

DATE	5-6-11
SCALE	AS SHOWN
DRAWN BY	JWM
ADDITION TO RESIDENCE FOR: <b>MARINELLO RESIDENCE</b> 27 PORTER STREET - SOMERVILLE, MASSACHUSETTS	
<b>J.W. Melick - Design</b> RESIDENTIAL DESIGN SERVICES	
100 GROVE STREET (SUITE 406) - WORCESTER MASSACHUSETTS 01605	

**WINDOW SCHEDULE**

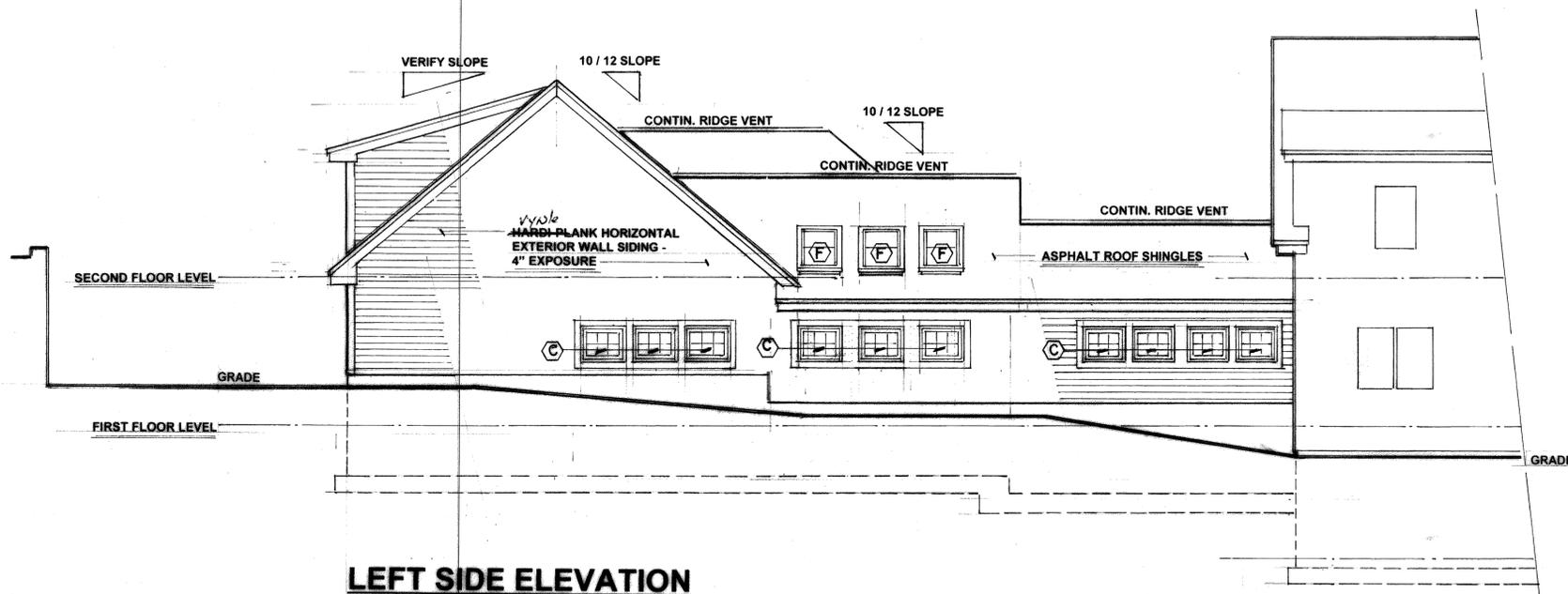
MK.	SIZE	TYPE
A	2'-8" X 4'-9"	DOUBLE HUNG NO. 244-DH-2849
B	2'-8" X 3'-6"	DOUBLE HUNG NO. 244-DH-2836
C	2'-8" X 2'-0-5/8"	AWNING UNIT NO. A-281
D	3'-5-1/4" X 3'-0-1/2"	CASEMENT UNIT NO. CN-23
E	2'-8" X 1'-6"	FIXED TRANSOM UNIT NO. 244-FX-2816
F	28-1/2" X 46-1/2"	VENTING SKYLIGHT NO. RV-2846
G	STANDARD	BASEMENT WINDOW UNIT

**NOTES**

1. ABOVE WINDOWS ARE ANDERSEN WINDOW PRODUCTS - SERIES 200
2. SIZES SHOWN ARE ROUGH OPENINGS
3. INCLUDE SCREENS AND GRILLES WITH ALL WINDOWS.

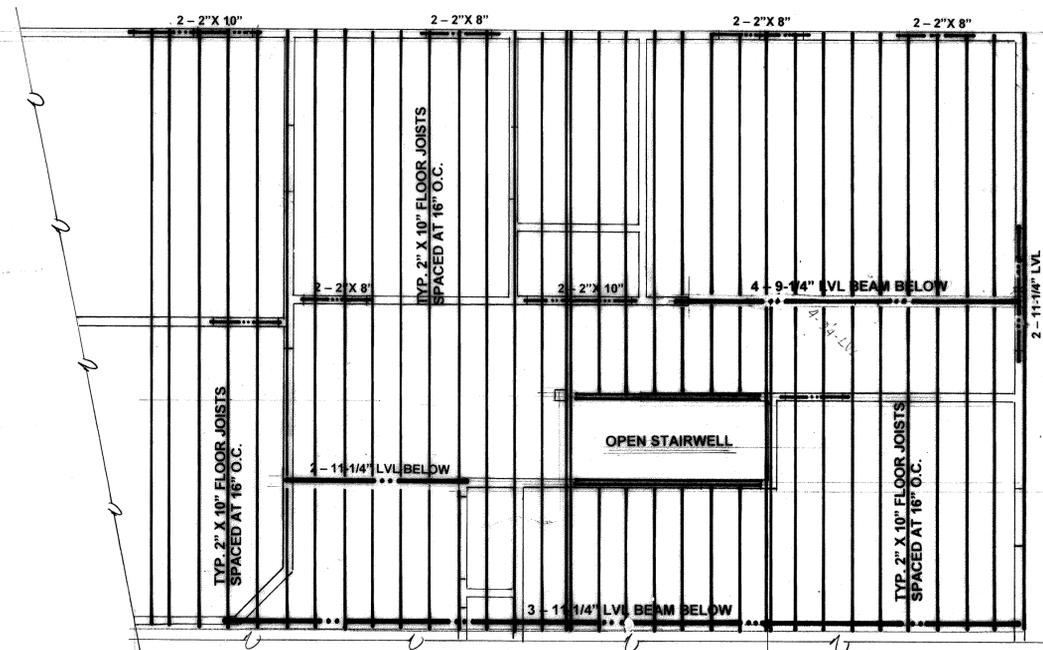
**DOOR SCHEDULE**

MK.	SIZE	TYPE
1	3'-0" X 6'-8" X 1-3/4"	FRONT ENTRY UNIT (OWNER SELECT)
2	3'-0" X 6'-8" X 1-3/4"	FULL GLASS (15 LITE) INSULATED STEEL DOOR UNIT
3	3'-0" X 6'-8" X 1-3/4"	INSULATED STEEL DOOR UNIT
4	4'-0" X 6'-8" X 1-1/8"	4 DOOR BI-FOLD DOOR UNIT
5	3'-0" X 6'-8" X 1-3/8"	6 PANEL PINE DOOR UNIT
6	3'-6" X 6'-8" X 1-3/8"	6 PANEL PINE DOOR UNIT
7	5'-0" X 6'-8" X 1-1/8"	4 DOOR BI-FOLD DOOR UNIT
8	3'-0" X 6'-8" X 1-3/4"	1/2 GLASS (9 LITE) INSULATED STEEL DOOR UNIT
9	3'-0" X 6'-8" X 1-3/4"	1 HOUR RATED STEEL DOOR UNIT
10	9'-0" X 8'-0"	OVERHEAD GARAGE DOOR UNIT
11	3'-0" X 6'-8" X 1-3/8"	SCREEN DOOR UNIT
12	2'-6" X 6'-8" X 1-3/8"	6 PANEL PINE DOOR UNIT
13	2'-6" X VERIFY	CUSTOM DOOR UNIT



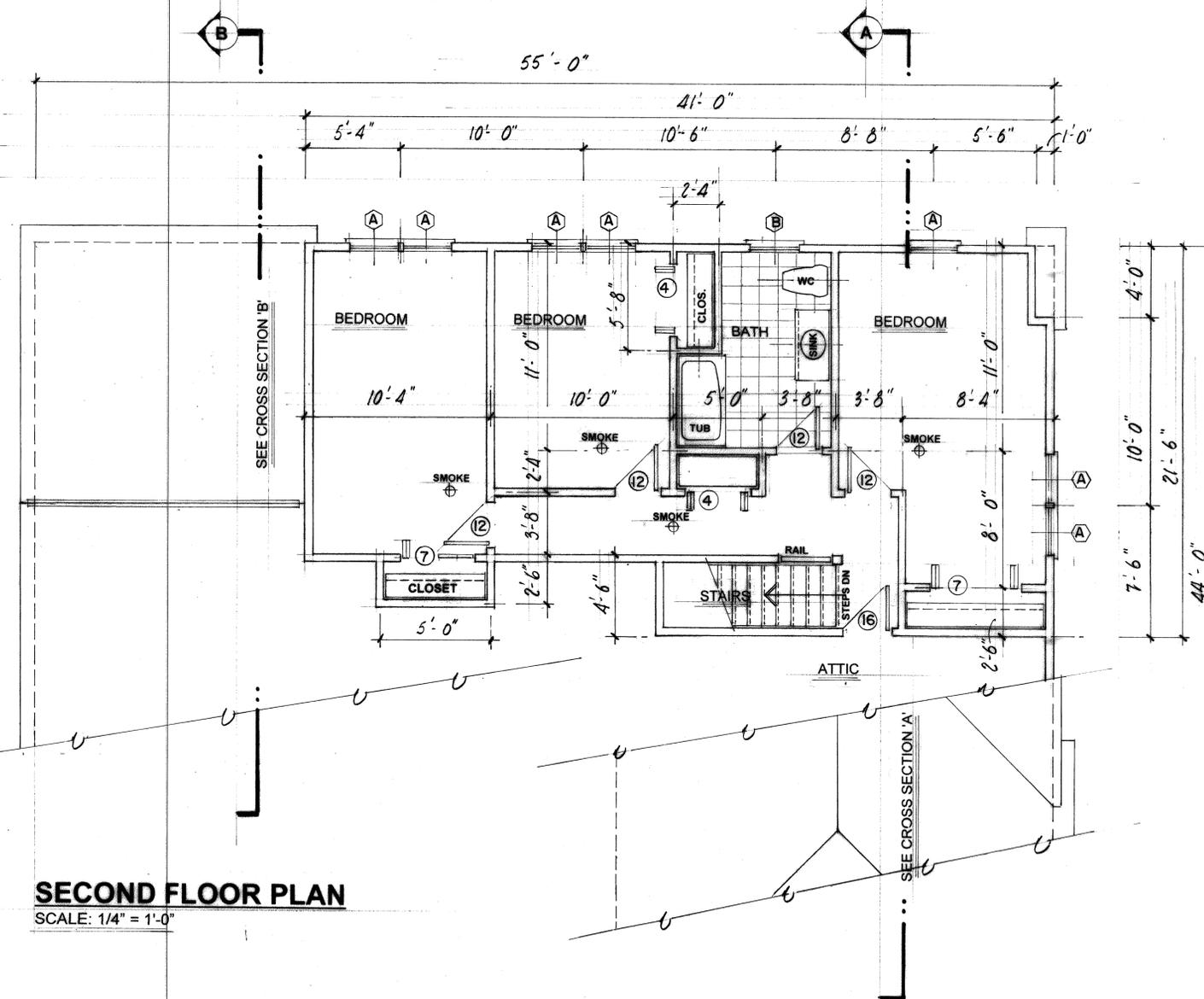
**LEFT SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

MASSACHUSETTS CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA  
REFERENCE - 780 CMR

ADDRESS - 27 PORTER STREET - SOMERVILLE, MA

DESIGN CRITERIA

GROUND SNOW LOAD	40 PSF	REF - TABLE 5301.2(6)
BASIC WIND SPEED	100 MPH	REF - TABLE 5301.2(4)
SEISMIC	NA	
LIVE LOADS	40 PSF	REF - TABLE 5301.5
FIRST FLOOR LEVEL -	40 PSF	REF - TABLE 5301.5
SECOND FLOOR LEVEL -	30 PSF	REF - TABLE 5301.5

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**MARINELLO RESIDENCE**  
27 PORTER STREET - SOMERVILLE, MASSACHUSETTS

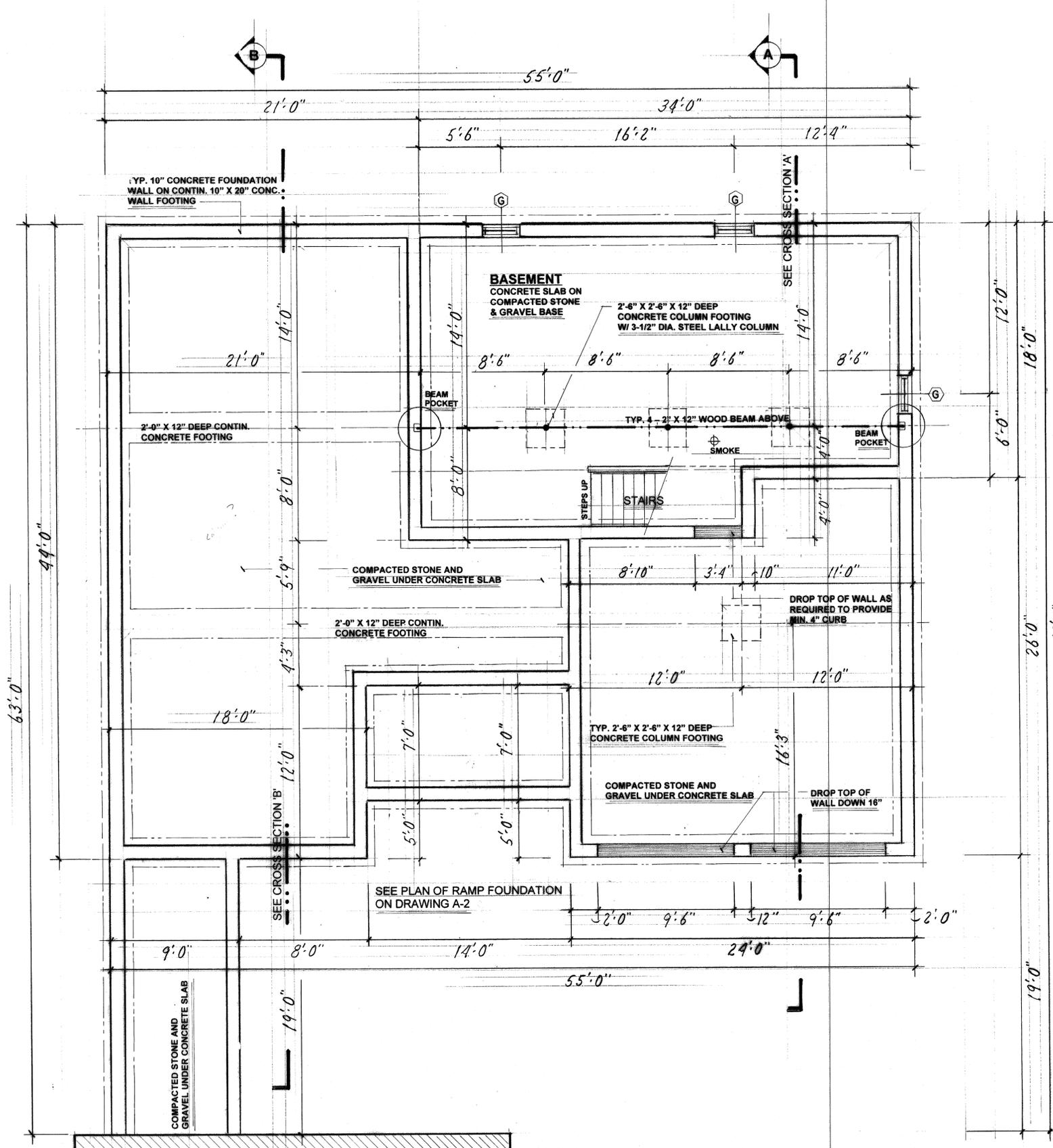
**J.W. Melick - Design**  
RESIDENTIAL DESIGN SERVICES  
100 GROVE STREET (SUITE 408) - WORCESTER, MASSACHUSETTS 01605

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SCALE AS SHOWN

DRAWN BY KJM

A-2



NOTE - SHADED AREA DENOTES AREA OF EXISTING HOUSE

**FOUNDATION / BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**SITE & SOIL CONDITIONS**

- SOIL CONDITIONS MUST CONFORM TO THE FOLLOWING CONDITIONS.
  - BEARING CAPACITY - MIN. 2,000 PSF - FIELD VERIFY UNDER FOOTINGS AND SLABS.
  - WATER TABLE - MINIMUM OF 2'-0" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS. FOOTINGS, FOUNDATION WALLS AND SLABS SHALL NOT BE PLACED ON MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- BOTTOM OF ALL FOOTINGS SHALL EXTEND TO BELOW THE FROST LINE OF THE LOCALITY OR TO A MINIMUM OF 4'-0" BELOW THE DESIGN GRADE.
- FREE DRAINING GRANULAR BACKFILL SHALL BE USED AGAINST FOUNDATION WALLS. EQUIVALENT FLUID PRESSURE OF BACKFILL SHALL NOT EXCEED 30 PCS. IF BACKFILL PRESSURE EXCEEDS 30 PCS, THEN WALLS MUST BE DESIGNED BY A PROFESSIONAL ENGINEER. ALL BACKFILL UNDER SLABS AND FOOTINGS SHALL BE CLEAN POROUS SOIL COMPACTED IN 12" LAYERS TO 95% DENSITY.
- PROPER FINISH GRADING MUST BE DONE AROUND THE BUILDING TO ALLOW SURFACE WATER TO FLOW AWAY PROPERLY.
- CONCRETE SLABS, EITHER ON OR BELOW GRADE, SHALL BE POURED OVER A BASE OF CLEAN, UNIFORMLY SIZED STONE (3/4" DIA. MAX.) OR AN APPROVED ALTERNATE SUBSTRATE. THE BASE SHALL BE INSTALLED UNIFORMLY TO A DEPTH OF 4" TO PROVIDE ADEQUATE AIR FLOW SHOULD RADON MITIGATION BECOME NECESSARY. THIS BASE SHALL BE COVERED WITH A MOISTURE BARRIER.
- THE AREA UNDER CONCRETE SLABS SHALL BE COVERED WITH 6-MIL POLYETHYLENE OR OTHER APPROVED MOISTURE BARRIER MATERIAL WITH EQUAL OR GREATER TENSILE STRENGTH AND APPROVED FOR UNDER SLABS. PROVIDE 2" UNIFORMLY DISTRIBUTED SAND COVER OVER MOISTURE BARRIER TO PROTECT THE FILM WHILE POURING THE SLAB.
- PROVIDE PERIMETER FOOTING DRAINS AROUND THE BUILDING TO CARRY WATER AWAY FROM THE FOUNDATION WALL. DRAINS SHALL BE SLOPED 1" TO 20'-0" AND DRAIN TO AN APPROVED DRYWELL OR TO DAYLIGHT. CLEAN AGGREGATE SHALL SURROUND THE DRAIN AND AGGREGATE SHALL BE PROTECTED FROM SILT WITH A FILTER FABRIC. VERIFY THE SPECIFIC SCOPE OF WORK REQUIRED WITH LOCAL INSPECTORS BEFORE PROCEEDING.

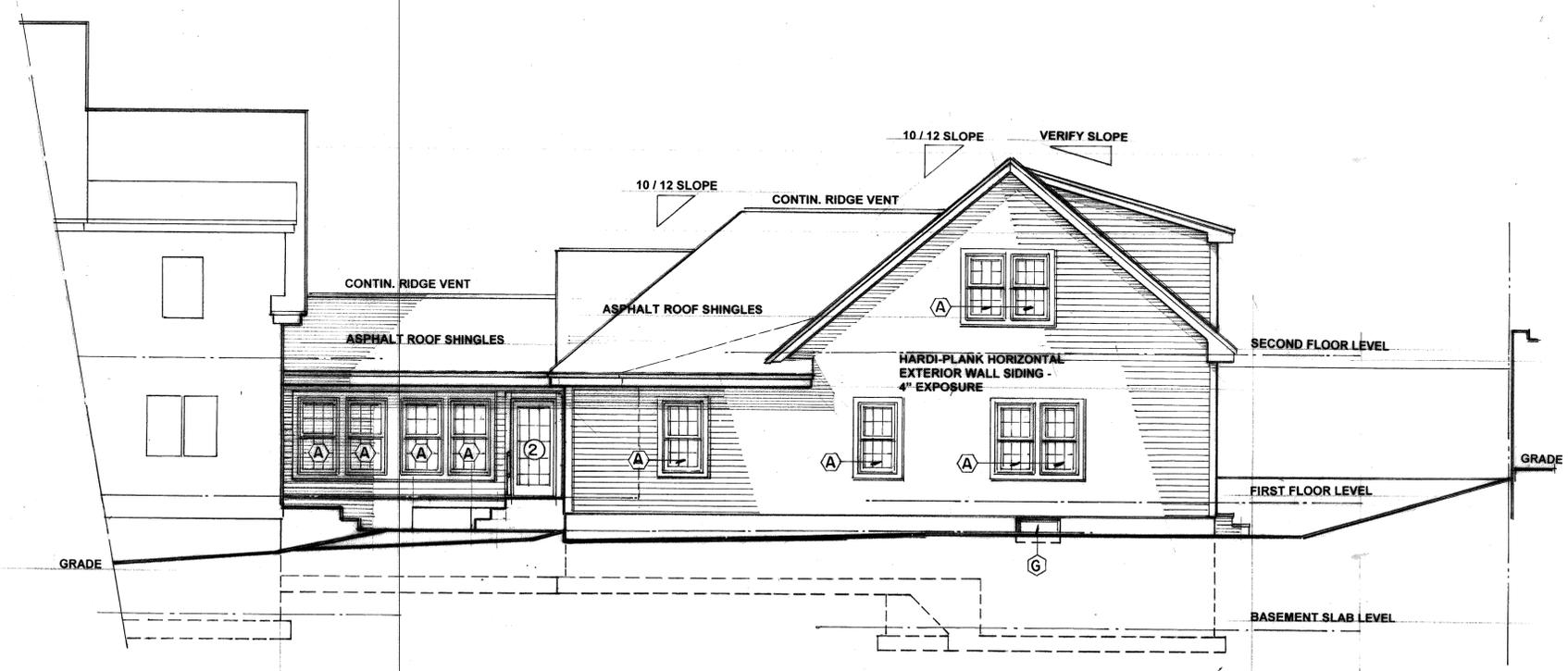
**CONCRETE**

- ALL CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS -
  - FOUNDATION WALLS / FOOTINGS / PIERS - 3,000 PSI
  - AND INTERIOR SLABS - 4,000 PSI
  - ALL OTHER SLABS ON GRADE OR IN GARAGES - 4,000 PSI
- REINFORCING STEEL (IF REQUIRED) SHALL CONFORM TO ASTM-A-615, NEW BILLET, GRADE 60.
- WELDED WIRE MESH SHALL CONFORM TO ASTM-A-185, WITH MINIMUM LAPS OF 8"
- MAXIMUM SLUMP OF 5" IS ALLOWED.
- ALL EXPOSED INTERIOR CONCRETE SHALL BE MORE OR LESS 1% AIR ENTRAINED OR SHALL CONFORM TO ASTM-C-260.
- WALLS WITH LATERAL EARTH PRESSURE SHALL BE SHORED OR FLOOR FRAMING SHALL BE IN PLACE PRIOR TO BACKFILLING.
- PROVIDE CONTINUOUS SEAL OR DAMPROOFING ON ALL EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GRADE.
- PROVIDE CONTINUOUS PRE-MOLDED FILL ALONG PERIMETER OF SLABS AT CONCRETE WALLS.

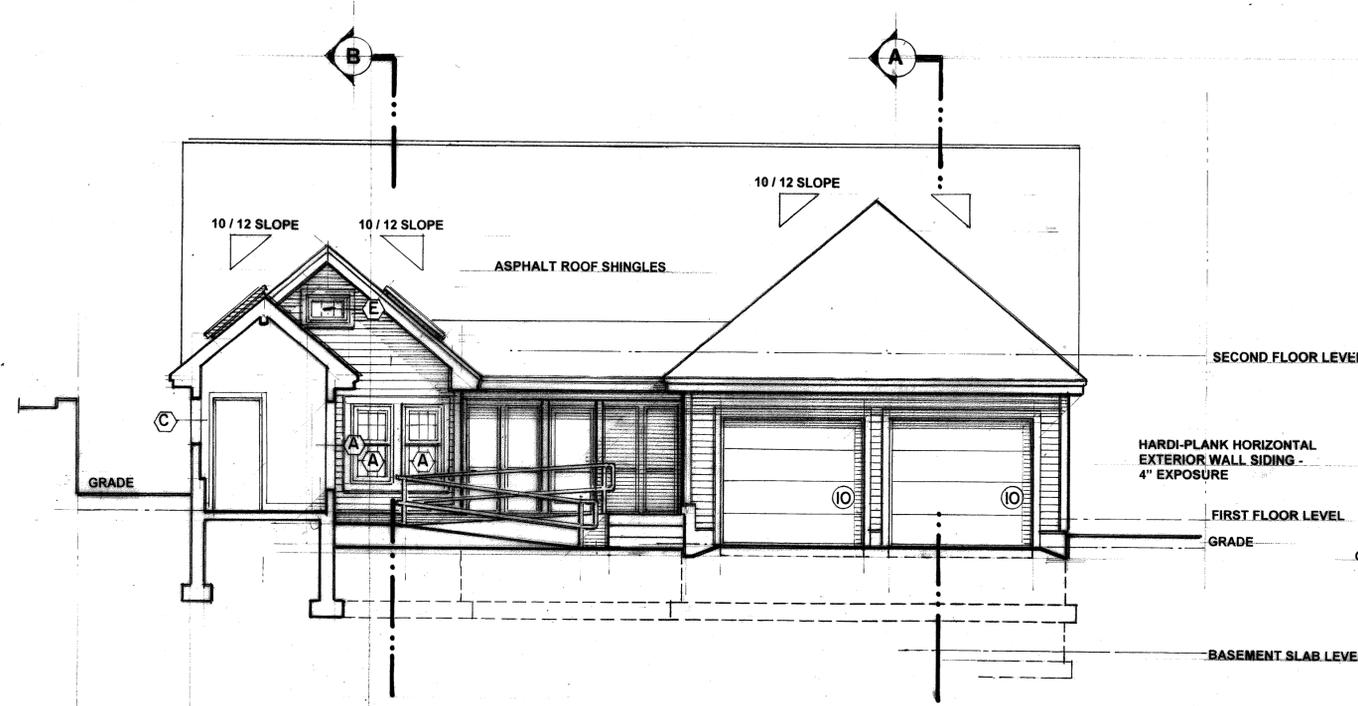
**GENERAL NOTES**

- IN THE EVENT OF A DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD CONDITIONS, THE DESIGNER SHALL BE NOTIFIED, IN WRITING, OF THE DISCREPANCY AND SPECIAL ATTENTION SHALL BE APPLIED TO THE MATTER.
- ANY CHANGES MADE TO THESE DRAWINGS OR CONSTRUCTION FIELD CHANGES MUST BE DONE ONLY WITH PRIOR AUTHORIZATION FROM J.W. MELICK - DESIGN. NON AUTHORIZED CHANGES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERSON MAKING SUCH CHANGES.
- REPRODUCTION AND SUBSEQUENT USE OF THESE DRAWINGS BY ANYONE OTHER THAN THE PARTY NAMED UPON THE DRAWINGS WITHOUT PRIOR WRITTEN CONSENT FROM J.W. MELICK - DESIGN IS FORBIDDEN. SUCH USE WILL BE CONSIDERED AS THEFT AND J.W. MELICK - DESIGN WILL NOT BE HELD RESPONSIBLE FOR SUCH USE.
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE (780 CMR - LATEST EDITION) AS WELL AS OTHER APPLICABLE CODES AND REGULATIONS.
- ANY CONTRACTOR PERFORMING WORK FROM THESE DRAWINGS MUST HAVE THE PROPER LICENSES AND BE FULLY INSURED FOR THE WORK BEING PERFORMED. FURTHER, PROPER BUILDING PERMITS MUST BE OBTAINED PRIOR COMMENCEMENT OF WORK. J.W. MELICK - DESIGN WILL NOT BE RESPONSIBLE FOR WORK BEING DONE IN ANY MANNER THAT DOES NOT CONFORM WITH THESE REQUIREMENTS.

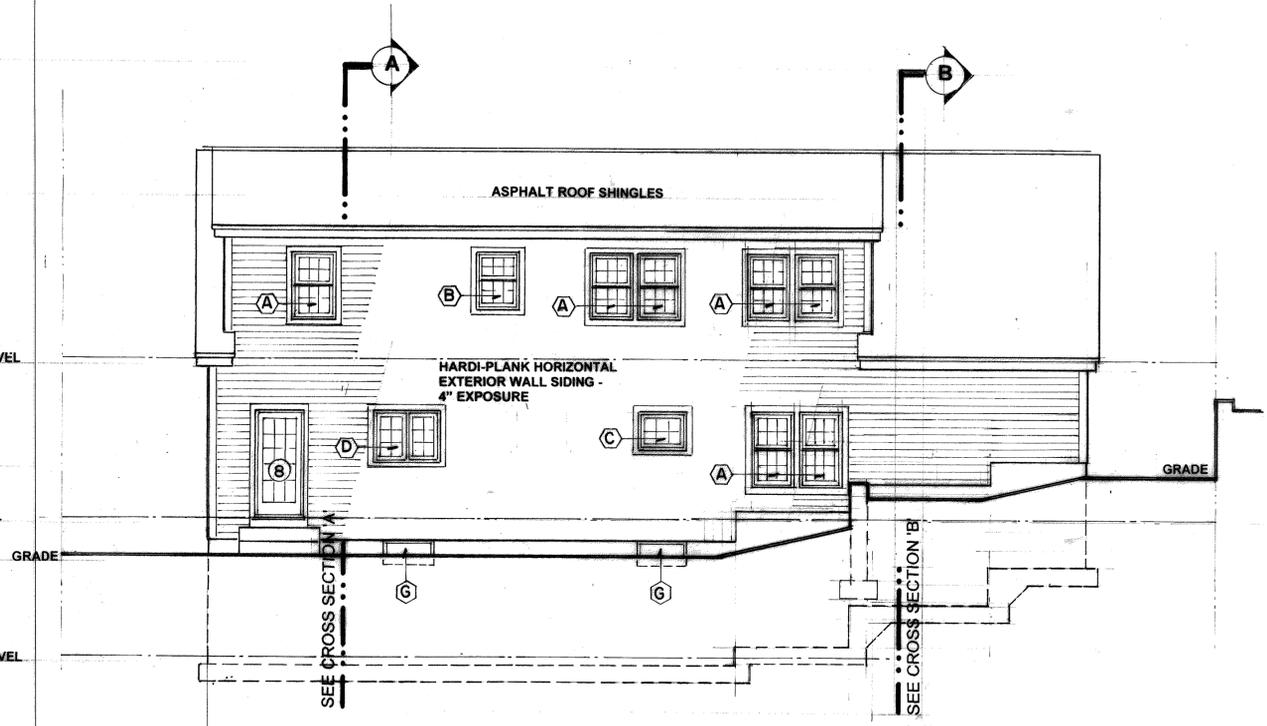
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<b>A-3</b>	



**RIGHT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

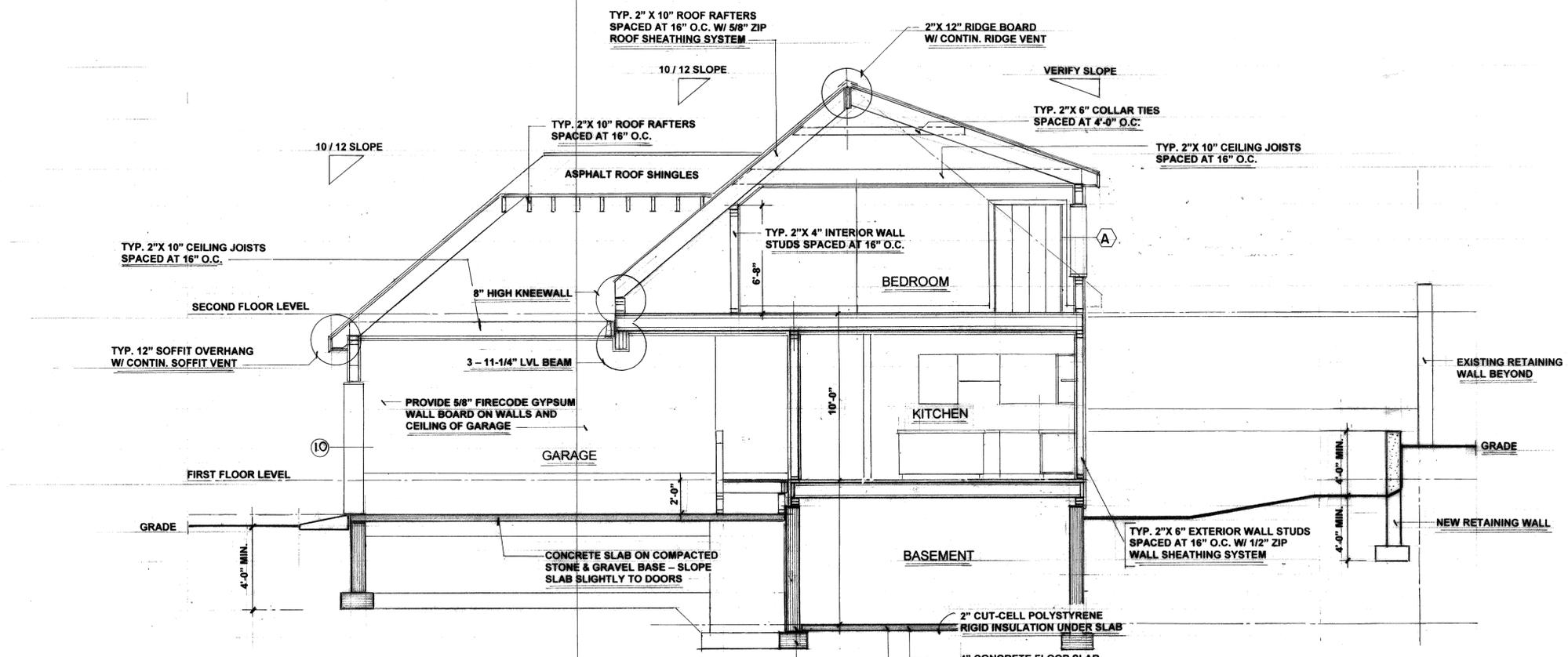


**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

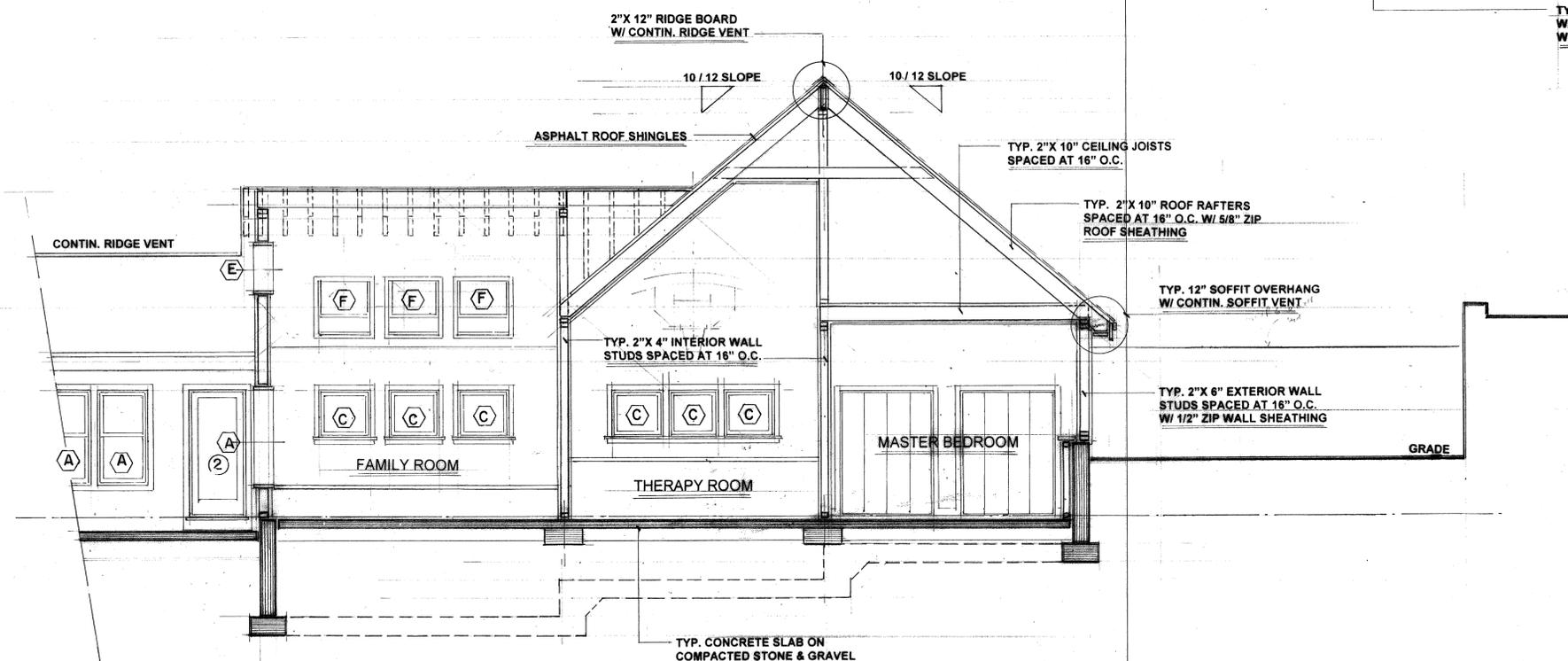


**REAR ELEVATION**  
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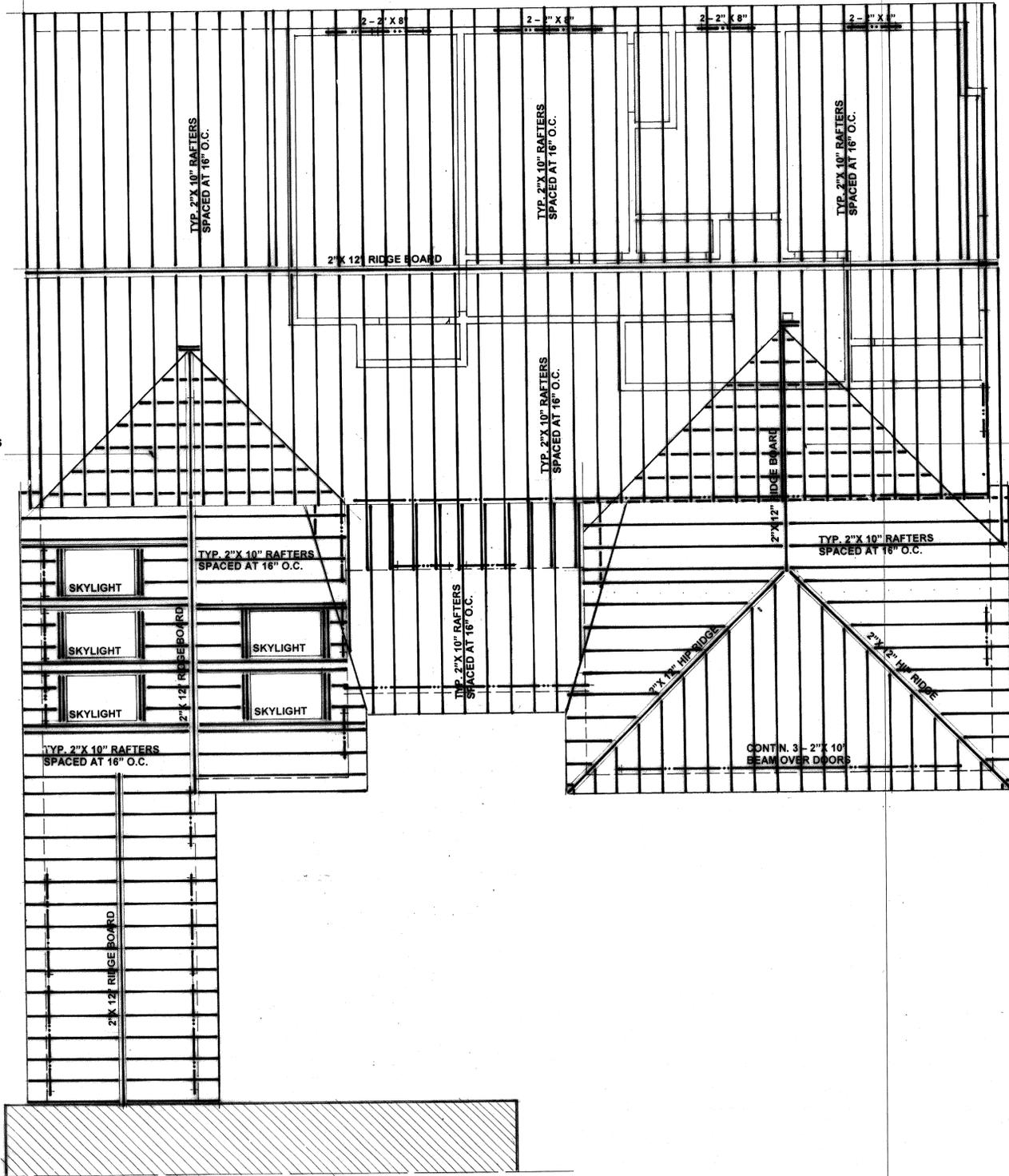


**CROSS SECTION 'A'**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION 'B'**  
SCALE: 1/4" = 1'-0"

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FAMILY ROOM RAFTERS  
OVERLAY MAIN HOUSE

GARAGE RAFTERS  
OVERLAY MAIN HOUSE

**ROOF FRAMING PLAN**  
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