

NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING THESE PLANS TO REQUIRED STATE AND LOCAL BUILDING CODES.

CONTRACTOR SHALL VERIFY ALL JOIST AND MATERIAL SIZING IN ACCORDANCE WITH THE MASS. STATE BUILDING CODE.

ALL WINDOWS AND DOORS TO BE SELECTED BY HOMEOWNER. THE CONTRACTOR SHALL ADJUST PLANS TO CONFORM TO WINDOWS AND DOORS SELECTED WITH APPROVAL OF THE HOMEOWNER.

ROUGH DOOR AND WINDOW OPENINGS SHALL BE DETERMINED BY THE CONTRACTOR WITH REGARDS TO MATERIALS SELECTED BY HOMEOWNER.

CONTRACTOR SHALL VERIFY AND RECEIVE APPROVAL OF ALL ENGINEERED LUMBER SIZING AND SHALL HAVE LUMBER MANUFACTURER OR REPRESENTATIVE SUPPLY STAMP OF APPROVAL AS REQUIRED BY LOCAL BUILDING CODES.

INSULATION SHALL CONFORM TO MASSACHUSETTS BUILDING CODE 2012 IECC

CONTRACTOR RESPONSIBLE FOR DESIGN OF STAIRS.

CONTRACTOR SHALL COORDINATE WITH PLUMBER, ELECTRICIAN AND HVAC CONTRACTORS AND SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO THE FRAMING AS REQUIRED.

CONTRACTOR SHALL TYVEK WRAP AND SIDE ENTIRE STRUCTURE WITH MATERIAL SELECTED BY HOMEOWNER.

CONTRACTOR SHALL ROOF ENTIRE STRUCTURE. ROOF SHALL HAVE ICE AND WATER SHIELD AND UNDERLAYMENT INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

CONTRACTOR RESPONSIBLE FOR PROPER VENTILATION AND WATERPROOFING.

CONTRACTOR SHALL REGRADE EXISTING SITE TO MAINTAIN PROPER DRAINAGE AND ACCESS TO BASEMENT.

HEIGHT TO PEAK SHALL NOT EXCEED 35 FEET FROM AVERAGE GRADE AROUND FOUNDATION.

ALL ROOMS TO BE TO BE FIRE RATED IN ACCORDANCE TO MASS. STATE BUILDING CODE.

ALL FINISHES SHALL BE SELECTED BY THE HOMEOWNER.

BATHROOM DESIGN TO BE SUPPLIED BY HOMEOWNER AND SUPERCEDES THE DESIGN SHOWN ON DRAWINGS.

FLOOR DESIGN LOADS ARE BASED ON FLOOR 40#/SQ. FT. IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE.

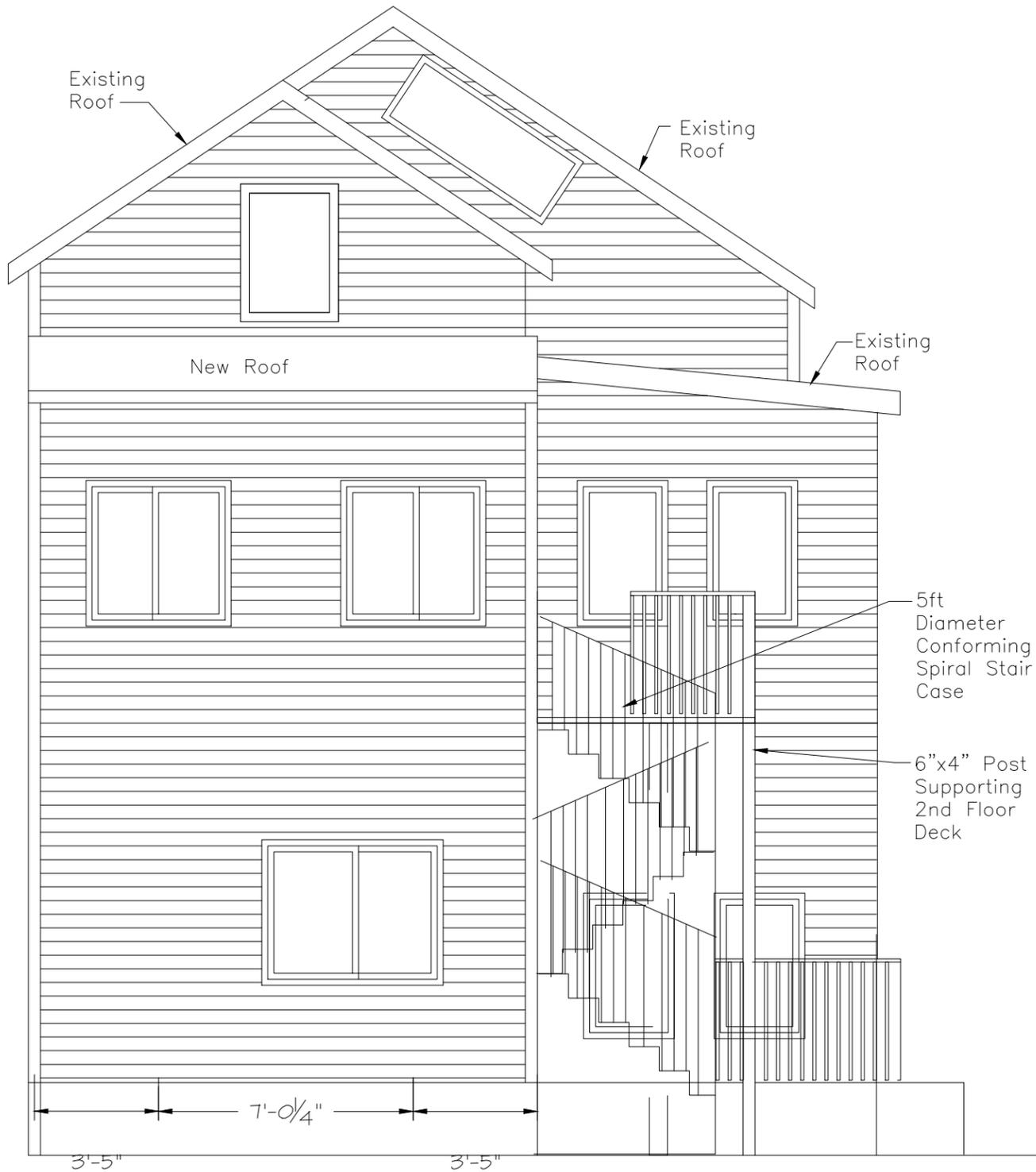
STAIRWAY HEADROOM SHALL BE A MINIMUM OF 6'-8" MEASURED FROM THE NOSE OF THE STAIR.

SMOKE DETECTORS SHALL BE LOCATED IN EVERY ROOM AND AT ALL EGRESS POINTS. IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT.

ALL HALLWAYS AND STAIRWELLS SHALL HAVE A MINIMUM OF 3 FOOT CLEAR.

ALL WINDOW HEADERS SHALL BE A MINIMUM OF (2) 2"x 8" OR IN ACCORDANCE TO THE MASS. STATE BUILDING CODE.

ROOF SLOPE SHALL BE DETERMINED BY THE CONTRACTOR AND PEAK SHALL NOT EXCEED EXISTING ROOF.



Back Elevation

SHEET TITLE

COVER AND NOTES

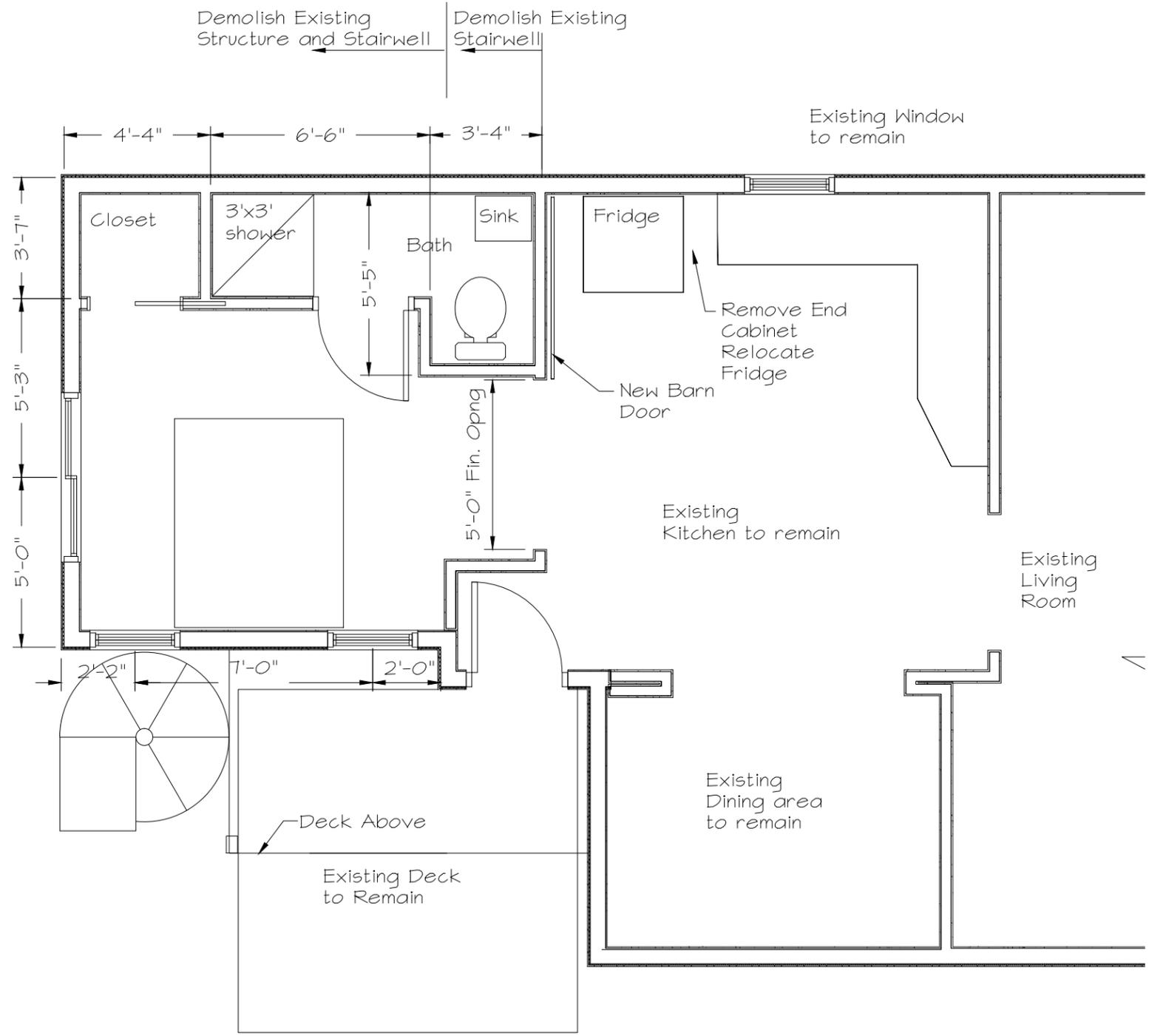
PROJECT

27 Claremon St Somerville

REF:
 PROJECT NO: 27 CLAREMON ST
 DATE:
 CAD DWG FILE: A-1 COVER AND NOTES.DWG
 DRAWN BY: -
 CHK'D BY: -

DRAWING

A-1



Up to 2nd Floor Deck

SHEET TITLE

FIRST FLOOR PLAN

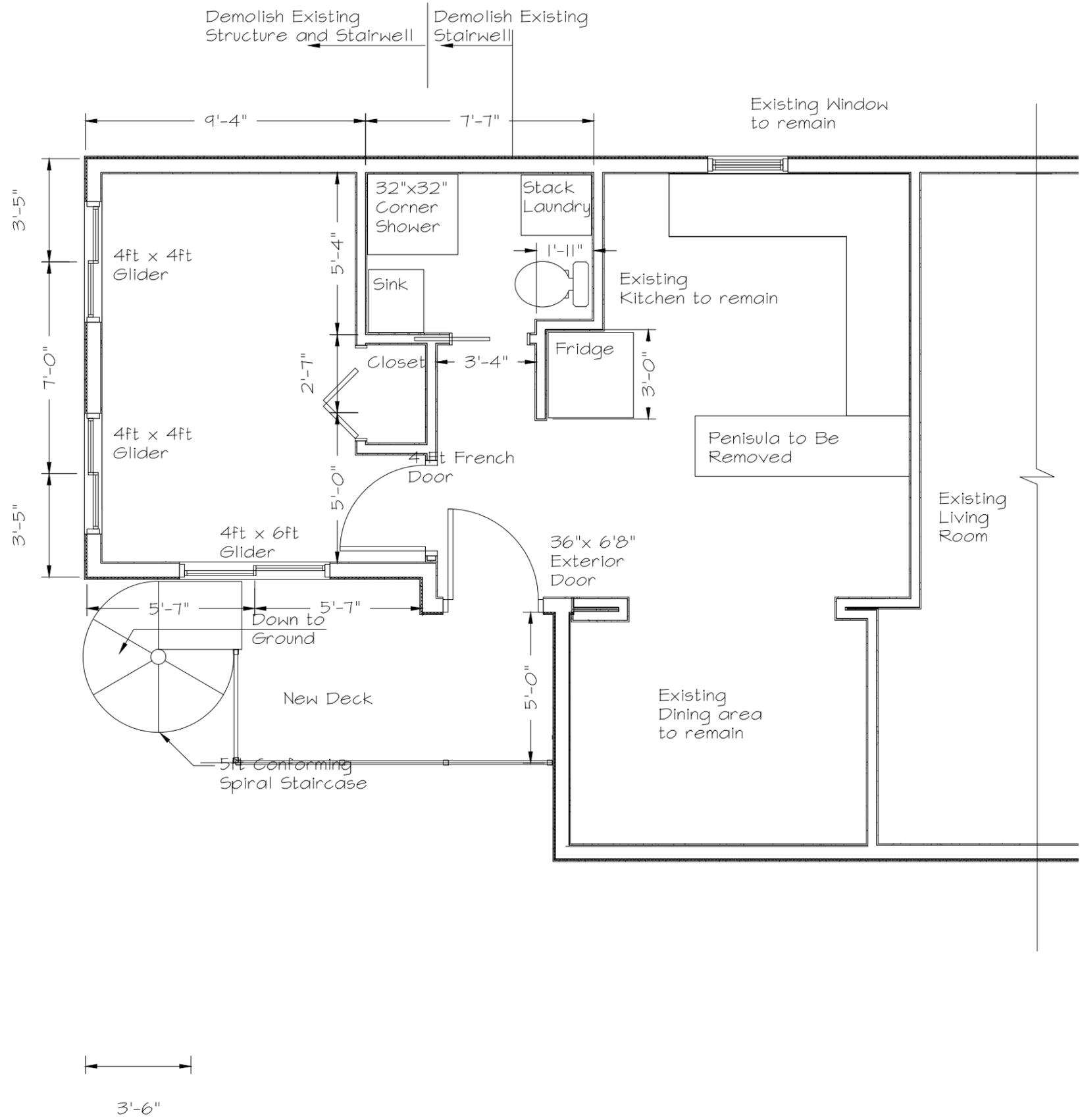
PROJECT

27 Claremon St Somerville

REF:	
PROJECT NO:	27 CLAREMON ST
DATE:	
CAD DWG FILE:	A-2 FIRST FLOOR PLAN.DWG
DRAWN BY:	-
CHK'D BY:	-

DRAWING

A-2



SHEET TITLE

SECOND FLOOR PLAN

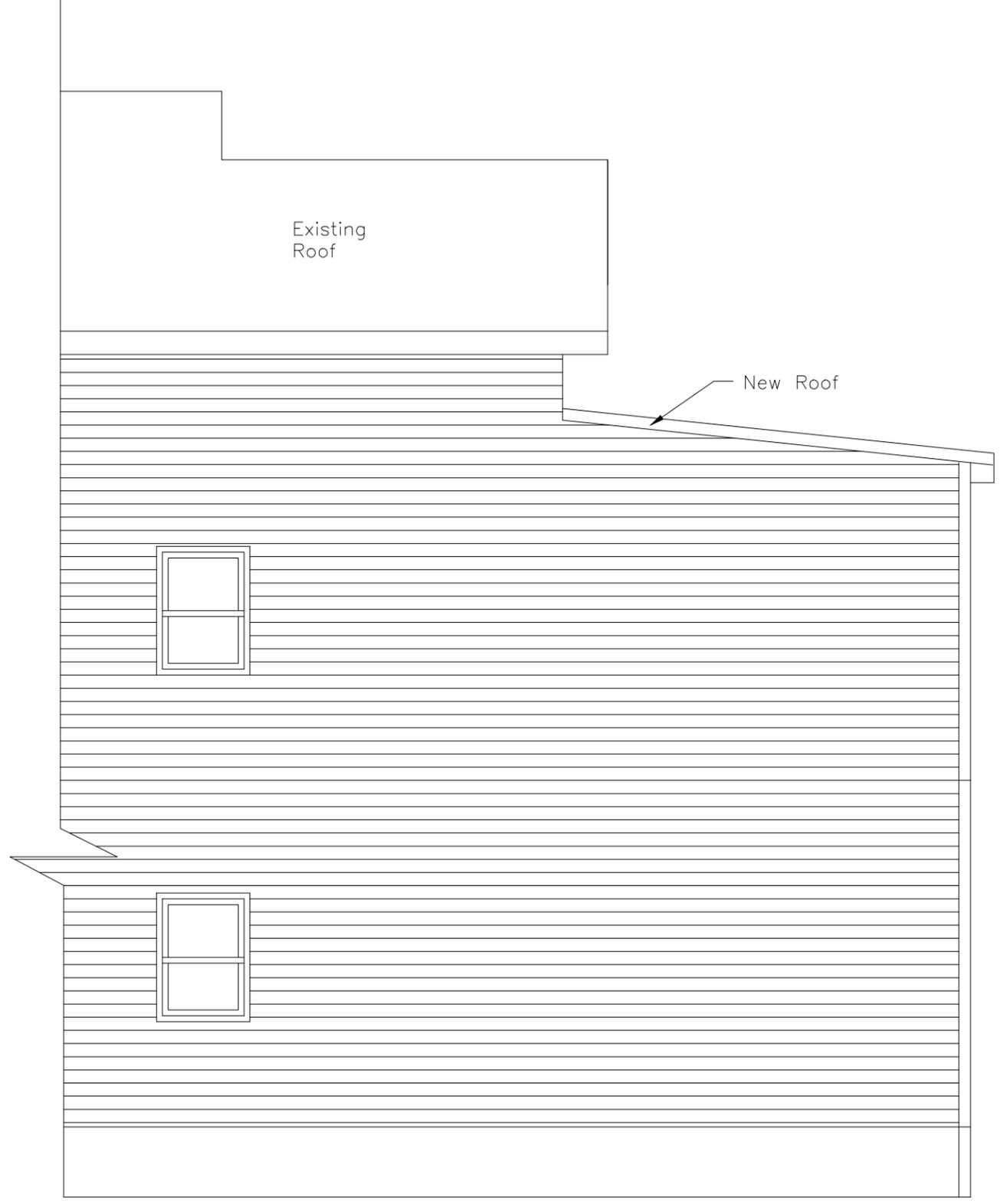
PROJECT

27 Claremon St Somerville

REF: _____
 PROJECT NO: 27 CLAREMON ST
 DATE: _____
 CAD DWG FILE: A-3 SECOND FLOOR PLAN.DWG
 DRAWN BY: _____
 CHK'D BY: _____

DRAWING

A-3



Right Side Elevation

SHEET TITLE

RIGHT SIDE ELEVATION

PROJECT

27 Claremon St Somerville

REF:
PROJECT NO: 27 CLAREMON ST
DATE:
CAD DWG FILE: A-4 RIGHT SIDE ELEVATION.DWG
DRAWN BY: -
CHK'D BY: -

DRAWING

A-4



Back Elevation

SHEET TITLE

BACK ELEVATION

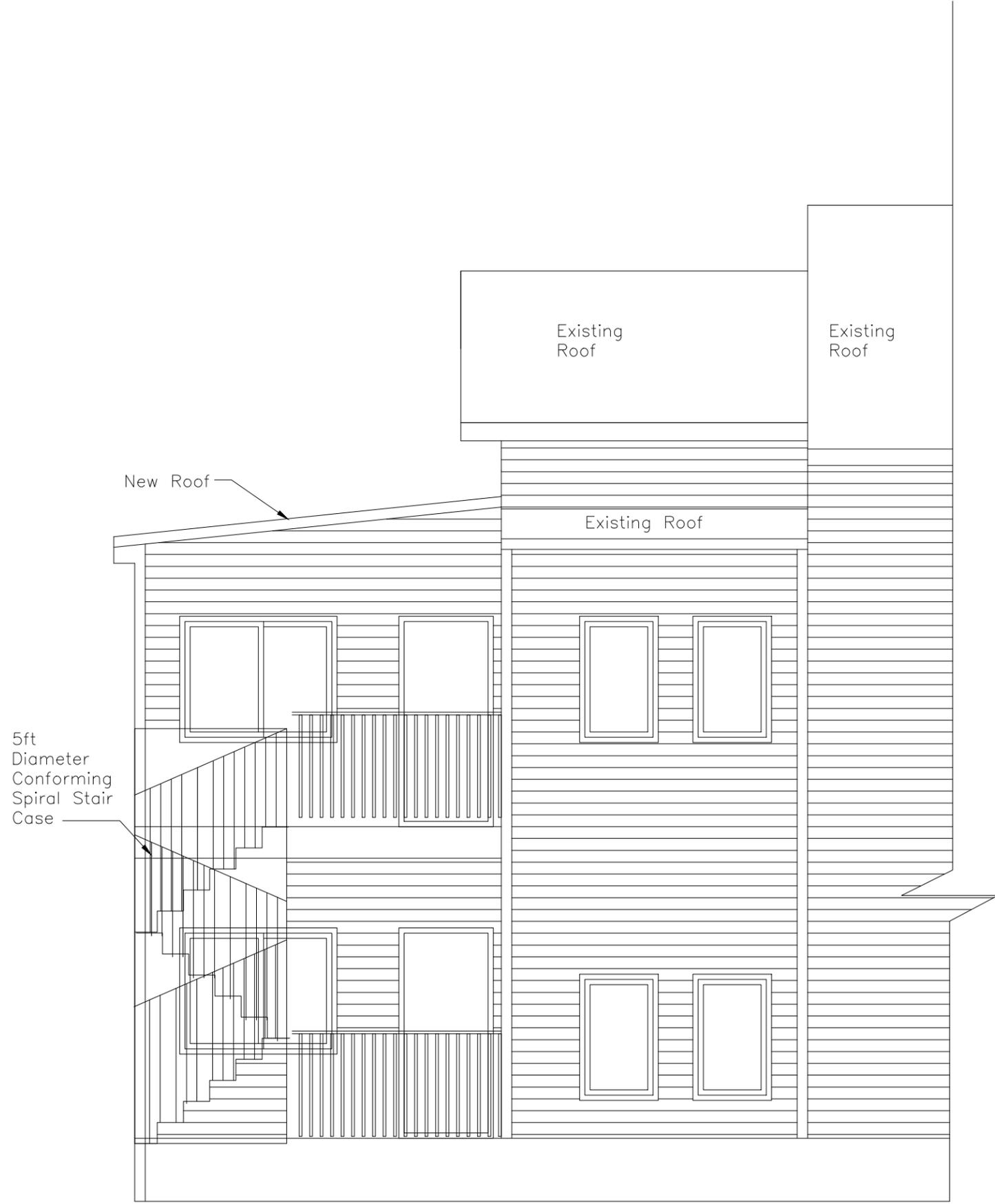
PROJECT

27 Claremon St Somerville

REF:
 PROJECT NO: 27 CLAREMON ST
 DATE:
 CAD DWG FILE: A-5 BACK ELEVATION.DWG
 DRAWN BY: -
 CHK'D BY: -

DRAWING

A-5



SHEET TITLE

LEFT SIDE ELEVATION

PROJECT

27 Claremon St Somerville

REF: PROJECT NO: 27 CLAREMON ST

DATE:

CAD DWG FILE: A-6 LEFT SIDE ELEVATION.DWG

DRAWN BY: -

CHK'D BY: -

DRAWING

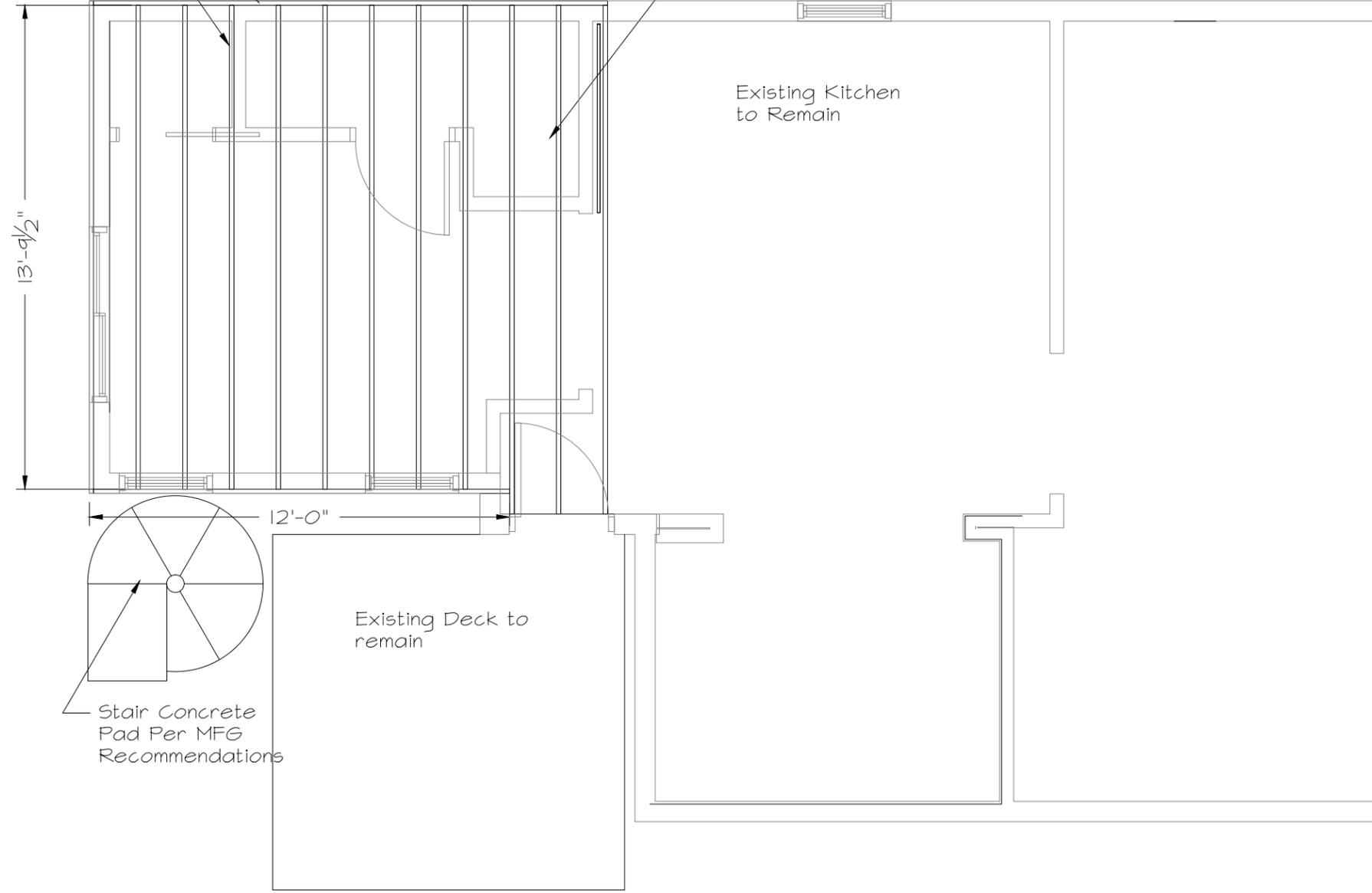
A-6

2"x 12" Rim Joist (Typ)

2"x 12" Floor Joist
Spaced 16" O.C. (Typ)

Remove Existing Stairwell and
install new 2"x12" Floor Joists

Existing Kitchen
to Remain



Stair Concrete
Pad Per MFG
Recommendations

Existing Deck to
remain

SHEET TITLE

FIRST FLOOR FRAMING PLAN

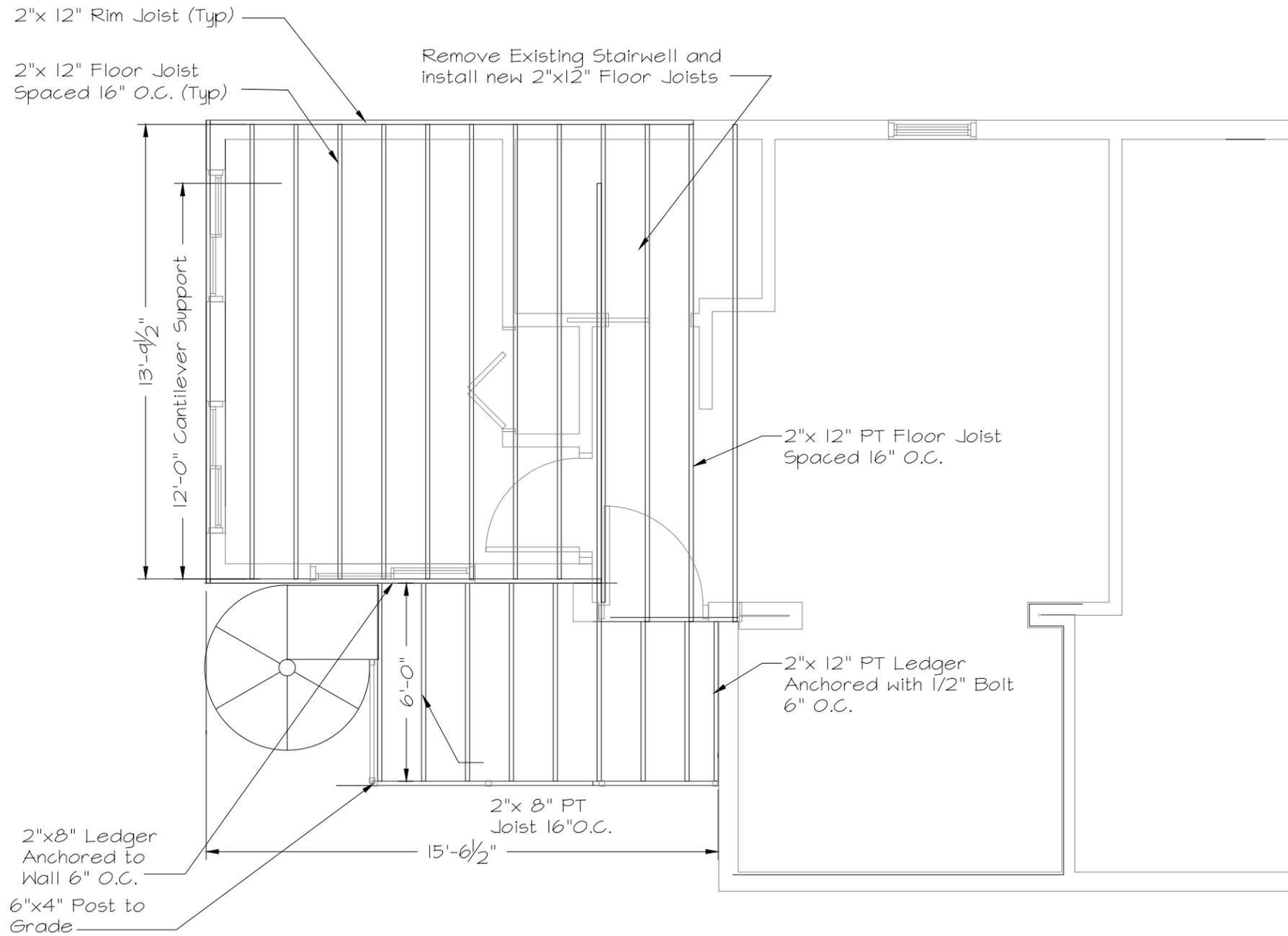
PROJECT

27 Claremon St Somerville

REF:
PROJECT NO: 27 CLAREMON ST
DATE:
CAD DWG FILE: A-7 FIRST FLOOR
DRAWN BY: -
CHK'D BY: -

DRAWING

A-7



SHEET TITLE

SECOND FLOOR FRAMING PLAN

PROJECT

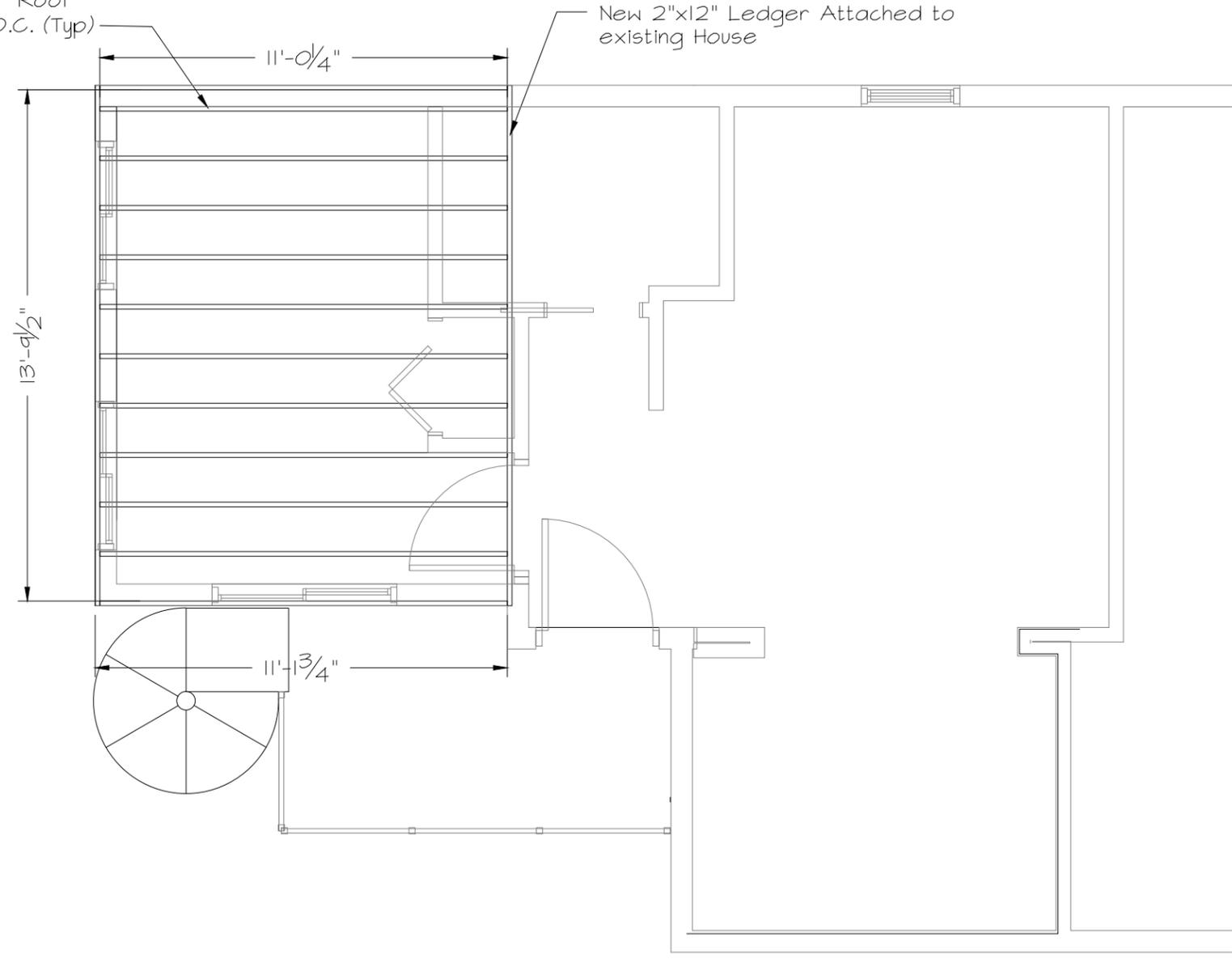
27 Claremon St Somerville

REF:
 PROJECT NO: 27 CLAREMON ST
 DATE:
 CAD DWG FILE: A-8 SECOND FLOOR
 DRAWN BY: -
 CHK'D BY: -

DRAWING

A-8

2"x 12" Rafters 1/12
Slope Rubber Roof
Spaced 16" O.C. (Typ)



SHEET TITLE

ROOF FRAMING PLAN

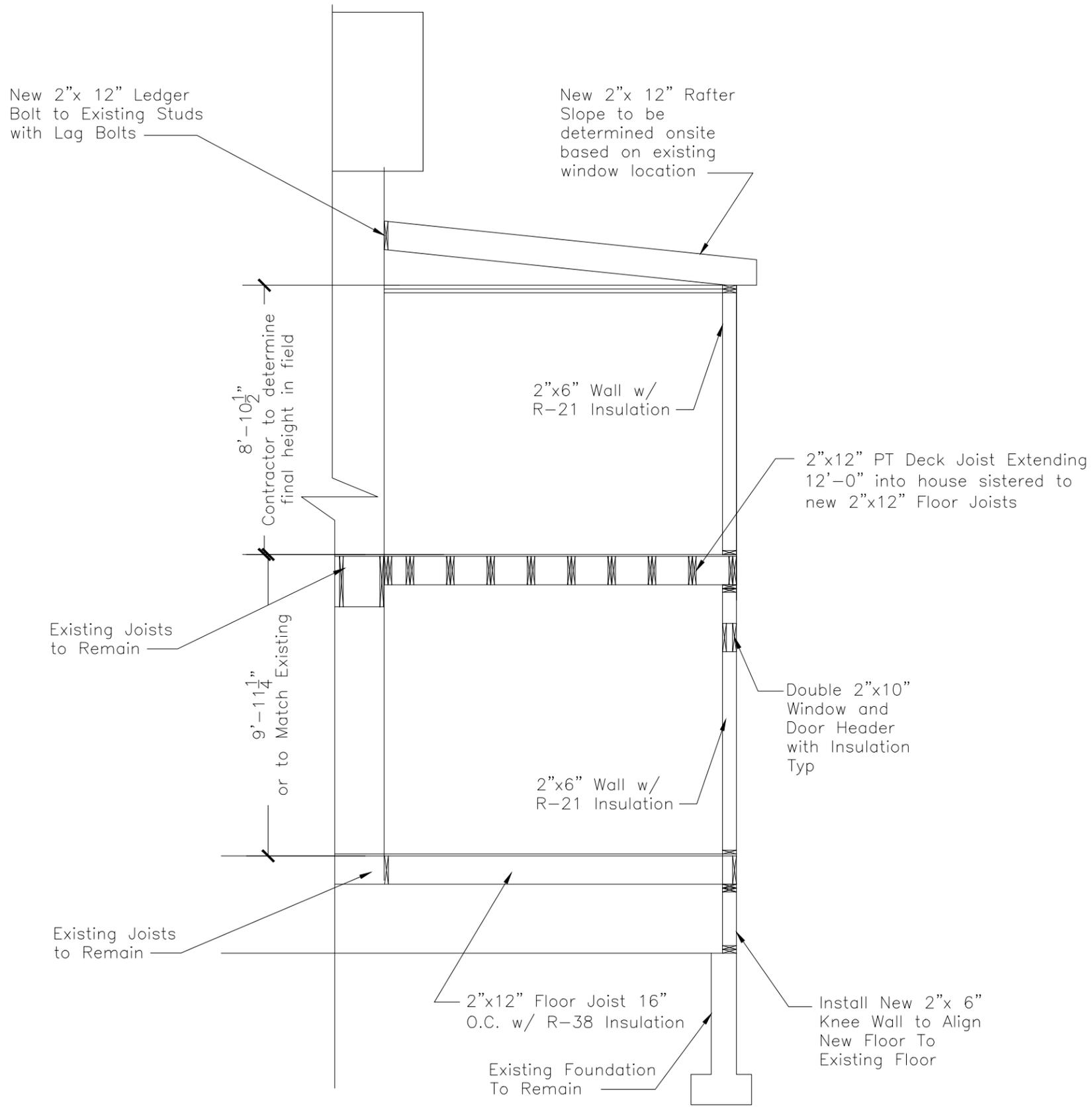
PROJECT

27 Claremon St Somerville

REF:
PROJECT NO: 27 CLAREMON ST
DATE:
CAD DWG FILE: A-9 ROOF FRAMING
DRAWN BY: —
CHK'D BY: —

DRAWING

A-9



Section Facing Toward Driveway
Through New Bedroom Addition

SHEET TITLE

SECTIONS 1

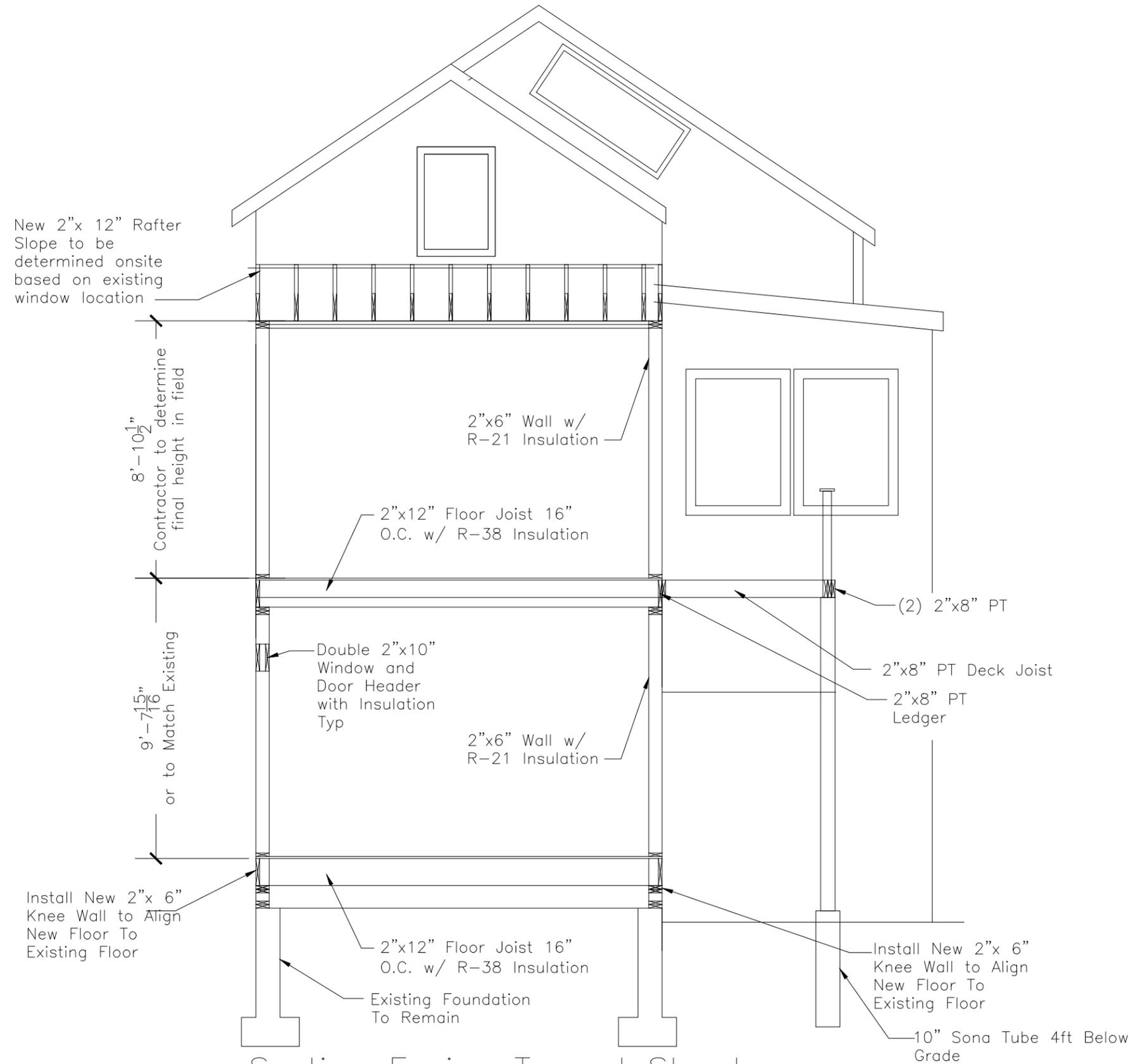
PROJECT

27 Claremon St Somerville

REF: PROJECT NO: 27 CLAREMON ST
DATE: CAD DWG FILE: A-10 SECTIONS
DRAWN BY: 1.DWG
CHK'D BY: -

DRAWING

A-10



Section Facing Toward Street
Through New Bedroom Addition

SHEET TITLE

SECTIONS 2

PROJECT

27 Claremon St Somerville

REF: PROJECT NO: 27 CLAREMON ST

DATE: CAD DWG FILE: A-11 SECTIONS

DRAWN BY: 2.DWG

CHK'D BY: -

DRAWING

A-11







