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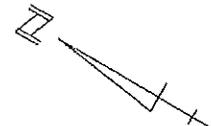
<p>CERTIFIED PLOT PLAN OF LAND 20 MAIN STREET SOMERVILLE, MA</p>	
<p>PREPARED BY: MEDFORD ENGINEERING & SURVEY ANGELO B. VENEZIANO ASSOCIATES 15 HALL ST. MEDFORD, MA. 02155 781-396-4466 fax: 781-396-8052</p>	
<p>SCALE: 1" = 20'</p>	
<p>TITLE REF: BK 54688 PG 462</p>	
<p>DATE: MAY 5, 2011</p>	
<p>FILE No. 18018</p>	

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY.

THOMAS M. KILLION, P.L.S. DATE:

CURRENT PROPERTY BOUNDS

N/F
EDGAR REALTY, LLC



NAIL SET
ON WALL

DRILL HOLE SET
ON WALL FOOTING

48.35'

TOTAL AREA =
5,081 s.f.±

PARCEL 1
AREA = 1,691 s.f.±

CHAIN LINK FENCE
ON RETAINING WALL
WALL OVER 0.2'

39.8'

37.0'

PROP. 1st FLOOR
LANDING ADDITION

N/F
24 MAIN STREET
CONDOMINIUM

3.1'

EXISTING 1 STORY
W/DECK ABOVE

2½ STORY
WOOD

PROP. 2nd
STORY LANDING

PROP. SPIRAL
STAIRS TO 2nd
STORY LANDING

PROP. 1st FLOOR
LANDING ADDITION

PROPOSED
STAIRS

CHAIN LINK
FENCE

95.17'

NAIL SET
ON WALL

N/F
14-18 MAIN
STREET, LLC

2.4'

2.6'

15.0'

10.0'

5.8'

3.2 ±

115.61'

No. 20

LANDING

PARCEL 2
AREA = 3,390 s.f.±

DRILL HOLE
SET

53.92'

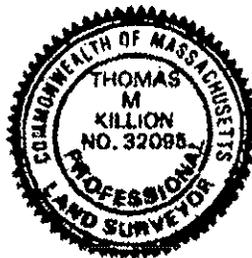
DRILL HOLE
SET

MAIN STREET

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CERTIFIED
PLOT PLAN OF LAND
20 MAIN STREET
SOMERVILLE, MA



PREPARED BY:
MEDFORD ENGINEERING & SURVEY
ANGELO B. VENEZIANO ASSOCIATES
15 HALL ST. MEDFORD, MA. 02155
781-396-4466 fax: 781-396-8052

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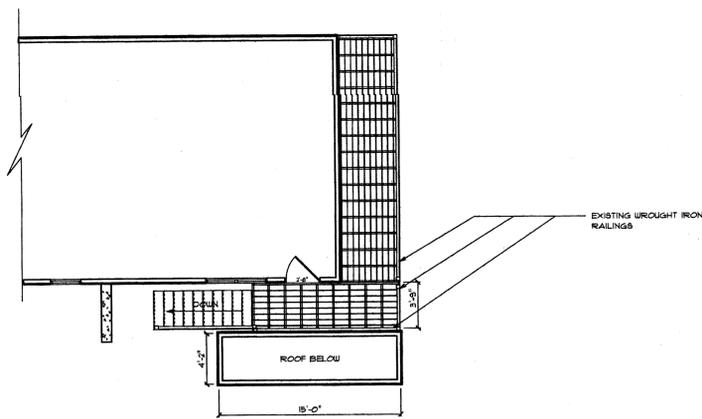
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Thomas M. Killion

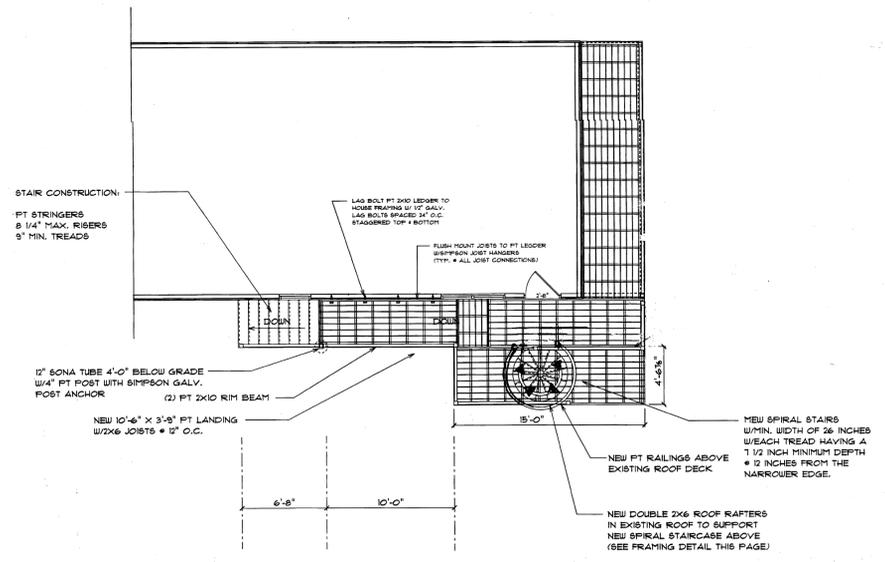
5/5/2011

THOMAS M. KILLION, P.L.S.

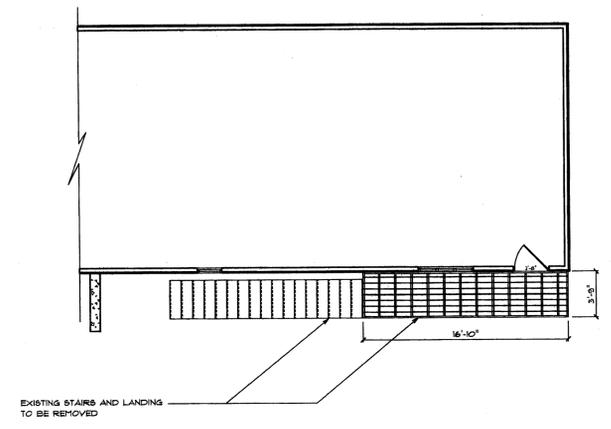
DATE:



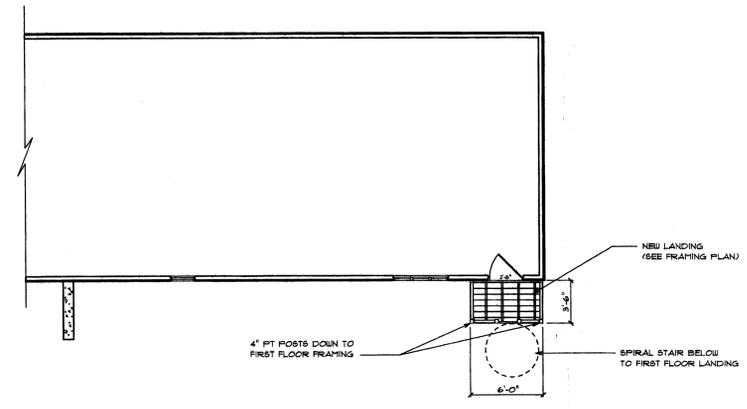
EXISTING FIRST FLOOR LANDING
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR LANDING
SCALE: 1/8" = 1'-0"



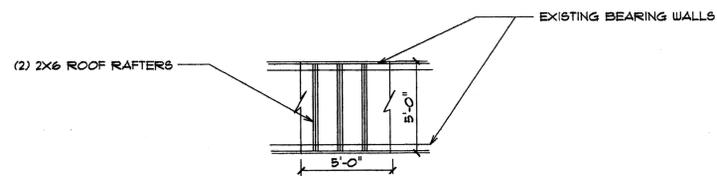
EXIST SECOND FLOOR LANDING
SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR LANDING
SCALE: 1/8" = 1'-0"

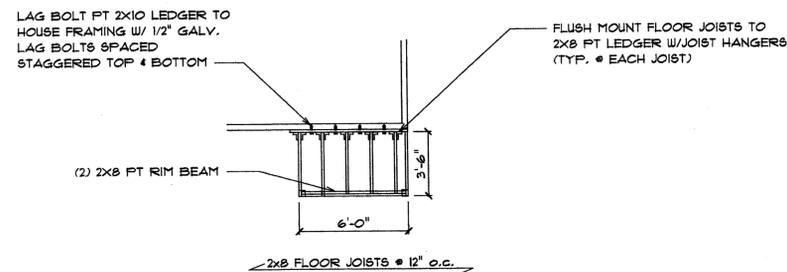
VISION DESIGN & CONSTRUCTION, INC. 14 WESTERN AVENUE WAKEFIELD, MA 01880 (781) 246-1511	TWO FAMILY DWELLING 20 MAIN STREET SOMERVILLE, MA	SCALE: AS SHOWN	DATE: JUNE 24, 2010
		DRAWN BY: PFM	REVISED:
		STAIRS & LANDING	A - 1.2

RECEIVED
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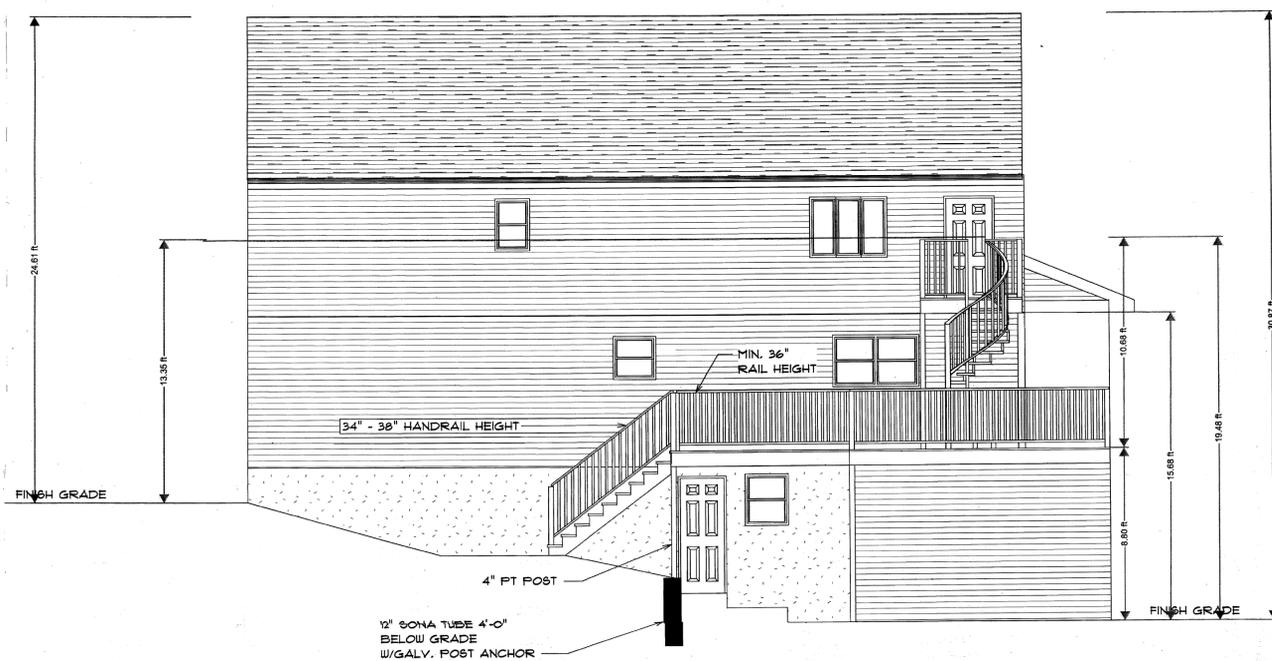
ROOF FRAMING REINFORCEMENT PLAN FOR SPIRAL STAIR SUPPORT

SCALE: 1/8" = 1'-0"



SECOND FLOOR LANDING FRAMING

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

FRAMING NOTES

CONTRACTOR TO VERIFY ALL MEASUREMENTS AND SITE CONDITIONS IN THE FIELD

FRAMING LUMBER TO BE 8PULCE-PINE-FIR, #2 GRADE OR BETTER

ALL JOISTS AND RAFTERS TO HAVE A MIN. 1 1/2" BEARING ON WOOD OR STEEL AND A MIN. 3" BEARING ON MASONRY, UNLESS SUPPORTED BY APPROVED METAL HANGERS

JOISTS SHALL BE LATERALLY SUPPORTED AT POINTS OF SUPPORT BY FULL-DEPTH SOLID BLOCKING

CONTRACTOR SHALL MONITOR ALL SUB-CONTRACTORS TO ASSURE ALL CUTTING AND NOTCHING OF FRAMING MEMBERS IS PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE REQUIREMENTS, 180 CMR - 11TH EDITION

ALL FASTENING OF LUMBER TO BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE MASSACHUSETTS STATE BUILDING CODE, 180 CMR - 11TH EDITION

ALL HEADERS TO BE (2) 2x 8'S UNLESS OTHERWISE NOTED

ALL BOLTS, NAILS, HANGERS, NUTS AND FASTENERS USED IN EXTERIOR LOCATIONS TO BE HOT-DIPPED, ZINC-COATED, GALVANIZED STAINLESS STEEL OR OTHER CORROSION-RESISTANT MATERIAL

ALL LUMBER USED IN EXTERIOR LOCATIONS TO BE PRESSURE-TREATED LUMBER, OR OTHER APPROVED TYPE OF MATERIALS TO RESIST DAMAGE FROM EXPOSURE TO THE WEATHER

ALL JOIST AND BEAM HANGERS TO BE SIMPSON STRONG-TIE HANGERS

ALL JOIST AND BEAM HANGERS TO BE FASTENED USING APPROVED JOIST HANGER NAILS

CONTRACTOR TO USE PROPER BRACING METHODS DURING CONSTRUCTION TO ASSURE THE STRUCTURE CAN SAFELY SUPPORT ALL LOADS PLACED UPON IT. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO ASSURE CONSTRUCTION MATERIALS ARE NOT STORED IMPROPERLY ON THE STRUCTURE SO AS TO OVERLOAD ANY AREA OF THE STRUCTURE

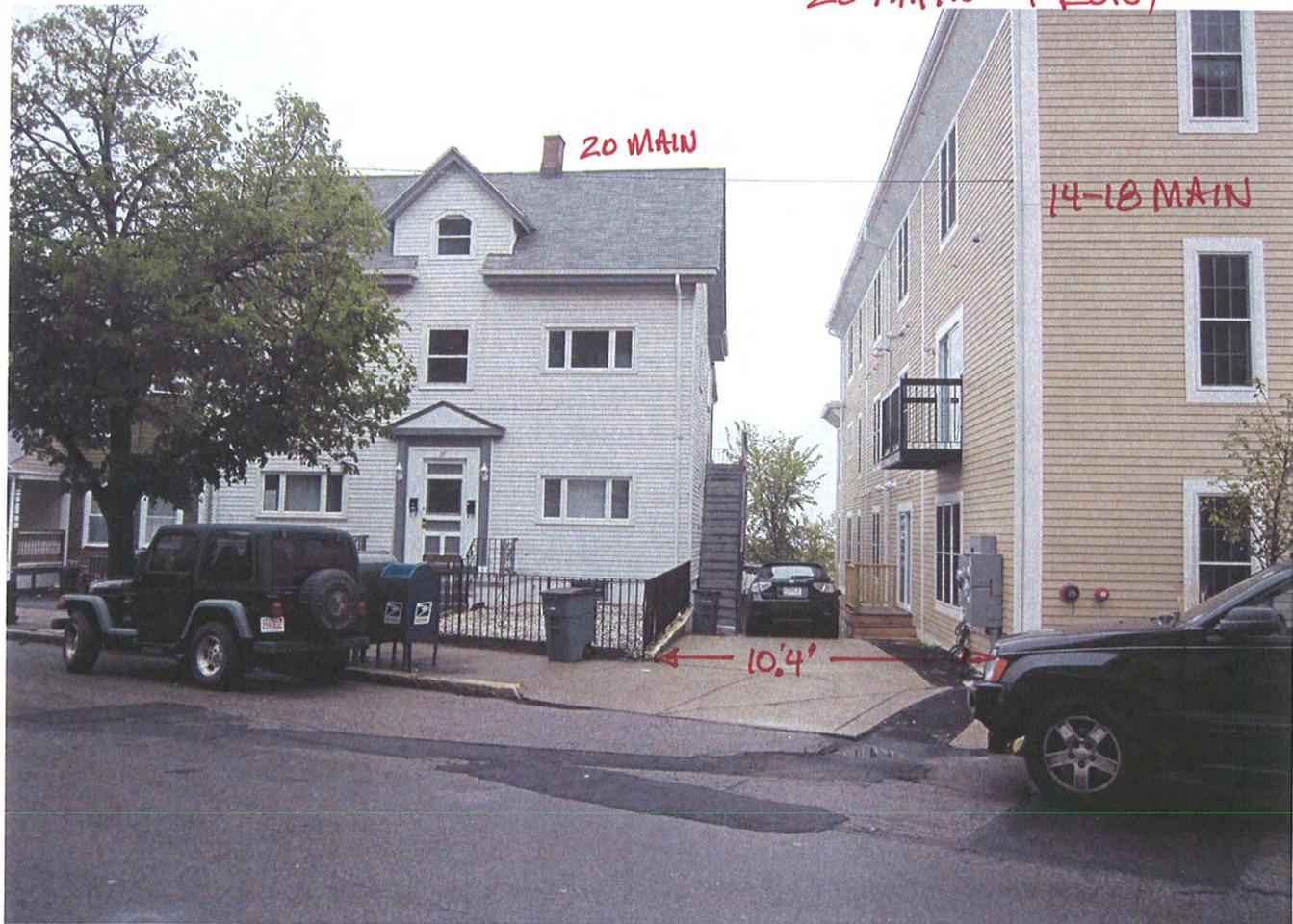
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REVISED:	DRAWN BY: PFM	
	STAIRS & LANDING	A - 2.2

VISION DESIGN & CONSTRUCTION, INC.
14 WESTERN AVENUE
WAKEFIELD, MA 01880
(617) 246-1511

20 MAIN - REAR SETBACK



20 MAIN - FRONT



20 MAIN - CURRENT STAIRS



3 of 6

LANDING FOR NEW STAIRS

CURRENT STAIRS



4 of 6



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NEW LANDING +
STEPS TO GROUND

5 of 6



ABUTTOR ALLOWED TO IMPRINGER ON PROPERTY LINE

6 of 6