

LOWELL STREET

STONE  
BOUND  
(FD)

SUMMER STREET

I HEREBY CERTIFY THAT THE DWELLING SHOWN HEREON IS AS ACTUALLY FIELD LOCATED BY INSTRUMENT SURVEY, CONFORMED TO THE ZONING BYLAWS OF THE CITY OF SOMERVILLE, MA AT THE TIME OF CONSTRUCTION.

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

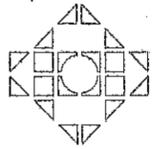
*Bruce P. Eaton*

PLOT PLAN 206 SUMMER STREET SOMERVILLE, MA FOR SILVER REALTY LLC.	
CIVIL ENVIRONMENTAL CONSULTANTS LLC 8 OAK STREET PEABODY, MA 01960 (978)531-1191	
SHEET NO: 1 OF 1	DATE: 3/25/2014 JOB NO: 3176 DRAWN BY: L.J.B.

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## SFG STUDIOS

72 Minot Street  
Reading MA 01867  
781.956.9773 tel  
617.625.4844 fax  
SFGStudios@msn.com



DESIGNERS • PLANNERS • ILLUSTRATORS

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# Summer Street Renovation

206 Summer St  
Somerville, Massachusetts

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### Zoning Information

M/B/L : 38/B/8  
ZONE : RB  
LOT AREA : 2,531 SF  
GROSS LIVING AREA : 4,610 SF PER FIELD MEASURING (TAPE)  
NET LIVING AREA : 3,533 SF PER FIELD MEASURING (TAPE)

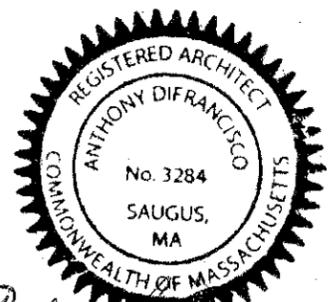
### Compliance References

As per the INTERNATIONAL EXISTING BUILDING CODE 2009 :  
Occupancy / Use : RESIDENTIAL USE GROUP R-2  
OPTION 2 : WORK AREA COMPLIANCE METHOD  
CLASSIFICATION OF WORK : ALTERATION LEVEL 3

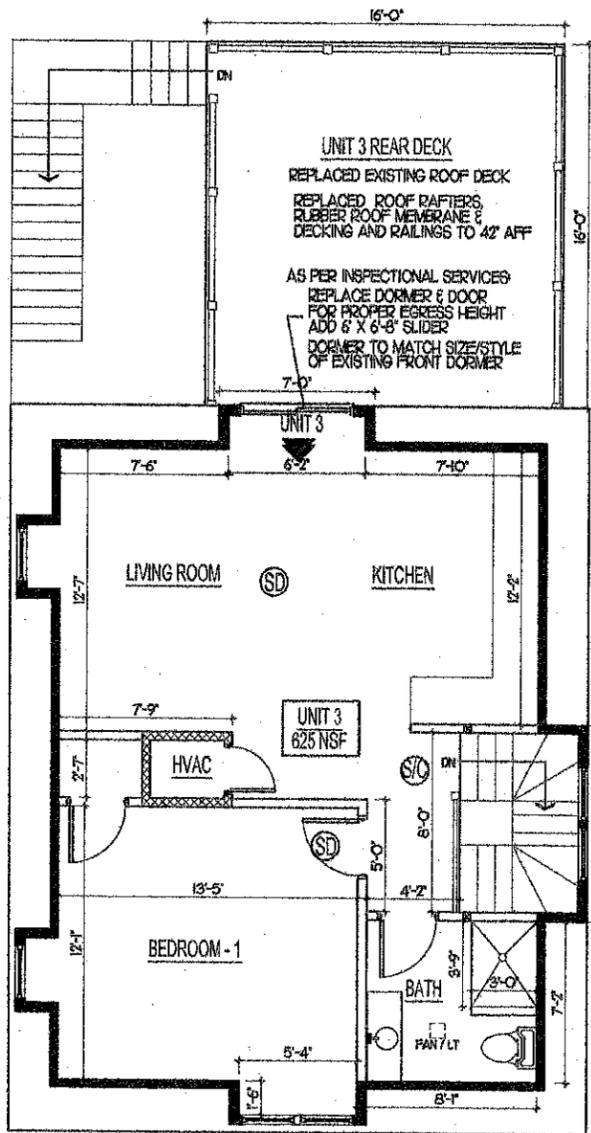
### Building Code Information

All alterations, repairs and construction methods are to comply with:  
International Residential Code 2009 (IRC) with MA Amendments (780 CMR 51.00)  
International Fire Code 2009 (IFC)  
International Mechanical Code 2009 (IMC)  
International Fuel & Gas Code 2009 (IFGC)  
International Electrical Code 2009 (IEC)  
International Energy Efficiency Code 2012 (IEEC)

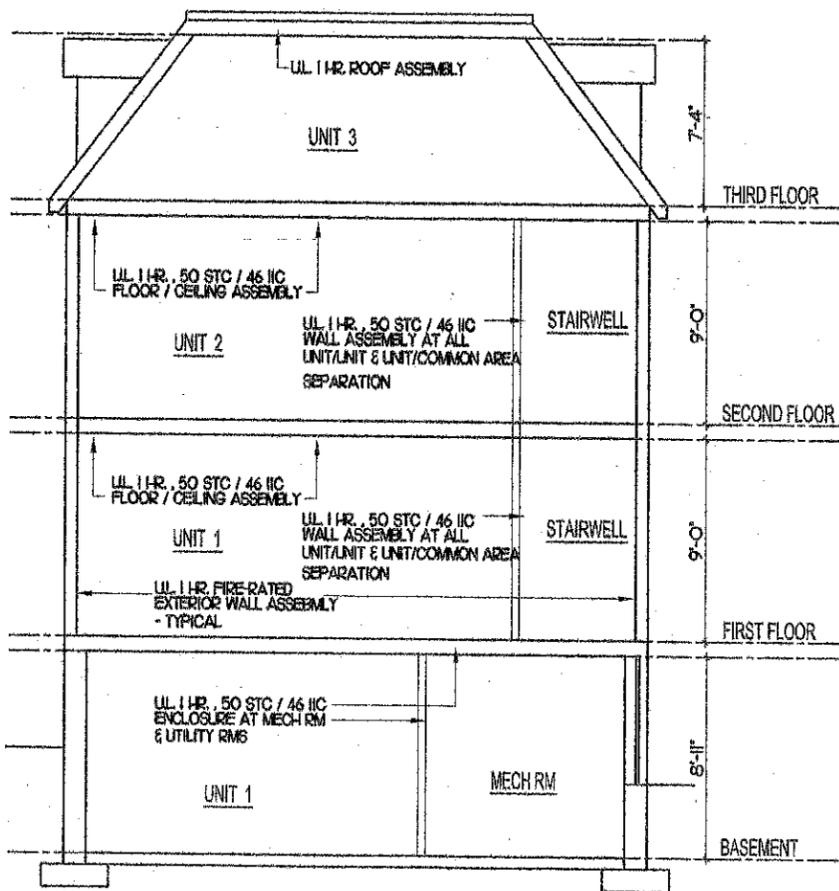




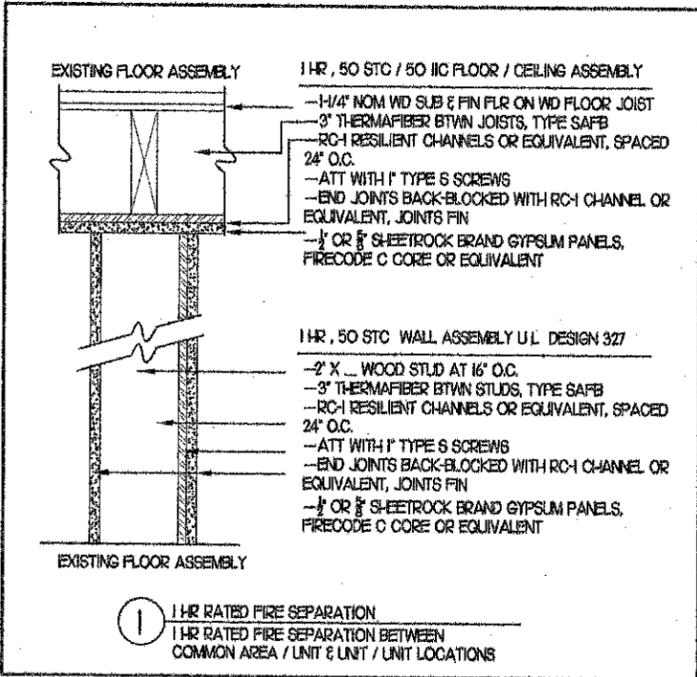
*Anthony DiFranco*



THIRD FLOOR PLAN  
670 GSF



BUILDING SECTION  
GRAPHIC REPRESENTATION - NOT TO SCALE



**LEGEND**

- EXISTING UNIT PERIMETER WALL, REMAINS
- EXISTING WALL, REMAINS
- NEW INTERIOR STUD 2X4 WALL
- NEW FIRE-RATED INTERIOR PARTITION WALL, SEE DETAIL 1, THIS SHEET FOR UNIT SEPARATION
- (S/C) HARDWIRED SMOKE / CO2 DETECTOR COMBO
- (SD) HARDWIRED SMOKE DETECTOR

- GENERAL NOTES**
- EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH
  - ALL WALLS, WINDOW AND DOOR OPENINGS ARE TO BE REFRAMED. ALL HEADERS TO BE 2-2X8 UNLESS NOTED OTHERWISE
  - ALL MEANS OF EGRESS FROM THE HIGHEST FLOOR TO THE FLOOR OF DISCHARGE SHALL BE PROVIDED WITH ARTIFICIAL LIGHTING AND EXIT SIGNS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC)
  - LOADS: ROOF SNOW 50 PSF + DRIFT  
 THIRD FLOOR 30 PSF  
 FIRST FLOOR 40 PSF  
 SECOND FL. 30 PSF  
 DECK 100 PSF
  - MATERIALS:  
 CONCRETE 3000 PSF  
 REINFORCING GR 40  
 STRUCTURAL STEEL A 36  
 LVL BEAMS 2400 PSI  
 BEAMS, JOIST, COLUMNS CONNECTIONS SIMPSON
  - DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
  - FIELD MEASURE PRIOR TO DETAILING, ORDERING AND INSTALLATION.
  - FOOTINGS SHALL BE PLACED IN THE DRY ON UNDISTURBED SOIL, FREE FROM ORGANIC MATERIALS.
  - NAILING SHALL BE MADE IN ACCORDANCE WITH IRC 2009.
  - BEAM BEARING ON COLUMNS SHALL BE IN FULL WIDTH OF BEAMS.
  - CAP PLATES SHALL BE EXTENDED TO COVER BEAM WIDTH.
  - SOLID BLOCKING SHALL BE PROVIDED WITHIN THE FLOOR UNDER COLUMNS AND BEARING WALLS.
  - JOIST AND BEAM HANGERS SHALL BE PROVIDED SHOWN OR NOT, ALSO PROVIDE HURRICANE TIES, CAP AND BASE COLUMN CONNECTORS SHALL BE PROVIDED.
  - TRUSS JOIST (T.J) SHALL BE SELECTED FOR LIVE LOADS AS SHOWN ABOVE 20 PSF DEAD LOADS.
  - OPENINGS IN BEARING WALLS OVER 4 FEET SHALL BE PROVIDED WITH DOUBLE JACKS.

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INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
FLOOR PLANS & DETAILS

GENERAL NOTES:  
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION AND THE ORDERING OF ALL MATERIALS. REPORT ANY/ALL DISCREPANCIES TO OWNER.

NO.	DATE	DESCRIPTION

DRAWN BY SFG  
DATE 02/24/14  
PROJECT No.  
SCALE 1/8" = 1'-0"  
DRAWING No.

A.02



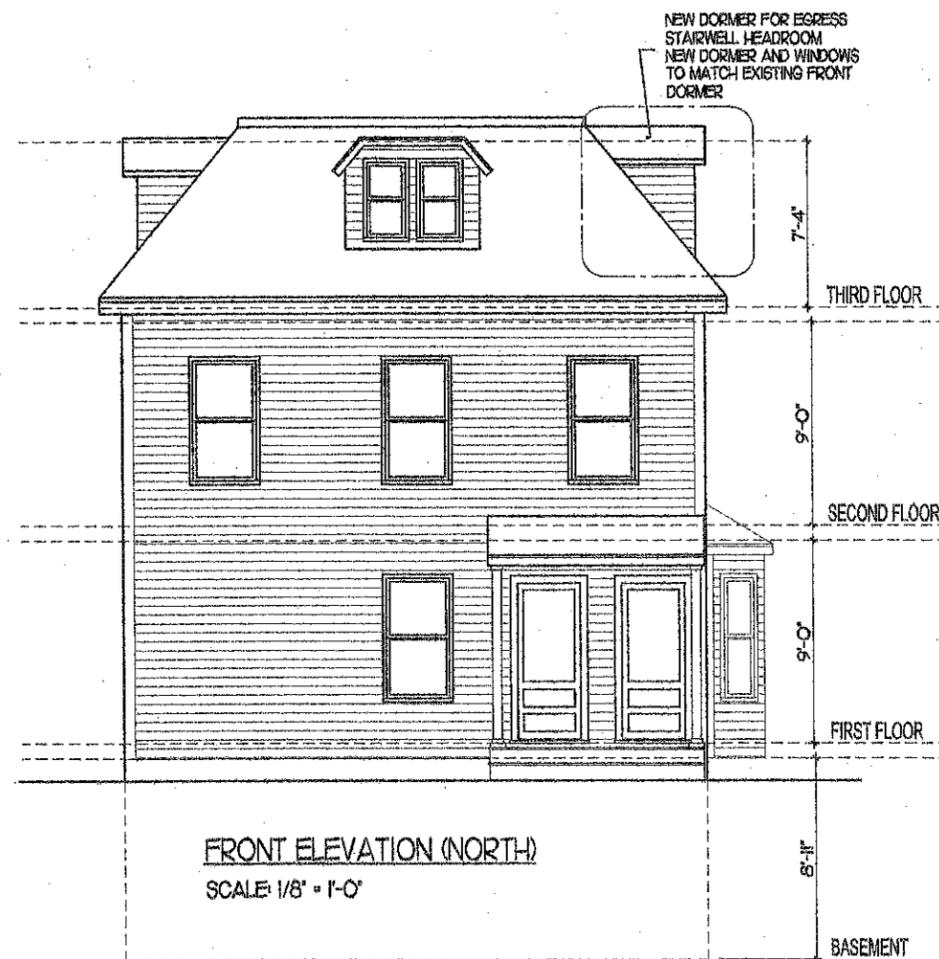
INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
ELEVATIONS

GENERAL NOTES:  
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VERIFIED IN FIELD PRIOR  
TO CONSTRUCTION AND  
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MATERIALS. REPORT  
ANY/ALL DISCREPANCIES  
TO OWNER.

REVISIONS					

DRAWN BY SFG  
DATE 02/24/14  
PROJECT No.  
SCALE 1/8" = 1'-0"  
DRAWING No.

A.03



*Anthony DiFrancisco*

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INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
PROPOSED PLANS  
ELEVATIONS

GENERAL NOTES:  
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REVISIONS					

DRAWN BY SFG

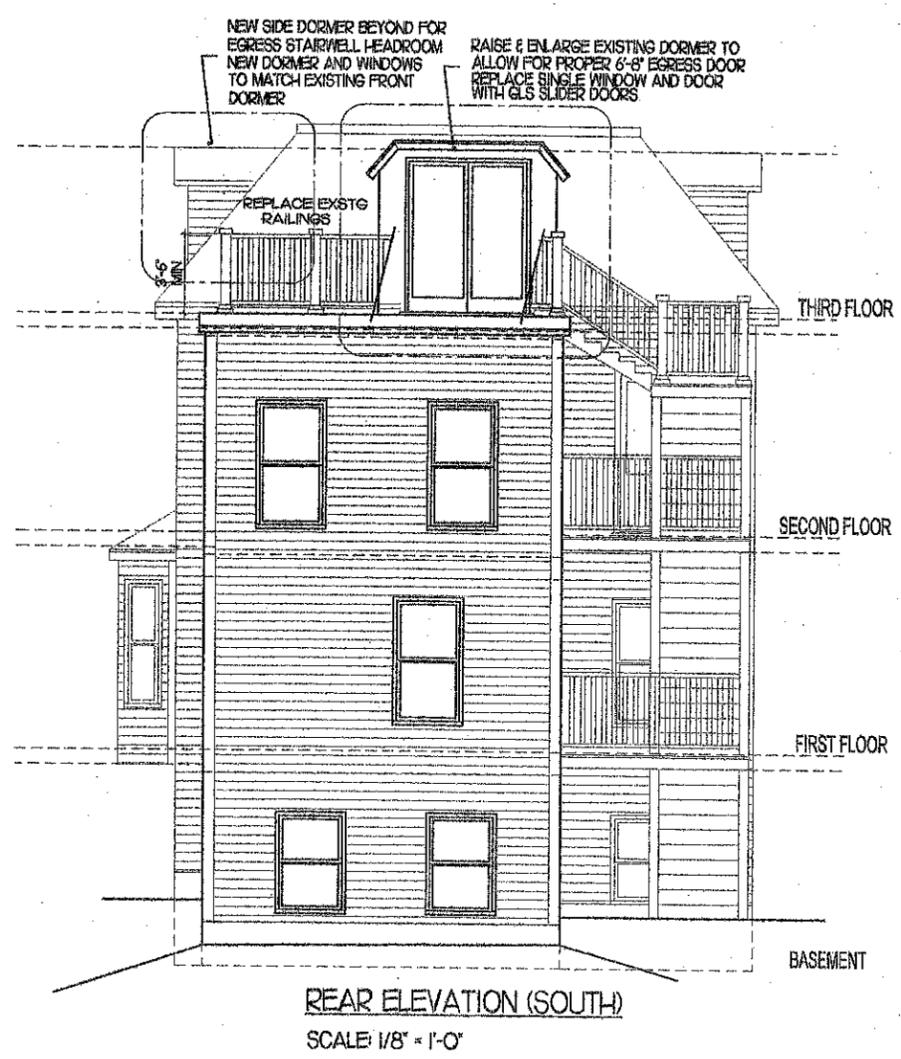
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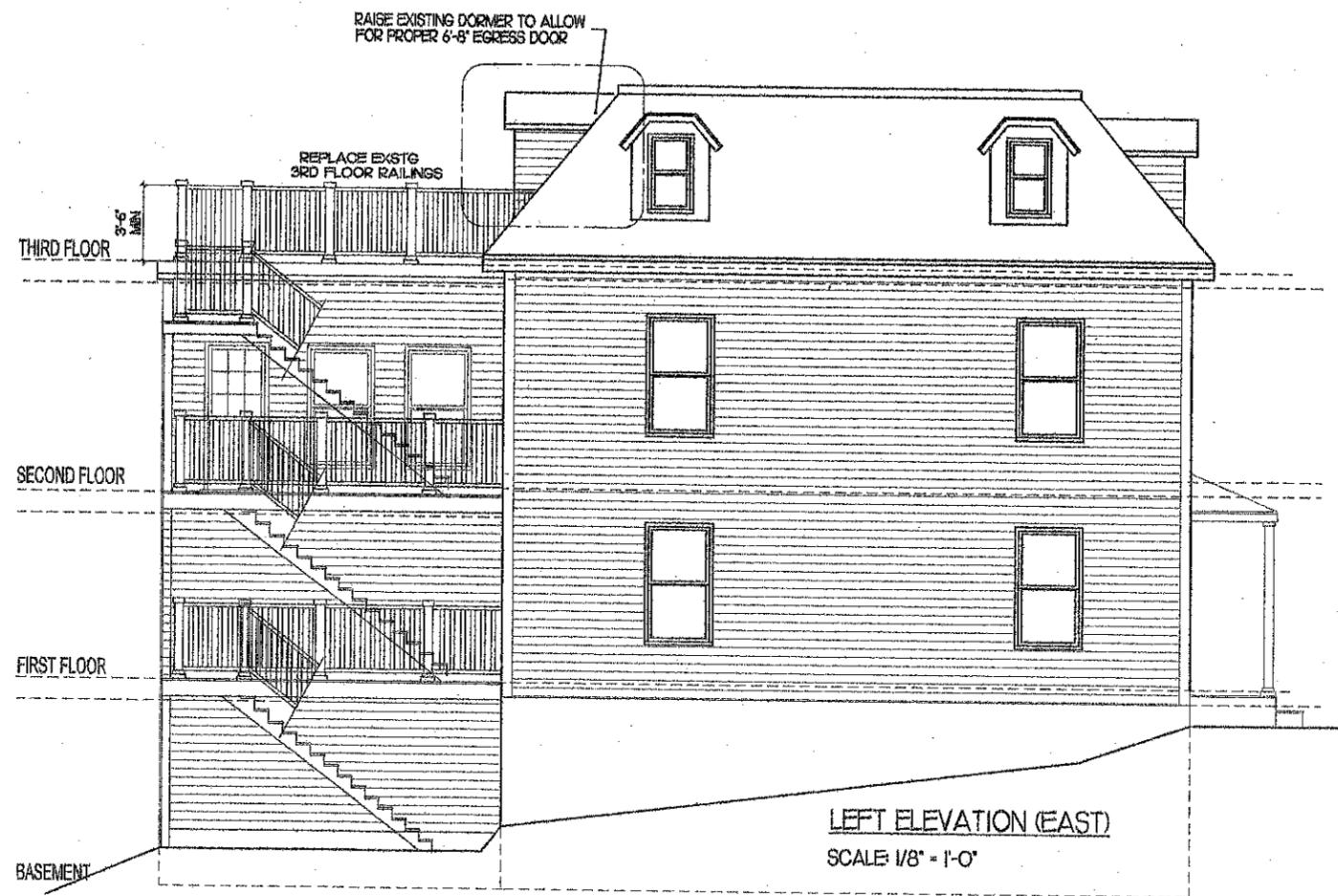
SCALE 1/8" = 1'-0"

DRAWING No.

A.04



REAR ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"



LEFT ELEVATION (EAST)  
SCALE 1/8" = 1'-0"



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INTERIOR RENOVATIONS  
206 SUMMER STREET  
SOMERVILLE, MA  
EXISTING CONDITIONS  
FLOOR PLANS

GENERAL NOTES:  
ALL DIMENSIONS TO BE  
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TO CONSTRUCTION AND  
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ANY ALL DISCREPANCIES  
TO OWNER.

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

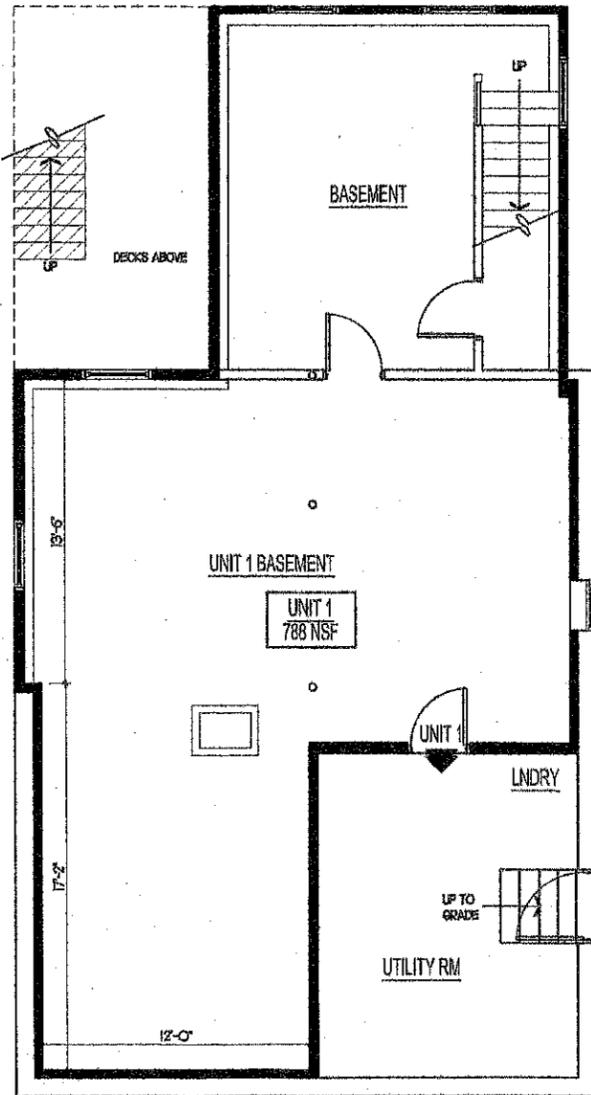
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DATE: 05/02/14

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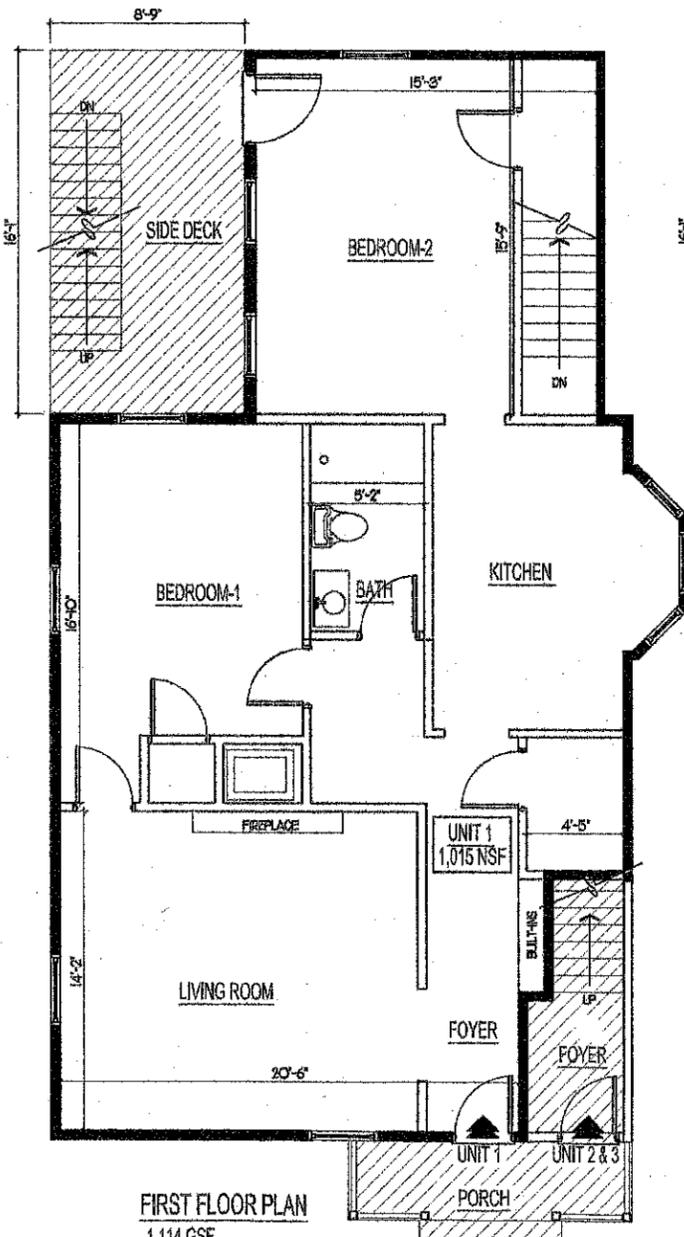
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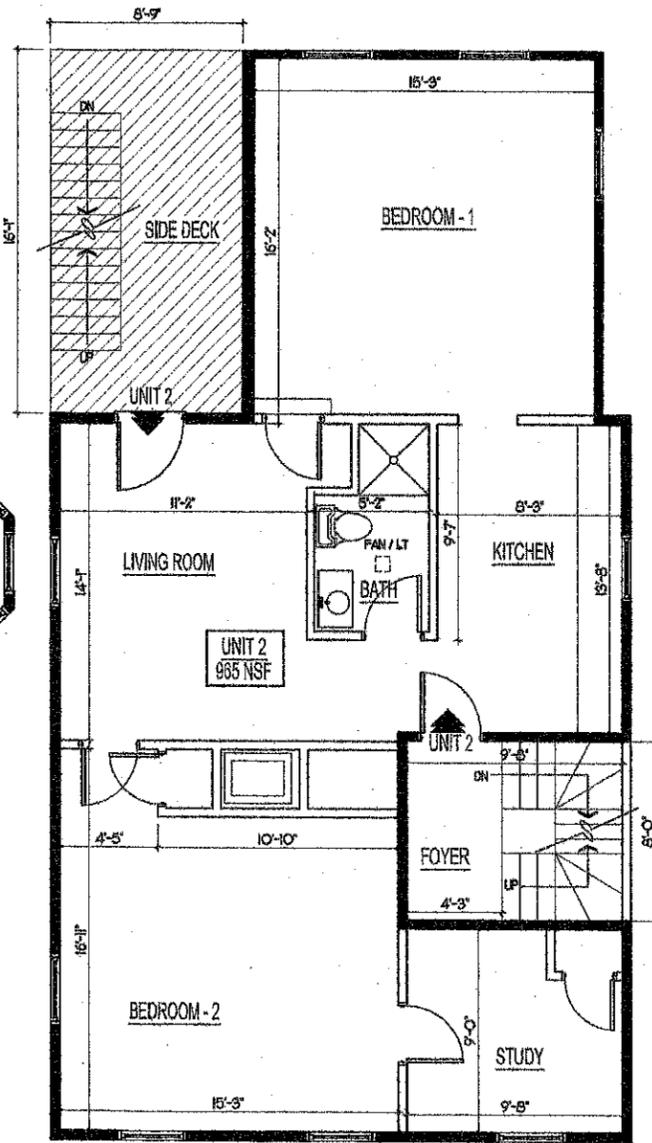
A.05



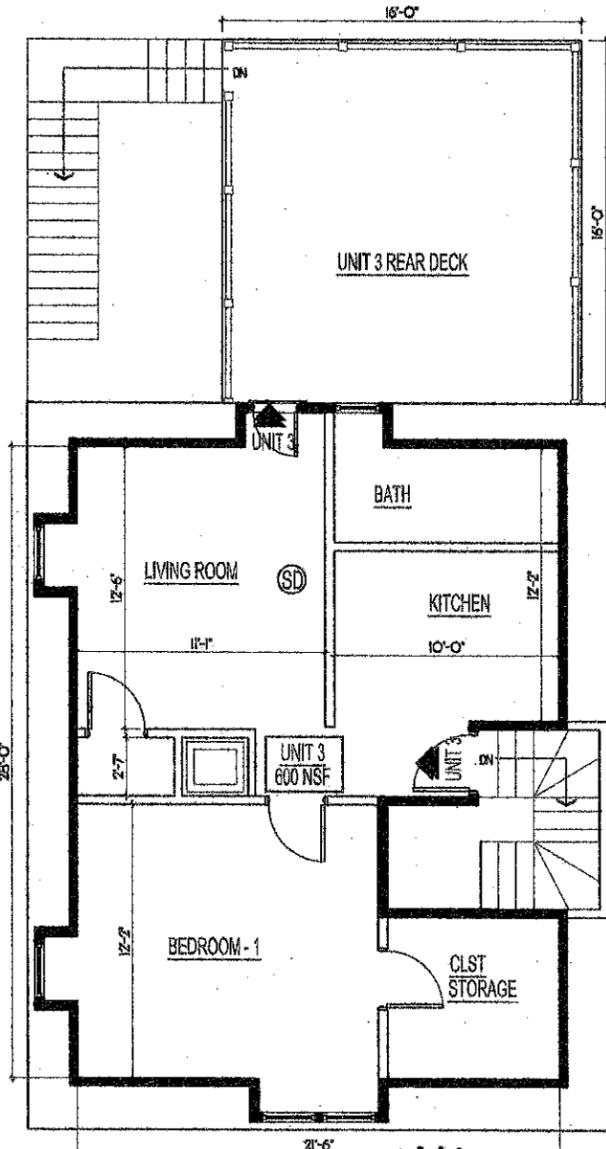
**BASEMENT FLOOR PLAN**  
1,100 GSF



**FIRST FLOOR PLAN**  
1,114 GSF



**SECOND FLOOR PLAN**  
1,100 GSF



**THIRD FLOOR PLAN**  
670 GSF



*Anthony DiFrancisco*