

NOTE: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN ARE NOT LOCATED WITHIN THE FLOOD HAZARD ZONE AS DELINEATED ON THE MAP OF COMMUNITY 2502140001B MASS. EFFECTIVE 7-17-1986 BY THE DEPT. OF HOUSING AND URBAN DEVELOPMENT FEDERAL INSURANCE ADMINISTRATION.

NOTE: THIS IS A TAPE SURVEY NOT TO BE USED FOR ESTABLISHING PROPERTY LINES, HEDGES, OR ANY PURPOSE OTHER THAN ITS ORIGINAL INTENT. THIS PLAN WAS DRAWN FOR MORTGAGE PURPOSES ONLY. NOT TO BE RECORDED.

THE LOCATION OF THE DWELLING AS SHOWN HEREON EITHER WAS IN COMPLIANCE WITH THE LOCAL ZONING BYLAWS IN EFFECT WHEN CONSTRUCTED (WITH RESPECT TO STRUCTURAL SETBACK REQUIREMENTS ONLY), OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER M.G.L. TITLE VII, C.40A, §7.

I CERTIFY THAT THE BUILDING SHOWN ON THIS PLAN IS ON THE GROUND AS SHOWN.



MORTGAGE INSPECTION PLAN

L.G. BRACKETT COMPANY, INC.
WINCHESTER, MA

PLAN OF PROPERTY IN

SOMERVILLE MA.

OWNED BY

PHILLIP G. & DANA T. ROSSSELL

SCALE: 1" = 20

DATE: 12-1-08

COUNTY: MIDDLESEX

I CERTIFY THIS PLAN TO

PLAN: 407-6 POWDER HOUSE MORTGAGE CO INC.

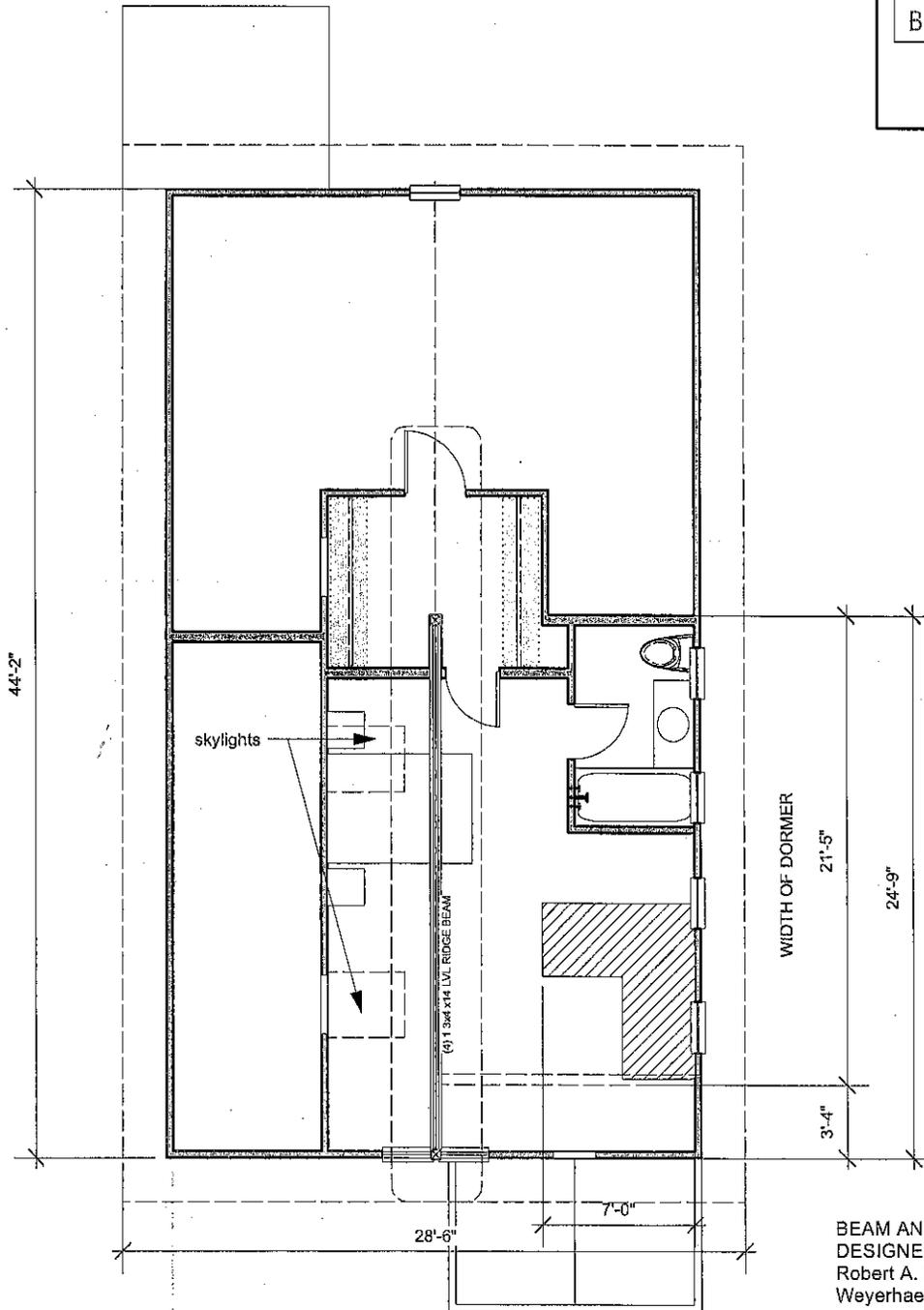
DATE OF PLAN: 11-1977

PLAN BY: GEORGE CUDDY

B

Bailow Architects

35 High Street
Holliston MA 01746
978.979.8430



BEAM AND POST SCHEME
DESIGNED BY
Robert A. Kuserk, PE
Weyerhaeuser Structural Frame Engineer

AS-BUILT MEASUREMENTS
Steve Wilson
General Contractor

Schematic Attic Plan

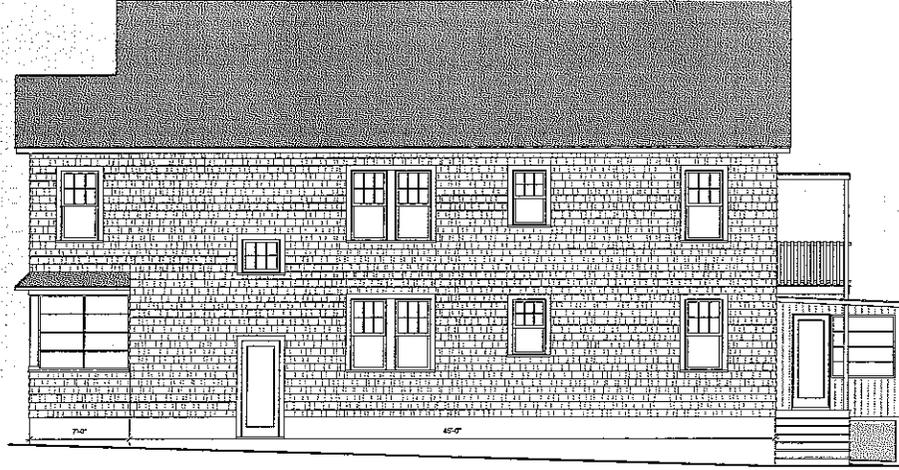
Scale: 1/8" = 1'-0"

HOOKER AVE

Renovation for Laura Beretsky and Mark Jewell
64 Hooker Ave
Somerville, MA 02144



Existing Rear Elevation
Scale: 1/4" = 1'-0"



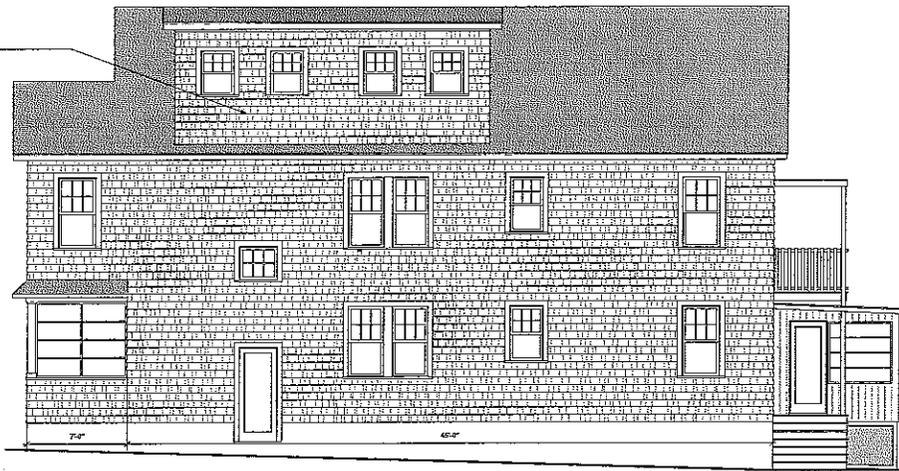
Existing Side Elevation
Scale: 1/4" = 1'-0"



Existing Front Elevation
Scale: 1/4" = 1'-0"



Proposed Rear Elevation
Scale: 1/4" = 1'-0"



Proposed Side Elevation
Scale: 1/4" = 1'-0"



Proposed Front Elevation
Scale: 1/4" = 1'-0"

EXISTING AND PROPOSED CONDITIONS FOR:
MARK JEWELL AND LAURA BERETSKY
64 HOOKER AVE.
SOMERVILLE, MA