND RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 8 PLAN 51. ALSO A REGISTERED LOT SHOWN ON LAND COURT PLAN NO. 8432A. SEE ALSO ASSESSOR'S MAP 83, BLOCK B, LOTS 11, 12, & 31.
4. ALL SETBACK DISTANCES SHOWN ARE TO THE BRICK CORNER.





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ZONING COMPLIANCE

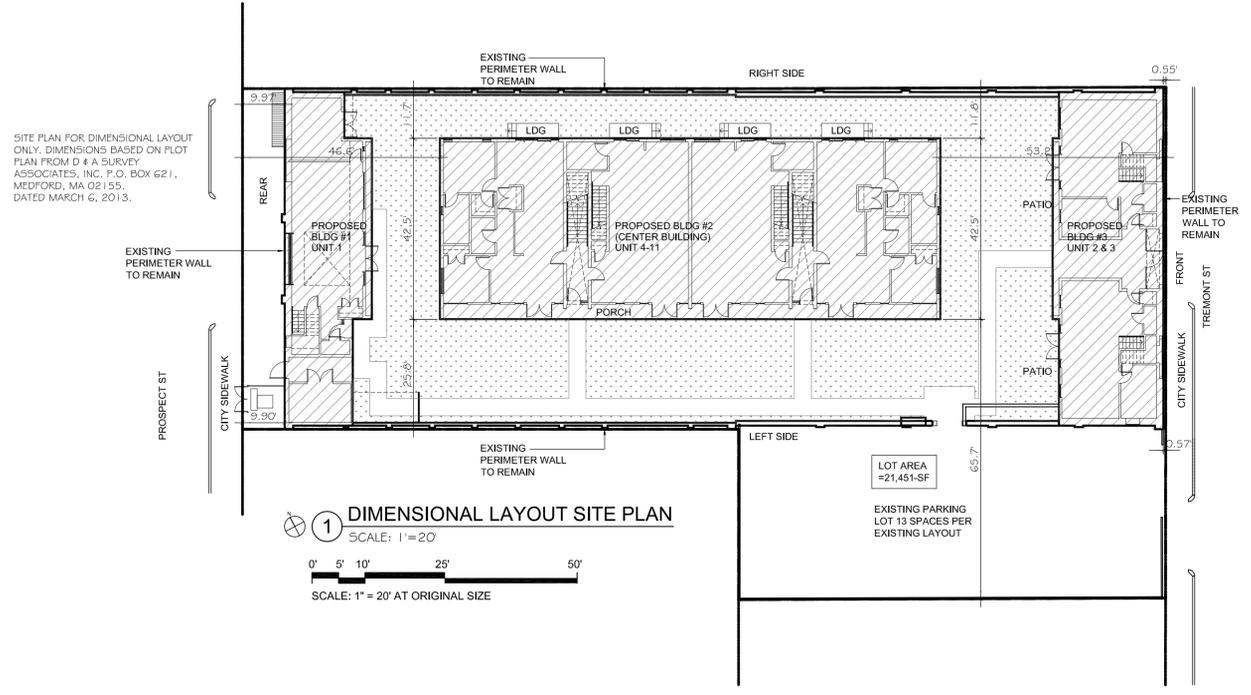
SCALE AS NOTED

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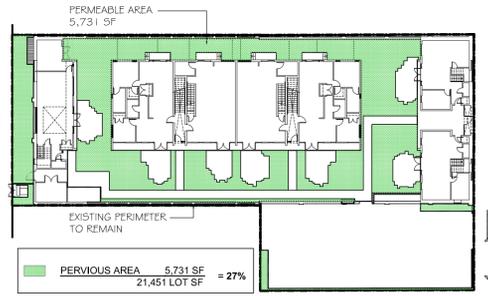
SHEET

DIMENSIONAL TABLE - RB ZONING DISTRICT - ZBL § 4.4.1, 7.2, 7.3 SPSR & PARKING VARIANCE

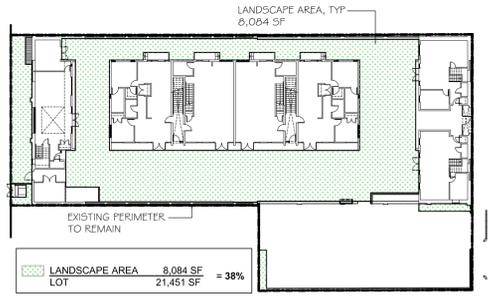
ITEM	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	21,451	21,451	COMPLIES
MIN LOT AREA / UNIT 10 OR MORE UNITS (SF)	1500	N/A	1,950	COMPLIES
MAX GROUND COVERAGE (%)	50	76	41	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	<1	38	COMPLIES
PERVIOUS AREA (% OF LOT)	35	<1	27	EXISTING NON-COMFORMING (IMPROVED)
FLOOR AREA RATIO (FAR)	1.0	0.76	0.96	COMPLIES
NET FLOOR AREA (NSF)	21,451	16,266	20,900	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	31 / 3	+/- 36 / 3	COMPLIES
MIN FRONT YARD (FT)	15	0.55 (PERIMETER)	53.2 (CENTER BLDG)	EXISTING NON-COMFORMING NO CHANGE COMPLIES
MIN SIDE YARD - LEFT (FT)	10	0	0 (PERIMETER) 25.8 (CENTER BLDG)	EXISTING NON-COMFORMING NO CHANGE COMPLIES
MIN SIDE YARD - RIGHT (FT)	10	0	0 (PERIMETER) 11.7 (CENTER BLDG)	EXISTING NON-COMFORMING NO CHANGE COMPLIES
MIN REAR YARD (FT)	20	9.9	9.9 (PERIMETER) 46.6 (CENTER BLDG)	EXISTING NON-COMFORMING NO CHANGE COMPLIES
MIN FRONTAGE (FT)	50	80	80	COMPLIES



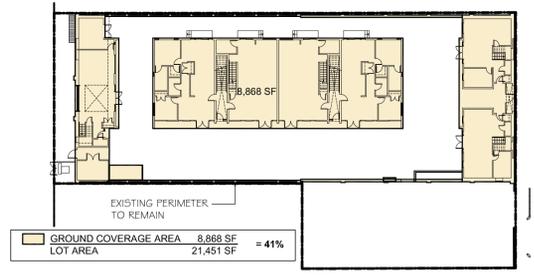
1 DIMENSIONAL LAYOUT SITE PLAN
SCALE: 1" = 20'



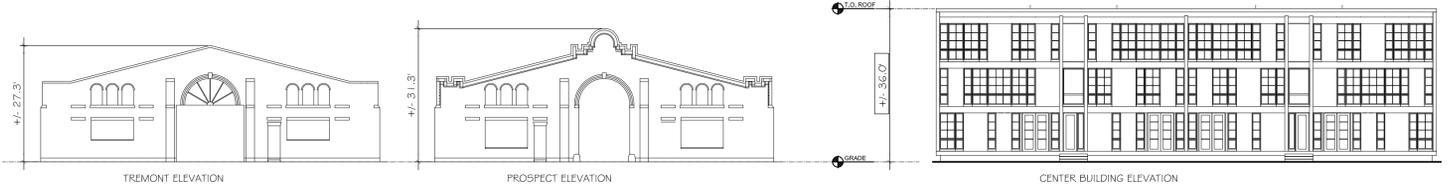
5 PERVIOUS AREA CALCULATION
SCALE: 1" = 40'



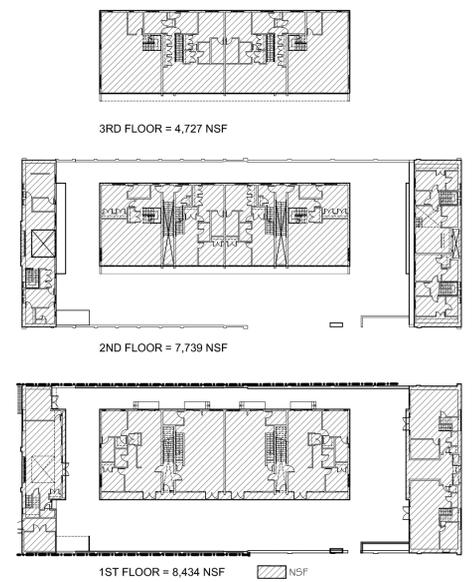
4 LANDSCAPE AREA CALCULATION
SCALE: 1" = 40'



3 GROUND COVERAGE CALCULATION
SCALE: 1" = 40'

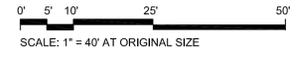


5 BUILDING HEIGHT DIAGRAM
SCALE: 1" = 20'



2 PROPOSED FLOOR AREA
SCALE: 1" = 40'

NET FLOOR AREA SUMMARY	
FLOOR	PROPOSED NET BUILDING AREA PER SOMERVILLE BY-LAW
3RD FLOOR	4,727 NSF
2ND FLOOR	7,739 NSF
1ST FLOOR	8,434 NSF
TOTAL	20,900 NSF



SEAL

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LANDSCAPE FLOOR PLAN

SCALE AS NOTED

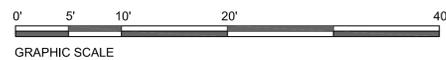
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SHEET

L1.0



1 LANDSCAPE FLOOR PLAN
SCALE: 1/8" = 1'-0"



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FIRST FLOOR PLAN AND SOUTH ELEVATION

SCALE AS NOTED

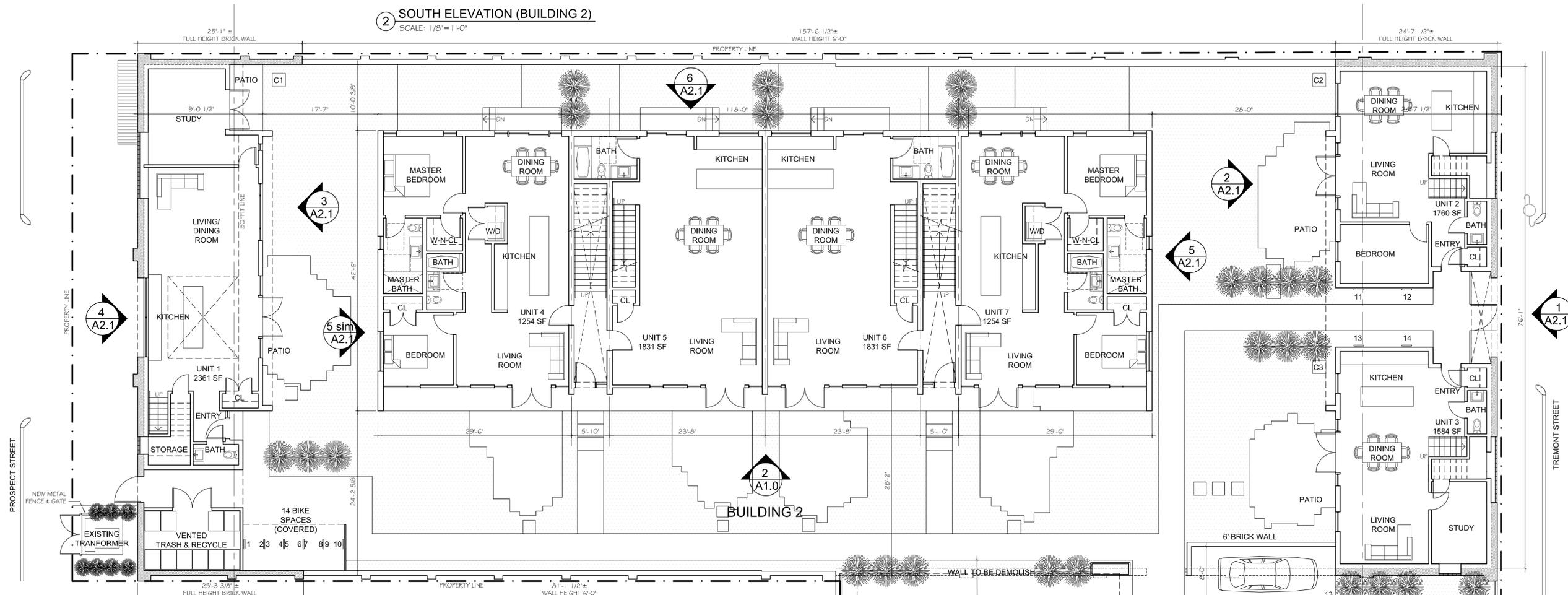
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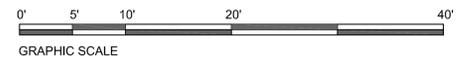
A1.1



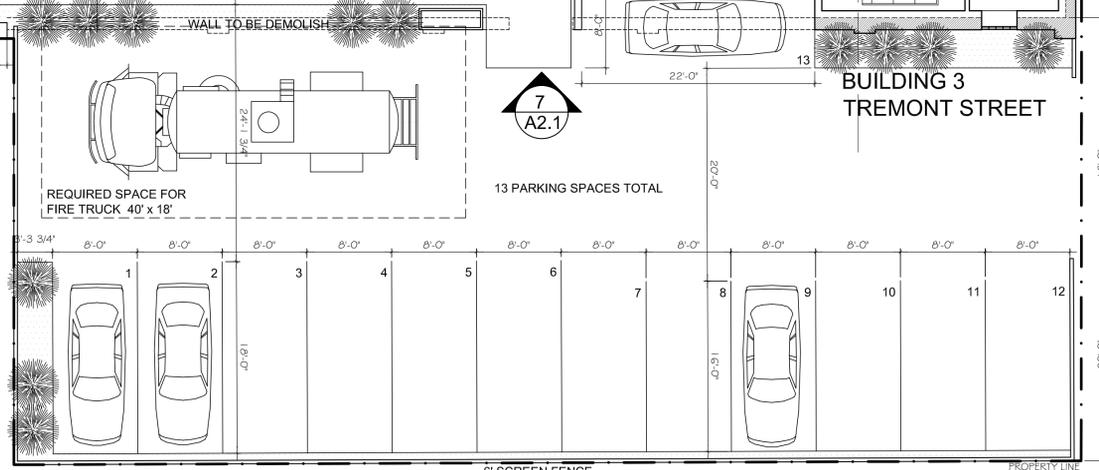
2 SOUTH ELEVATION (BUILDING 2)
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



UNIT SUMMARY	BEDS
UNIT 1	3 BEDS
UNIT 2	3 BEDS
UNIT 3	2 BEDS
UNIT 4	2 BEDS
UNIT 5	3 BEDS
UNIT 6	3 BEDS
UNIT 7	2 BEDS
UNIT 8	3 BEDS
UNIT 9	2 BEDS
UNIT 10	2 BEDS
UNIT 11	3 BEDS
TOTAL 2 BEDS	5 UNITS
TOTAL 3 BEDS	6 UNITS



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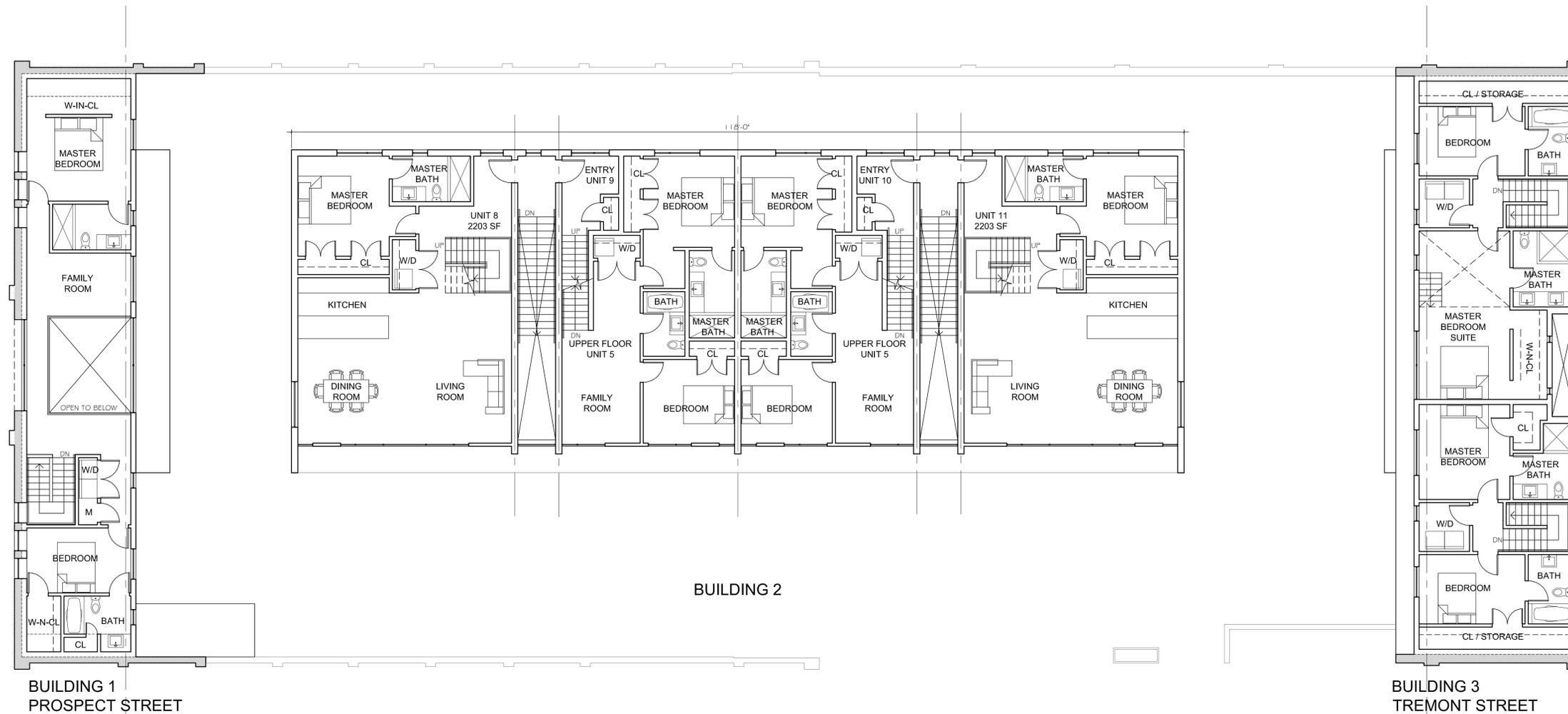
SECOND AND THIRD FLOOR PLANS

SCALE AS NOTED

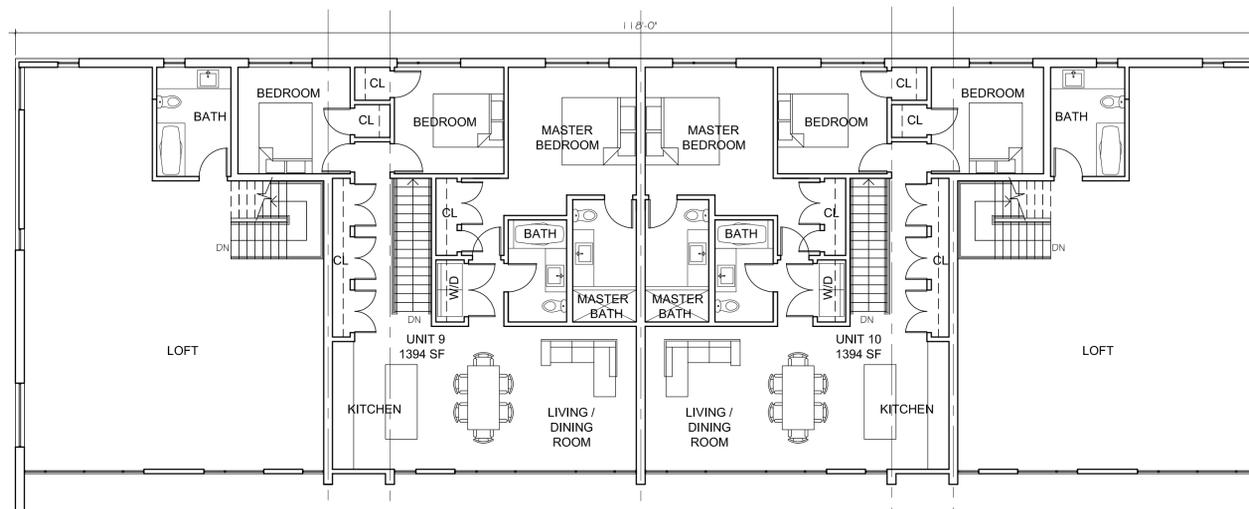
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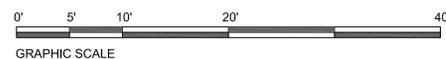
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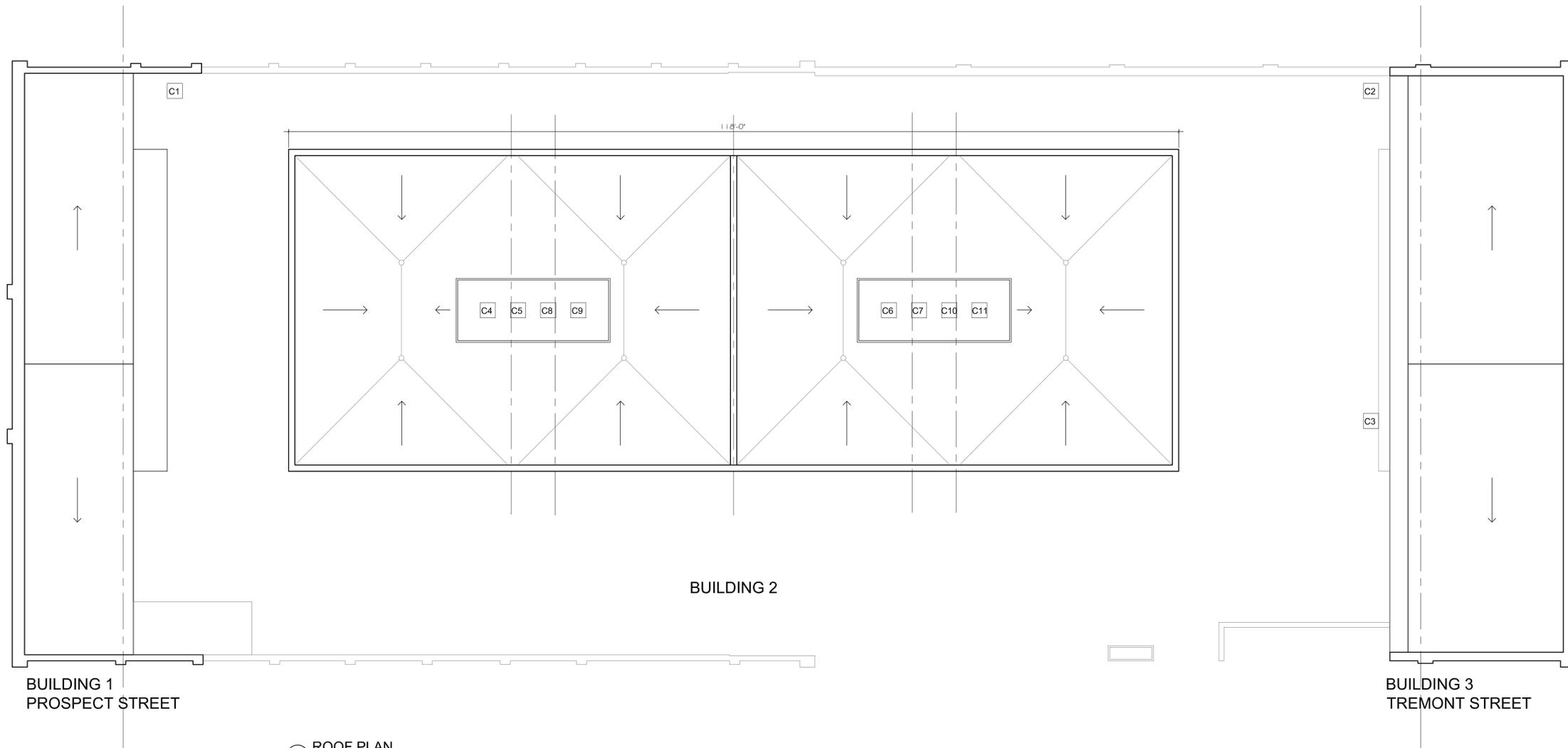
1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



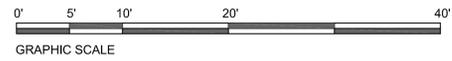
2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 2



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

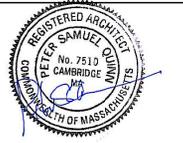


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ROOF PLAN

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A1.3

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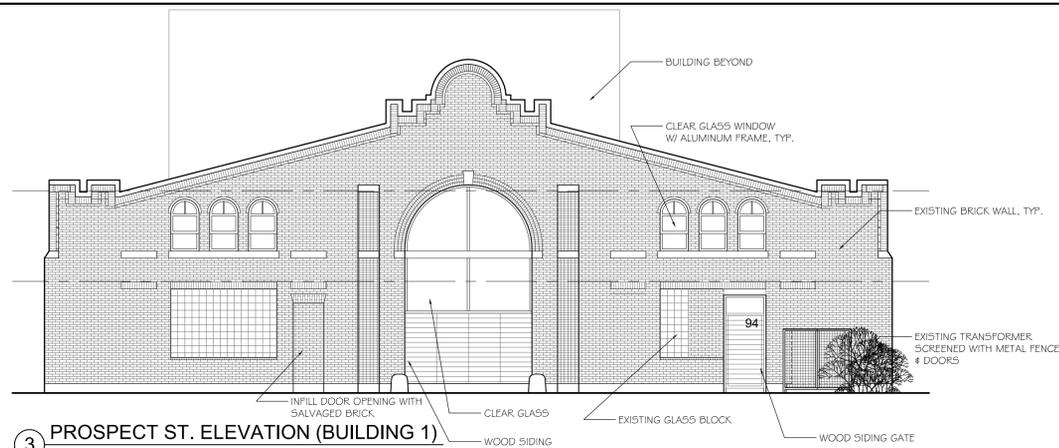
ELEVATIONS

SCALE AS NOTED

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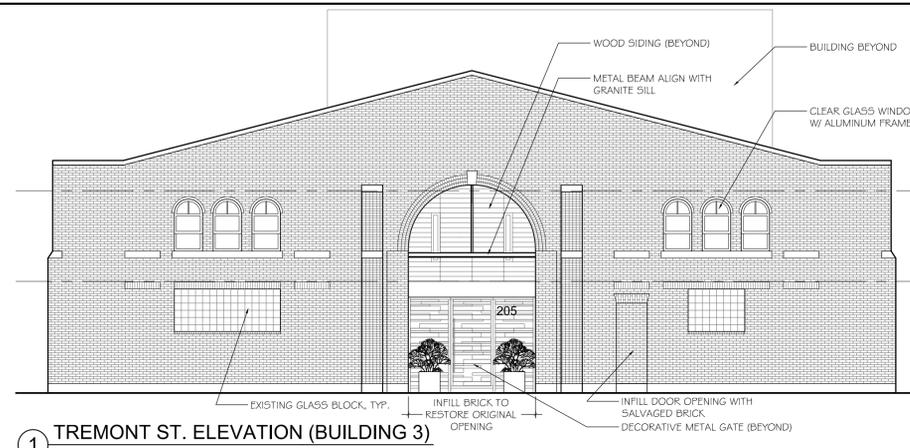
SHEET

A2.1



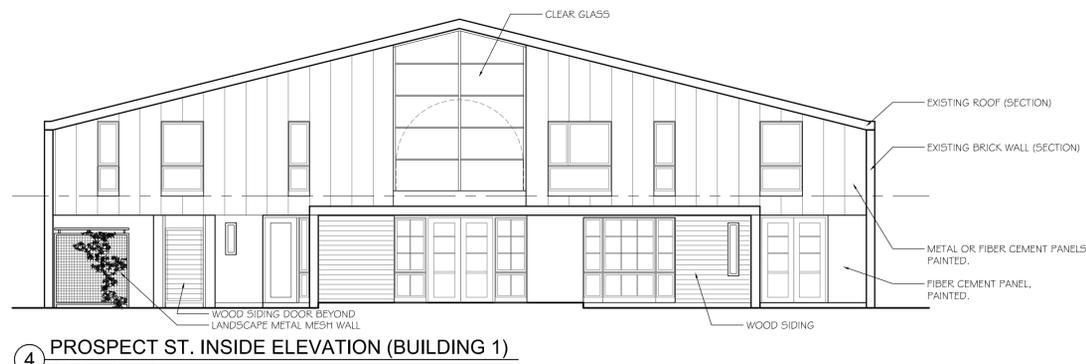
3 PROSPECT ST. ELEVATION (BUILDING 1)

SCALE: 1/8" = 1'-0"



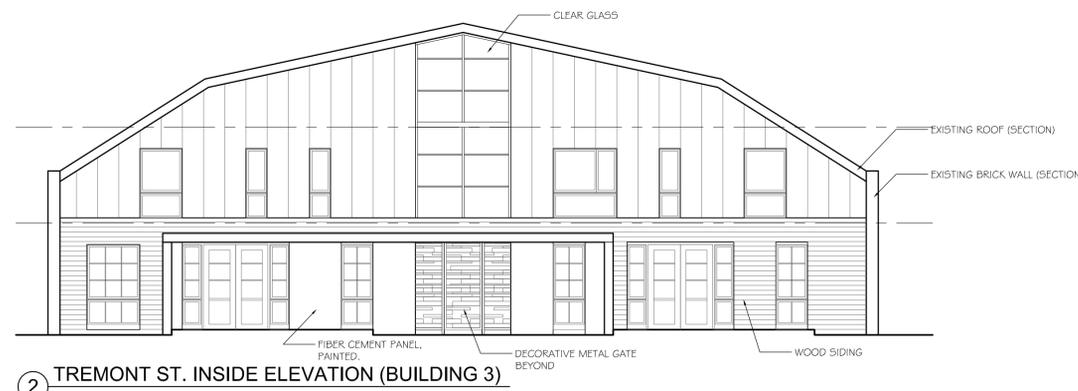
1 TREMONT ST. ELEVATION (BUILDING 3)

SCALE: 1/8" = 1'-0"



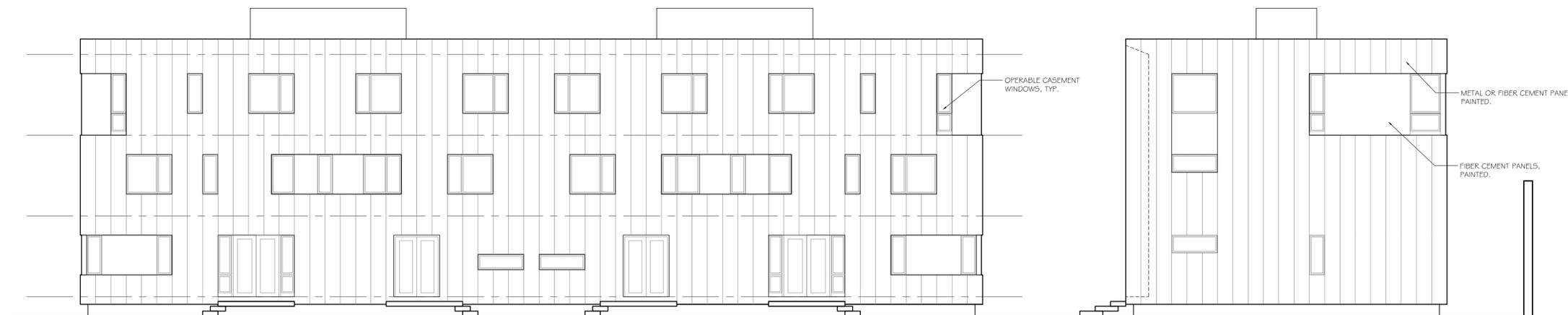
4 PROSPECT ST. INSIDE ELEVATION (BUILDING 1)

SCALE: 1/8" = 1'-0"



2 TREMONT ST. INSIDE ELEVATION (BUILDING 3)

SCALE: 1/8" = 1'-0"



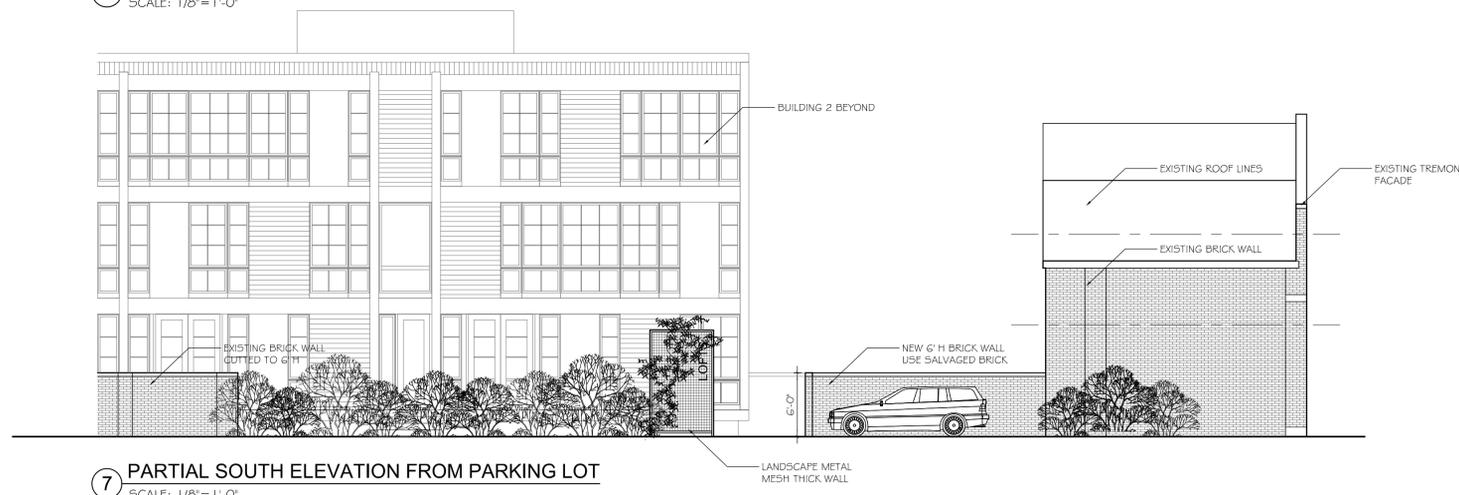
6 NORTH ELEVATION (BUILDING 2)

SCALE: 1/8" = 1'-0"

5 EAST ELEVATION (BUILDING 1)

SCALE: 1/8" = 1'-0"

NOTE: WEST ELEVATION MIRROR IMAGE
SOUTH ELEVATION ON A1.1



7 PARTIAL SOUTH ELEVATION FROM PARKING LOT

SCALE: 1/8" = 1'-0"

