



**16 LINDEN AVE (5 NEW UNITS + 3 RENOVATED UNITS)**  
**SOMERVILLE, MA**

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
 PLANNING  
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
 1904 MASS AVE, 2ND FLOOR  
 CAMBRIDGE, MA 02140  
 PH 617-354-3989 FAX 617-868-0280

PROJECT

**PROPOSED 8-UNIT DEVEL.**  
 16 LINDEN AVE.  
 SOMERVILLE, MA

PREPARED FOR

NEWMARKET PROPERTIES, LLC.  
 NEWMARKET, NH

DRAWING TITLE

**COVER SHEET**

SCALE AS NOTED

REVISION / ISSUE DATE

SPSR REV 2	16 NOV 2011
SPSR REV 1	11 OCT 2011
DRB REVIEW	29 SEP 2011
SPSR APPL	4 AUG 2011

DRAWN BY JH	APPROVED BY PQ
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SHEET

LIST OF DRAWINGS

	SPSR 4 AUG 2011	DRB REVIEW 29 SEP 2011	SPSR REV 1 11 OCT 2011	SPSR REV 1 16 NOV 2011
COVER SHEET/ DRAWING LIST	X	X	X	X
<b>CIVIL</b>				
P1 PLOT PLAN			SEP	SEP
C-1 LEGEND & NOTES			X	X
C-2 LAYOUT & MATERIALS PLAN			X	X
C-3 GRADING & DRAINAGE PLAN			X	X
C-4 UTILITY PLAN			X	X
C-5 EROSION & SEDIMENT CONTROL PLAN			X	X
C-6 CONSTRUCTION DETAILS			X	X
C-7 CONSTRUCTION DETAILS			X	X
C-8 CONSTRUCTION DETAILS			X	X
C-9 CONSTRUCTION DETAILS			X	X
S-1 EXISTING CONDITIONS			X	X
<b>ARCHITECTURAL</b>				
Z1 ZONING COMPLIANCE SHEET 1 OF 2	X		X	X
Z2 ZONING COMPLIANCE SHEET 2 OF 2	X		X	X
1 PROPOSED 3D VIEW		X	X	X
2 PROPOSED 3D VIEW		X	X	X
A0 ARCHITECTURAL SITE PLAN	X	X	X	X
A1.1 PROPOSED BASEMENT & FIRST FLOOR PLANS	X	X	X	X
A1.2 PROPOSED SECOND & THIRD FLOOR PLANS	X	X	X	X
A2.1 PROPOSED SOUTH & EAST ELEVATIONS	X	X	X	X
A2.2 PROPOSED NORTH & WEST ELEVATIONS	X	X	X	X
A3.1 EXISTING 3-FAM PROPOSED FLOOR PLANS	X	X	X	X
A4.1 EXISTING 3-FAM PROPOSED WEST ELEVATION	X	X	X	X
A4.2 EXISTING 3-FAM PROPOSED NORTH & SOUTH ELEVATION	X	X	X	X

PREPARED FOR:

OWNER  
 NEWMARKET PROPERTIES LLC  
 22 SMITH GARRISON RD  
 NEWMARKET, NH, 03857

PREPARED BY:

ARCHITECT  
 PETER QUINN ARCHITECTS LLC  
 1904 MASSACHUSETTES AVE, 2ND FL  
 CAMBRIDGE, MA 02140  
 PH (617) 354-3989  
 FX (617) 868-0280

CIVIL ENGINEER  
 JOHN A. BARROWS, P.E.

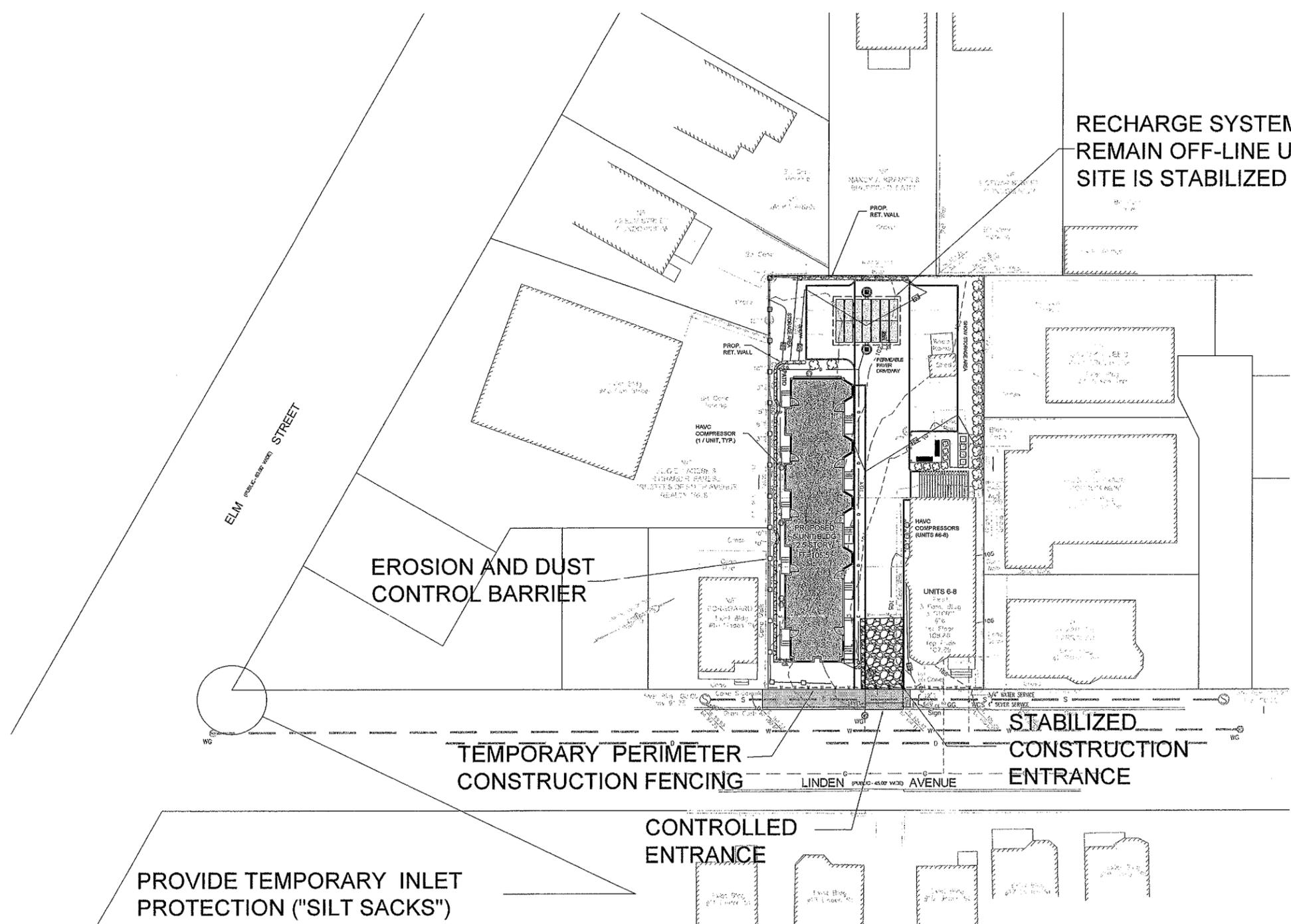
90 PINE STREET  
 DANVERS, MA 01923  
 PH (978) 204-2390











THE UNDERGROUND UTILITIES SHOWN ARE BASED UPON A FIELD SURVEY AND RECORD INFORMATION PROVIDED BY THE CITY OF SOMERVILLE AND ARE NOT WARRANTED TO BE ACCURATE OR COMPLETE. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST UPON THE SITE. THE CONTRACTOR SHALL VERIFY UNDERGROUND UTILITY LOCATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. DIGSAFE SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

**SITE PLAN**  
SCALE: 1" = 20'  
10 5 0 10

**PERMITTING PLANS**  
NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
1	BUILDING LOC. & PARKING REV.	11/14/11

EROSION & SEDIMENT CONTROL PLAN

16 LINDEN AVENUE  
SOMERVILLE, MASSACHUSETTS

DRAWN FOR  
NEWMARKET PROPERTIES  
22 SMITH GARRISON RD.  
NEWMARKET, NH 03857

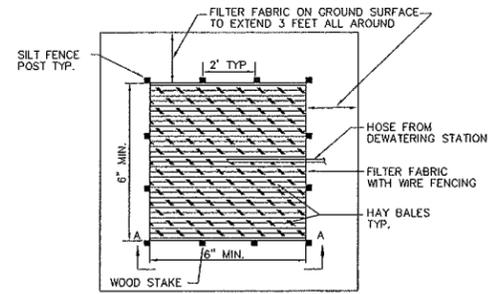
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CIVIL ENGINEERING SERVICES  
90 PINE STREET  
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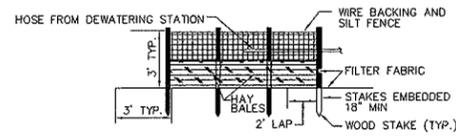
DATE: SEPTEMBER 19, 2011

...projects\somerville\16 Linden Ave\Site Plans\Site Plan.dwg





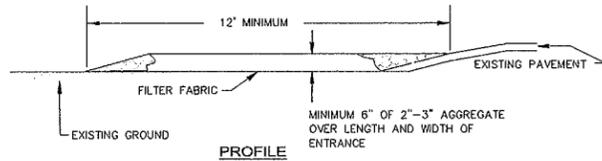
PLAN



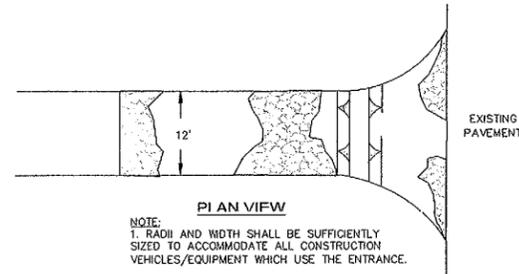
SECTION A-A

NOTE:  
DIMENSIONS OF SEDIMENTATION BASINS MAY VARY DEPENDING ON QUANTITY OF WATER TO BE PUMPED IN EACH AREA.

SEDIMENTATION BASIN  
N.T.S.



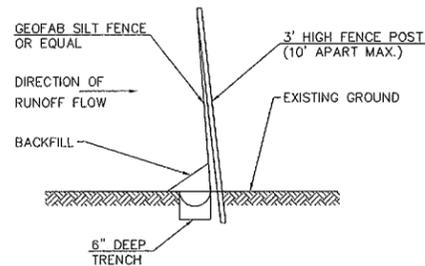
PROFILE



PLAN VIEW

NOTE:  
1. RADIUS AND WIDTH SHALL BE SUFFICIENTLY SIZED TO ACCOMMODATE ALL CONSTRUCTION VEHICLES/EQUIPMENT WHICH USE THE ENTRANCE.

STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.

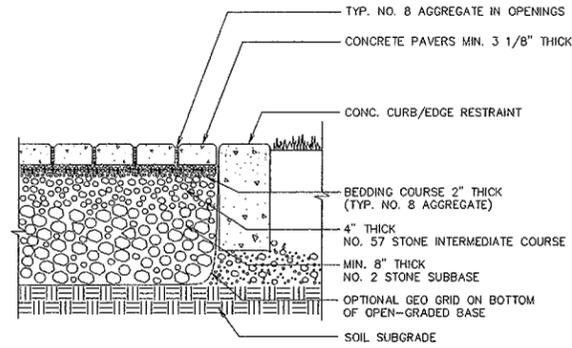


SILT FENCE DETAIL

N.T.S.

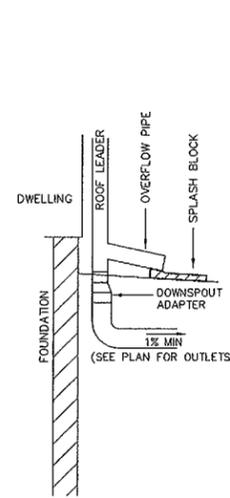
INSTALLATION SEQUENCING

1. DIG TRENCH 6" DEEP
2. SET FENCE POST 10' APART MAX. AT SLIGHT ANGLE TOWARD RUNOFF DIRECTION
3. ATTACH GEOFAB TO FENCE
4. LOWER 6" OF GEOFAB IN TRENCH CURLED TOWARD RUNOFF DIRECTION AND BACKFILL
5. FENCE TO BE INSTALLED AT TOE OF SLOPE

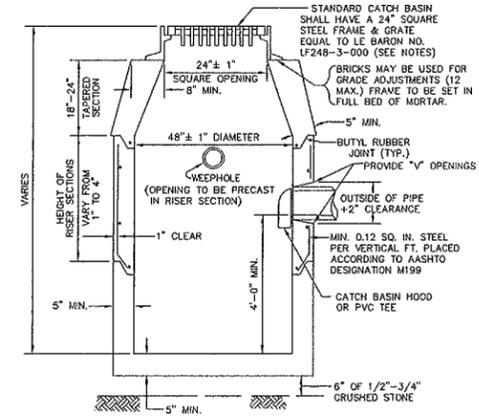


PERMEABLE PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE  
N.T.S.

NOTES:  
1. 2 3/8" (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.



ROOF LEADER DETAIL



NOTES:  
1. CATCH BASINS TO BE RATED FOR H-20 LOADING  
2. NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.  
3. DURING CONSTRUCTION, HAY BALES AND FILTER FABRIC SHALL BE MAINTAINED AROUND ON-SITE CATCH BASINS (REFER TO EROSION/SEDIMENTATION CONTROL DETAILS).  
4. ALL DRAINAGE STRUCTURES SHALL BE FUNCTIONAL PRIOR TO INSTALLATION OF PERVIOUS PAVERS

PRECAST CONCRETE CATCH BASIN DETAILS  
N.T.S.

CHK:	DISC:	DATE
		11/14/11
		NO CHANGES THIS SHEET
		DESCRIPTION
DRW:		1. BC

CONSTRUCTION DETAILS

16 LINDEN AVENUE  
SOMERVILLE, MASSACHUSETTS

DRAWN FOR  
NEWMARKET PROPERTIES  
23 SMITH GARRISON RD.  
NEWMARKET, NH 03857

JOHN A. BARROWS, P.E.  
CIVIL ENGINEERING SERVICES  
90 PINE STREET  
DANVERS, MA 01923  
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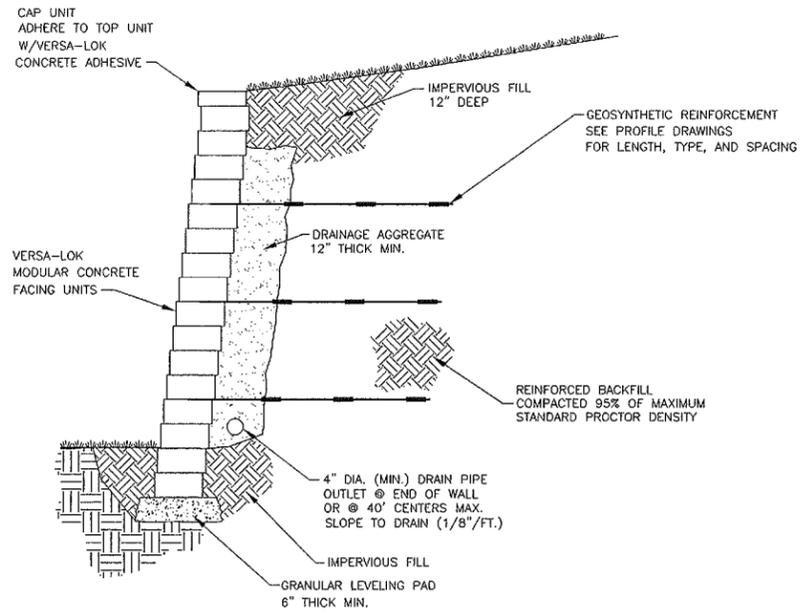
...SOMERVILLE\16 LINDEN AVE.\SITE PLANS\CONST DETAILS.DWG

N.T.S.

SHEET C-7

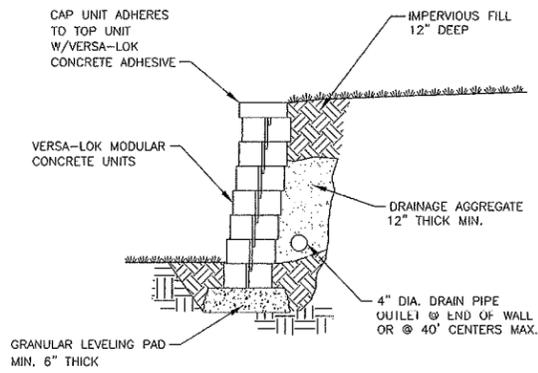
PERMITTING PLANS

NOT FOR CONSTRUCTION



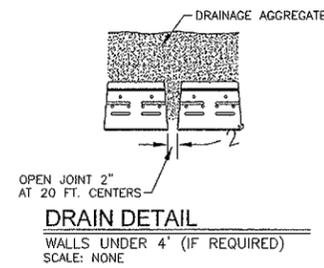
**TYPICAL SECTION-REINFORCED RETAINING WALL**

MODULAR CONCRETE UNIT  
SCALE: NONE

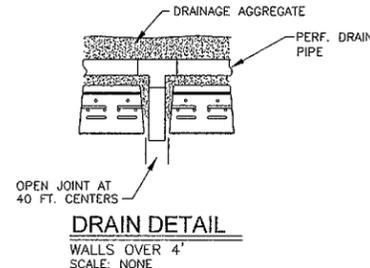


**TYPICAL SECTION-UNREINFORCED RETAINING WALL**

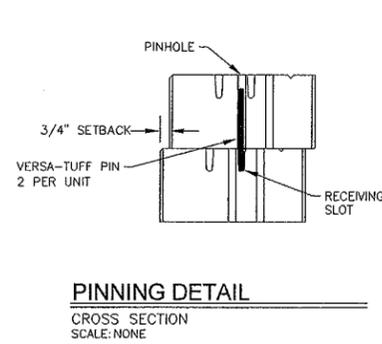
SCALE: NONE



**DRAIN DETAIL**  
WALLS UNDER 4' (IF REQUIRED)  
SCALE: NONE

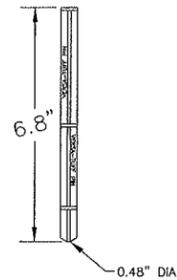


**DRAIN DETAIL**  
WALLS OVER 4'  
SCALE: NONE



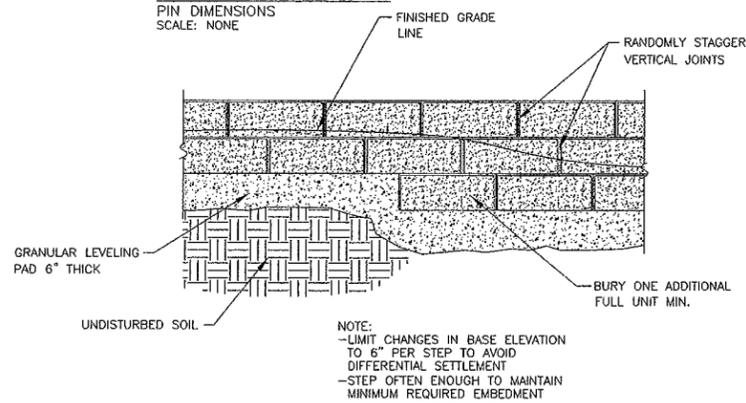
**PINNING DETAIL**

CROSS SECTION  
SCALE: NONE



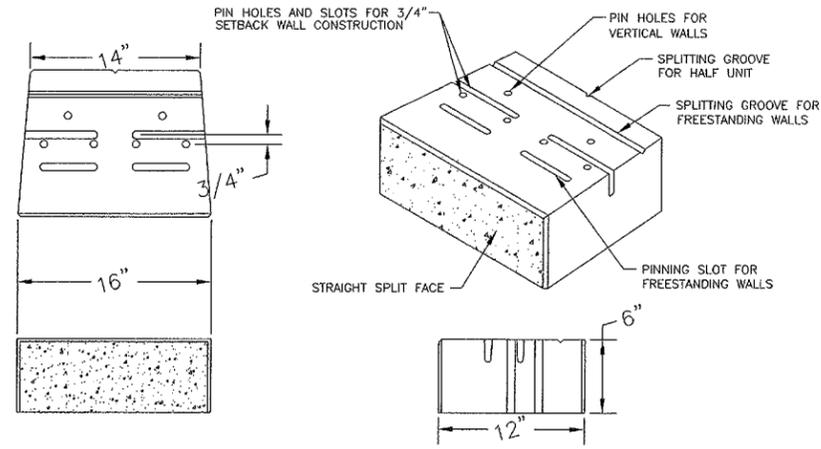
**VERSA-TUFF PIN**

PIN DIMENSIONS  
SCALE: NONE



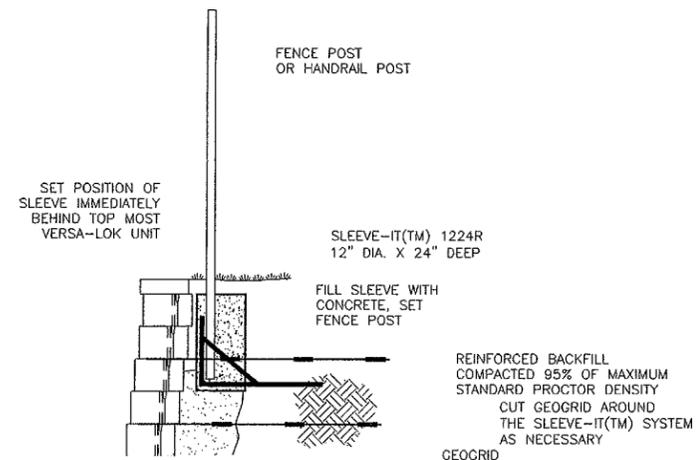
**STEPPING BASE DETAIL**

SCALE: NONE



**VERSA-LOK UNIT**

UNIT DIMENSIONS  
SCALE: NONE



**FENCE POST DETAIL W/ SLEEVE-IT(TM) 1224R**

SQUARE FOOT UNIT-WITH SLEEVE-IT(TM) 1224R  
SCALE: NONE

\*FENCING SYSTEMS APPROVED FOR USE WITH SLEEVE-IT(TM) 1224R ARE LIMITED TO THE FOLLOWING HEIGHTS: CHAIN LINK-UP TO 8-FT, PRIVACY -UP TO 6-FT (WOODEN, PVC, METAL). POST SIZE 4\"/>

**ENGINEERED WALL TYPICAL DETAILS**

NOTES:

N.T.S.

- 1) WALL TO BE VERSA-LOCK OR APPROVED EQUAL.
- 2) THIS DETAIL CONTAINS SEVERAL CONSTRUCTION DETAILS WHICH ARE INTENDED AS AN AID. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.

**PERMITTING PLANS**

NOT FOR CONSTRUCTION

CHKC	DATE	DESCRIPTION
DRW	11/14/11	NO CHANGES THIS SHEET
DSCG		

CONSTRUCTION DETAILS

16 LINDEN AVENUE  
SOMERVILLE, MASSACHUSETTS

DRAWN FOR  
NEWMARKET PROPERTIES  
22 SMITH GARRISON RD  
NEWMARKET, NH 03857

**JOHN A. BARROWS, P.E.**

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DATE: SEPTEMBER 19, 2011

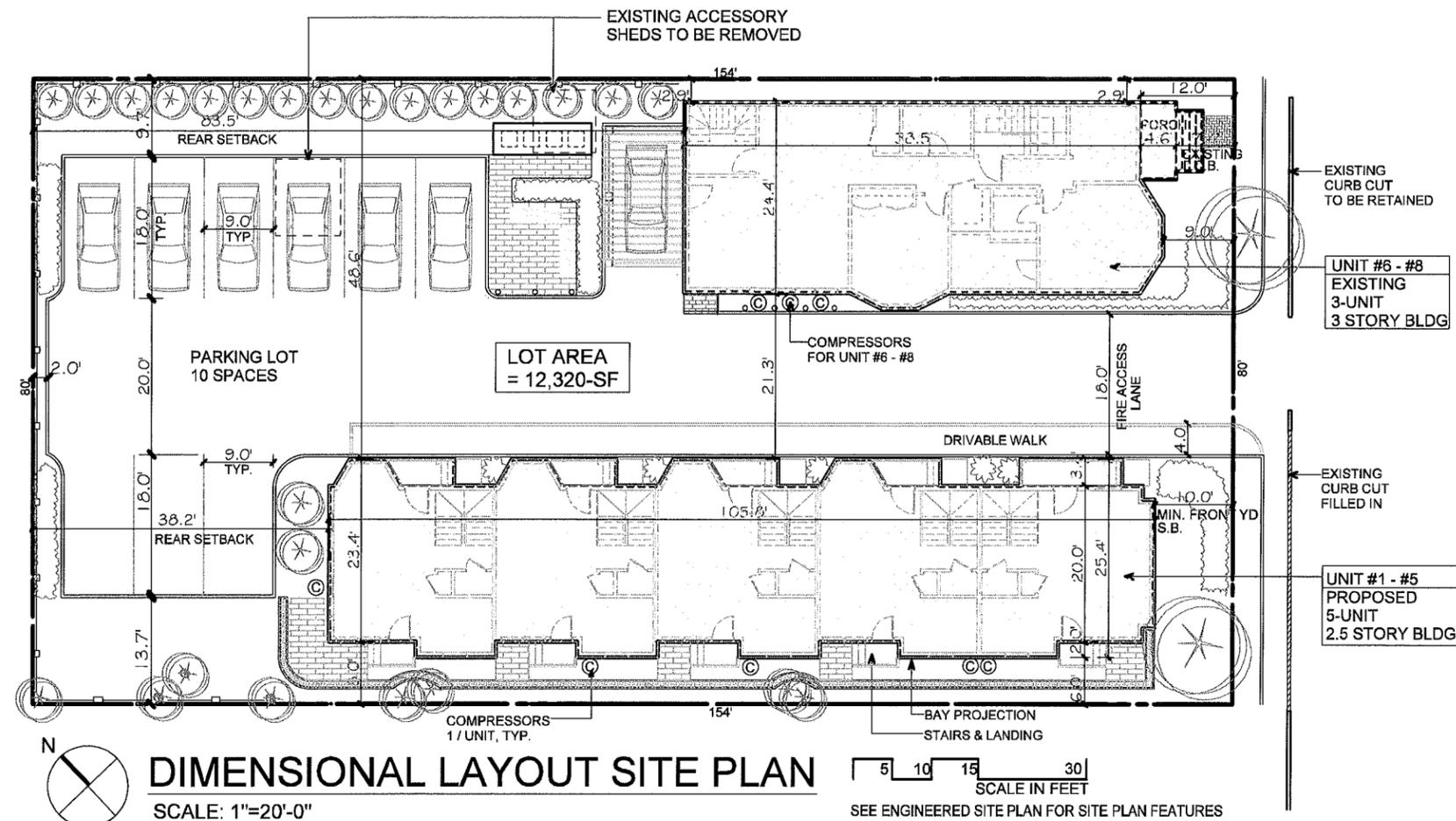
...SOMERVILLE\16 LINDEN AVE\SITE PLANS\CONST DETAILS.DWG

N.T.S.

SHEET C-8







**DIMENSIONAL LAYOUT SITE PLAN**

SCALE: 1"=20'-0"

5 10 15 30  
SCALE IN FEET  
SEE ENGINEERED SITE PLAN FOR SITE PLAN FEATURES

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1904 MASS AVE, 2ND FLOOR  
CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-868-0280

PROJECT

**PROPOSED 8-UNIT DEVEL.**

16 LINDEN AVE.  
SOMERVILLE, MA

PREPARED FOR

NEWMARKET PROPERTIES, LLC.  
NEWMARKET, NH

DRAWING TITLE

**ZONING COMPLIANCE SHEET 1 OF 2**

SCALE AS NOTED

REVISION / ISSUE DATE

SPSR REV 2 16 NOV 2011

SPSR REV 1 11 OCT 2011

SPSR APPL 4 AUG 2011

DRAWN BY JH APPROVED BY PQ

SHEET

**Z-1**

**16 LINDEN AVENUE  
DIMENSIONAL TABLE - RESIDENTIAL-B ZONING DISTRICT-4.41, 7.2, & 7.3 SPSR APPLICATION**

\* SEE SHEET Z-2

ITEM	ALLOWED/REQUIRED	PROPOSED	COMPLIANCE
MIN LOT SIZE	7,500 SF	12,320-SF	COMPLIES
MIN LOT AREA / UNIT	1500 SF/UNIT MIN	1,540-SF/UNIT	COMPLIES
TOTAL ALLOWABLE BLDG AREA (EXCL GAR'S & BSMT)	LOT AREA X 1.0 = 12,320-SF	10,918-SF	COMPLIES
MAX FLR AREA RATIO	1.0 (MAX ALWD)	0.89	COMPLIES
GROUND COVERAGE	50.0% (MAX ALWD)	32.3%	COMPLIES
MIN LANDSCAPED AREA	25.0% (MIN RQD)	28.4%	COMPLIES
MAX HT FT - STORIES	40.0'/ 3-STY	29.3'/ 2.5-STY	COMPLIES
MIN FRONT YD	15.0' (10.0' BY CALC)	10.0'	COMPLIES
MIN SIDE YD - L	8' (2.5-STY) X 1.5 (PER 7.3)	8.0'	COMPLIES
MIN SIDE YD - R EXT'G	2.9' EXT'G	NON-CONFORMING	NO CHANGE
MIN REAR YD	20.0'	38.2'	COMPLIES
MIN FRONTAGE	50.0'	80.0'	COMPLIES
PARKING REQUIREMENTS	(8) UNITS, 2 BDRM = 1.5 SPACES REQ'D/PER UNIT TOTAL PARKING REQUIRED = 12 SPACES + 1 VISITOR SPACES =13 SPACES TOTAL PARKING PROVIDED = 10 SPACES		REQUIRES VARIANCE





VIEW  
LOOKING  
WEST



VIEW  
LOOKING  
NORTH

**PETER  
QUINN  
ARCHI  
TECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1955 MASS AVE, SUITE 4  
CAMBRIDGE, MA 02140  
PH 617-354-3686 FAX 617-868-0280

PROJECT

**16 LINDEN AVE  
SOMERVILLE, MA**

PREPARED FOR

**NEWMARKET PROP'S  
NEW MARKET, NH**

DRAWING TITLE

**PROPOSED  
3D VIEW**

SCALE AS NOTED

REVISION / ISSUE DATE

SPSR REV 2	16 NOV 2011
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PRESENTATION	12 SEP 2011
PRESENTATION	07 APR 2011

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SHEET

**1**



MASSING  
REAR  
VIEW 1



MASSING  
REAR  
VIEW 2

**PETER  
QUINN  
ARCHI  
TECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1955 MASS AVE, SUITE 4  
CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-868-0280

PROJECT

16 LINDEN AVE  
SOMERVILLE, MA

PREPARED FOR

NEW MARKET PROP'S  
NEW MARKET, NH

DRAWING TITLE

PROPOSED  
3D VIEW

SCALE AS NOTED

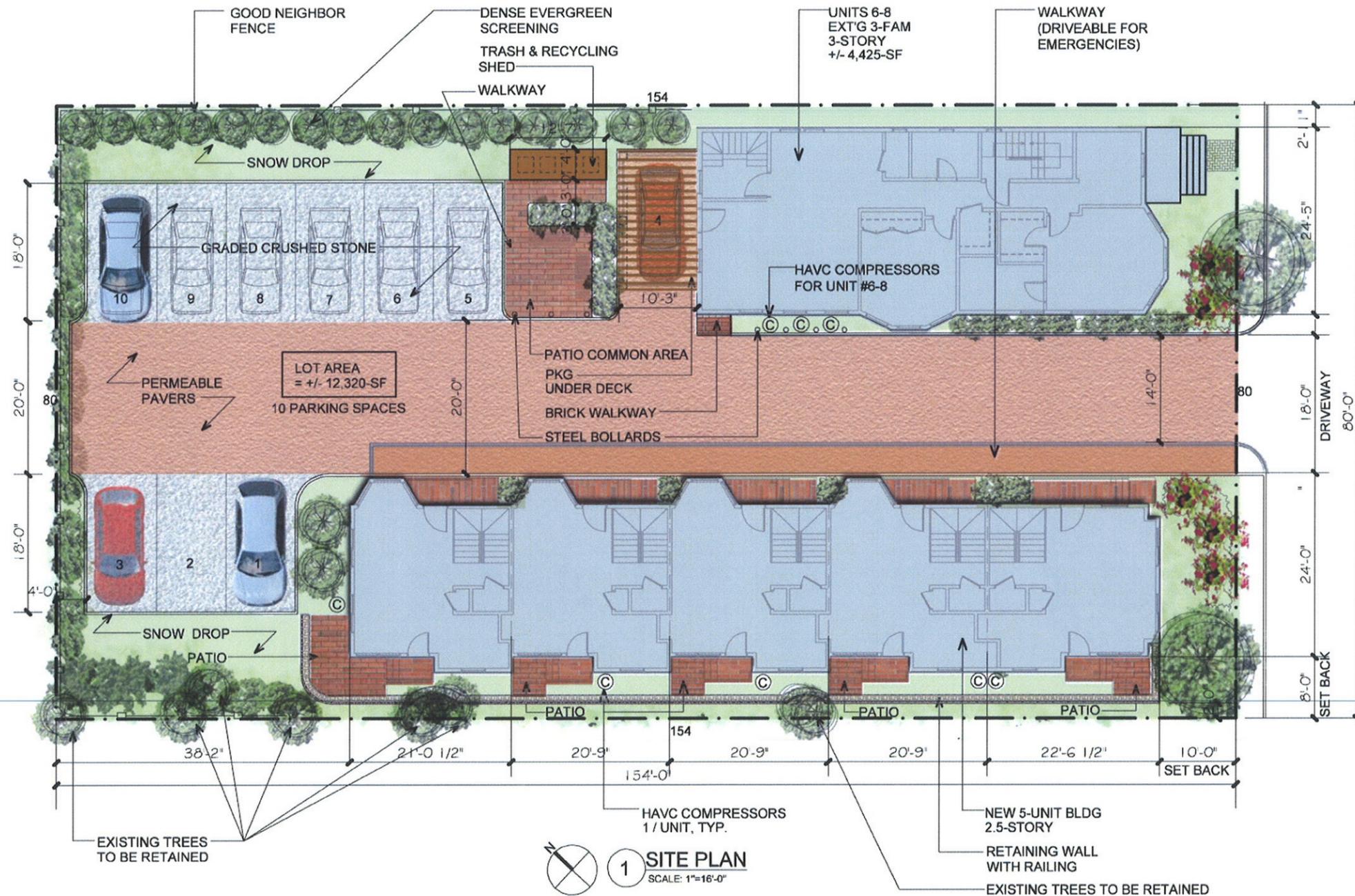
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PRESENTATION	12 SEP 2011
PRESENTATION	07 APR 2011

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SHEET

2



**1 SITE PLAN**  
SCALE: 1"=16'-0"

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
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PETER QUINN ARCHITECTS LLC  
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CAMBRIDGE, MA 02140  
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PROJECT  
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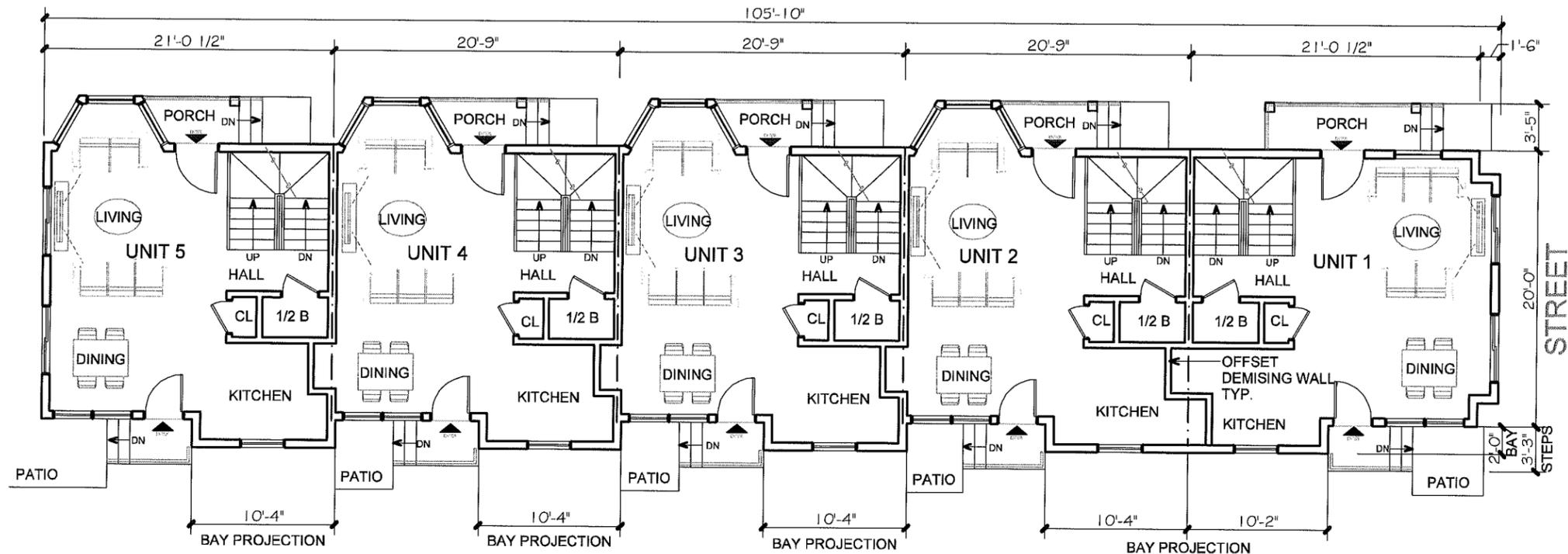
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NEWMARKET, NH

DRAWING TITLE  
**PROPOSED SITE PLAN**

SCALE AS NOTED

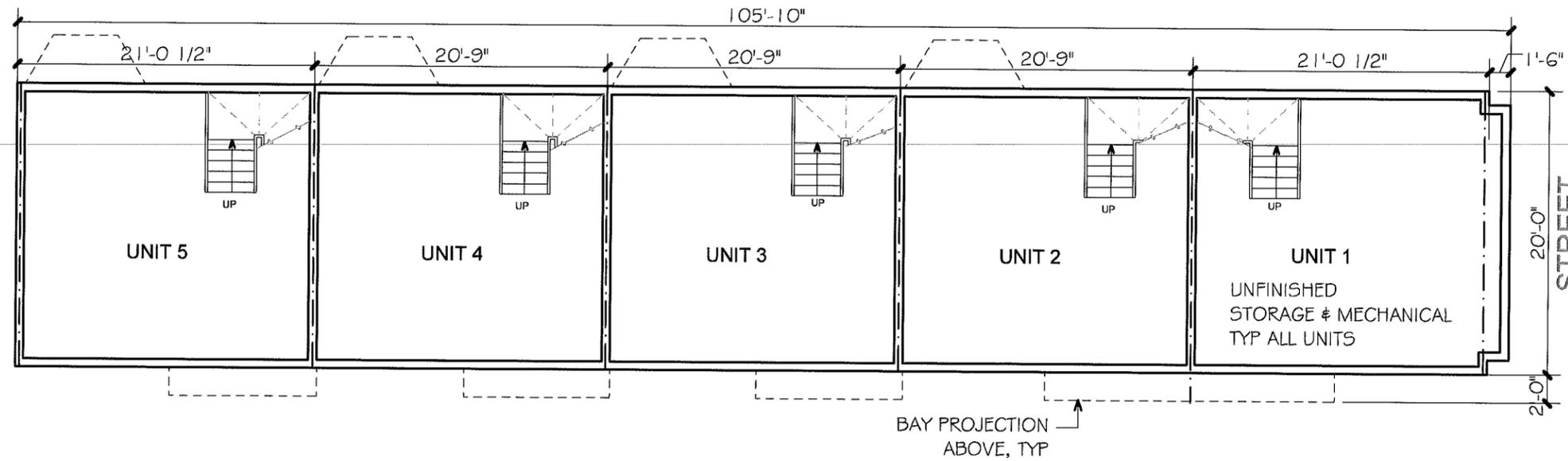
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SHEET  
**A-0**



TOTAL BAY PROJECTION LENGTH  
= 52'-2"  
=< 50% OF TOTAL LENGTH OF 105'-10"

**2 FIRST FLOOR PLAN**  
SCALE: 1"=10'-0"



**1 BASEMENT PLAN**  
SCALE: 1"=10'-0"

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PROJECT

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SOMERVILLE, MA

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NEWMARKET, NH

DRAWING TITLE

**PROPOSED BASEMENT & FIRST FLOOR PLANS**

SCALE AS NOTED

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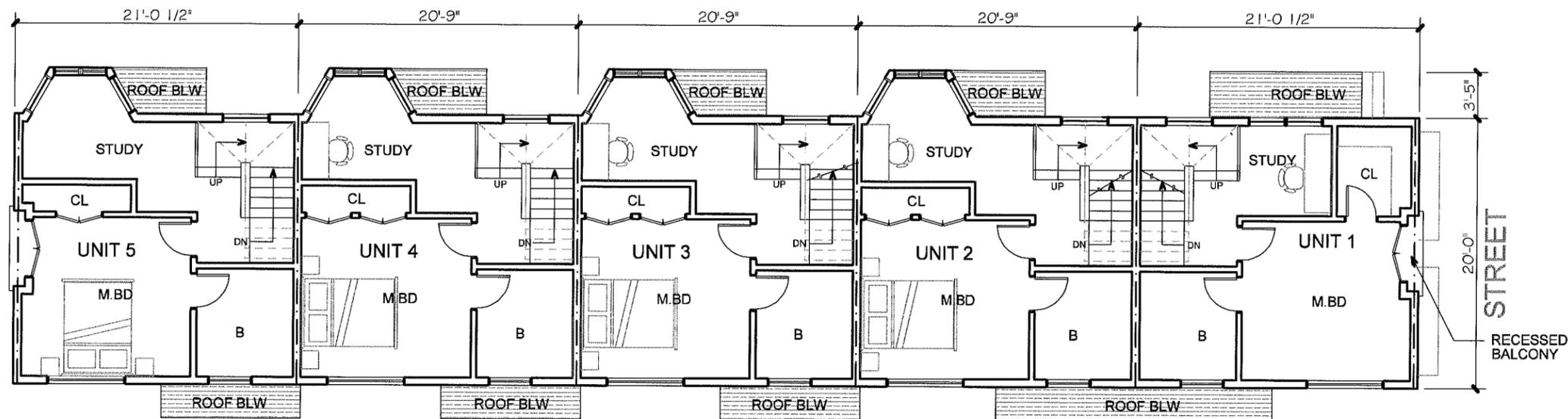
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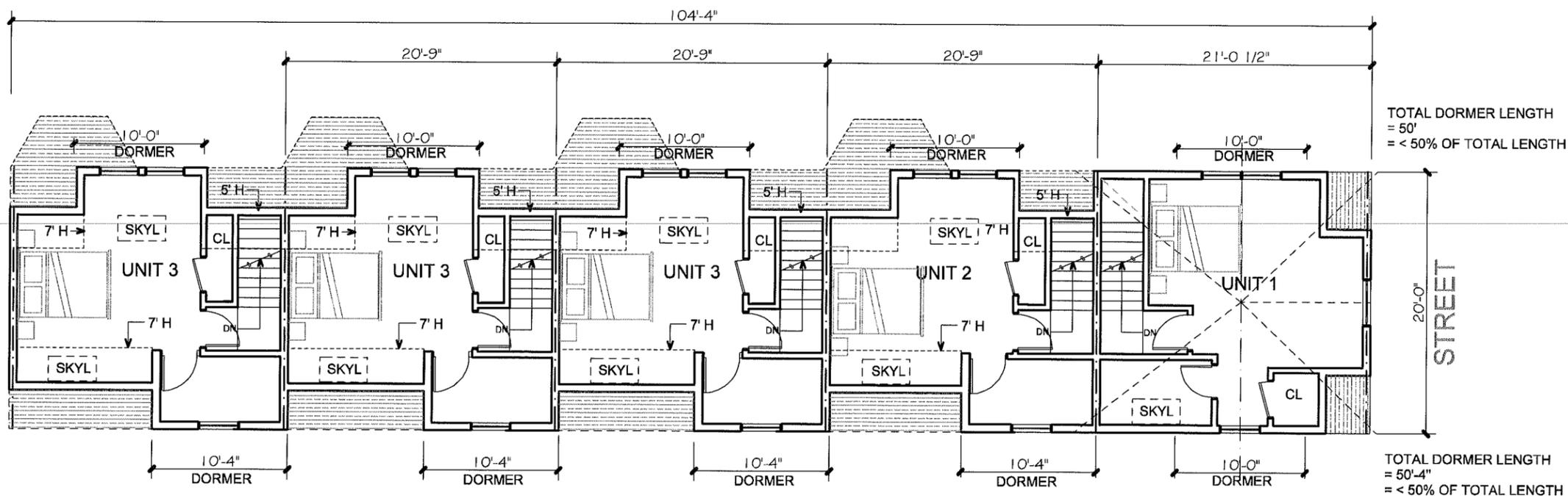
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SHEET

**A1.1**



**1 SECOND FLOOR PLAN**  
SCALE: 1"=10'-0"



**2 HALF-STORY FLOOR PLAN**  
SCALE: 1"=10'-0"

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**PROPOSED SECOND & THIRD FLOOR PLANS**

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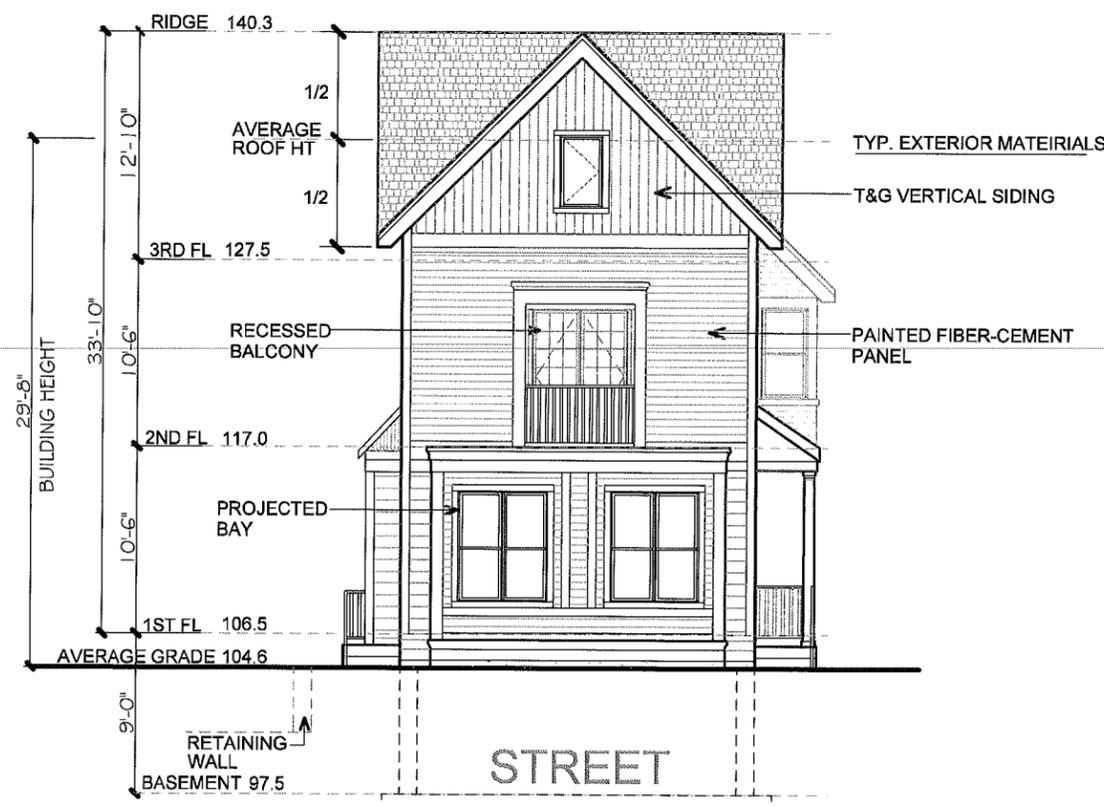
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SHEET

**A1.2**



**2 EAST ELEVATION**  
SCALE: 1"=10'-0"



**1 SOUTH ELEVATION**  
SCALE: 1"=10'-0"

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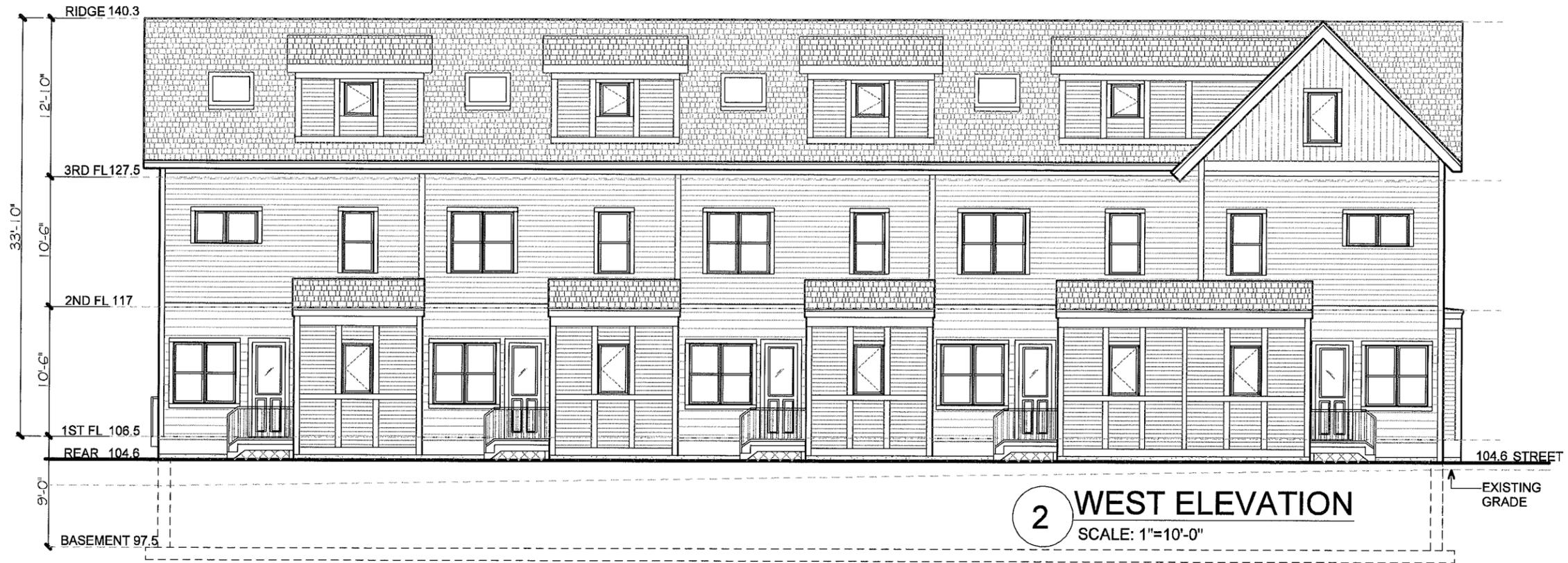
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NEWMARKET, NH

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**PROPOSED SOUTH & EAST ELEVATIONS**

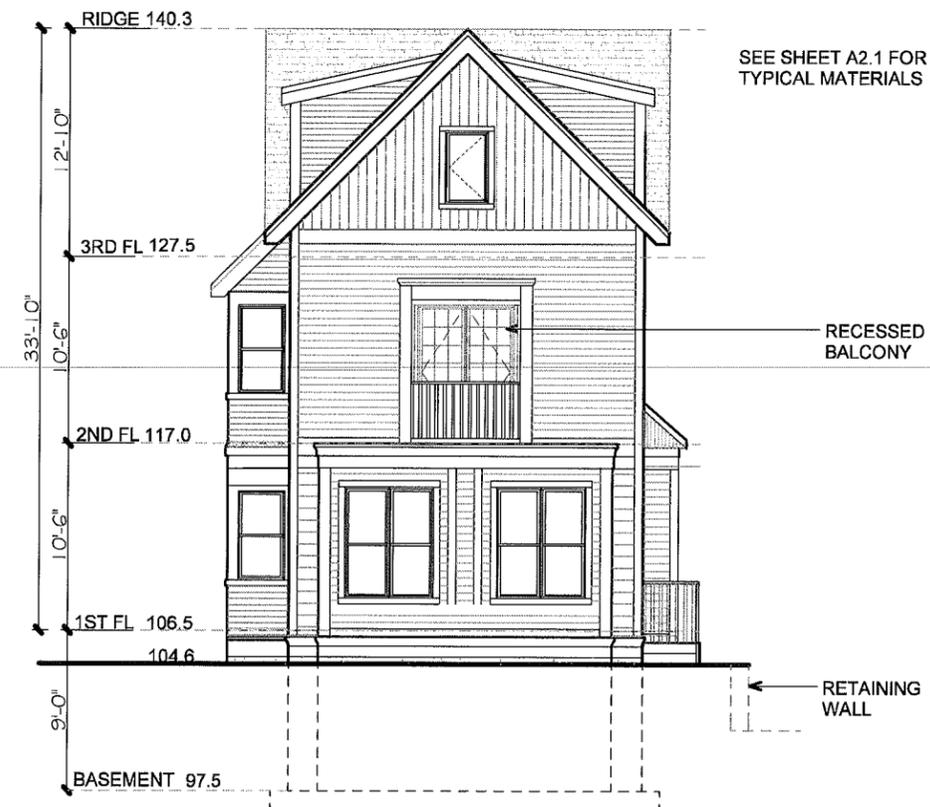
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SHEET  
**A2.1**



**2 WEST ELEVATION**  
SCALE: 1"=10'-0"



**1 NORTH ELEVATION**  
SCALE: 1"=10'-0"

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NEWMARKET, NH

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**PROPOSED  
NORTH  
& WEST  
ELEVATIONS**

SCALE AS NOTED

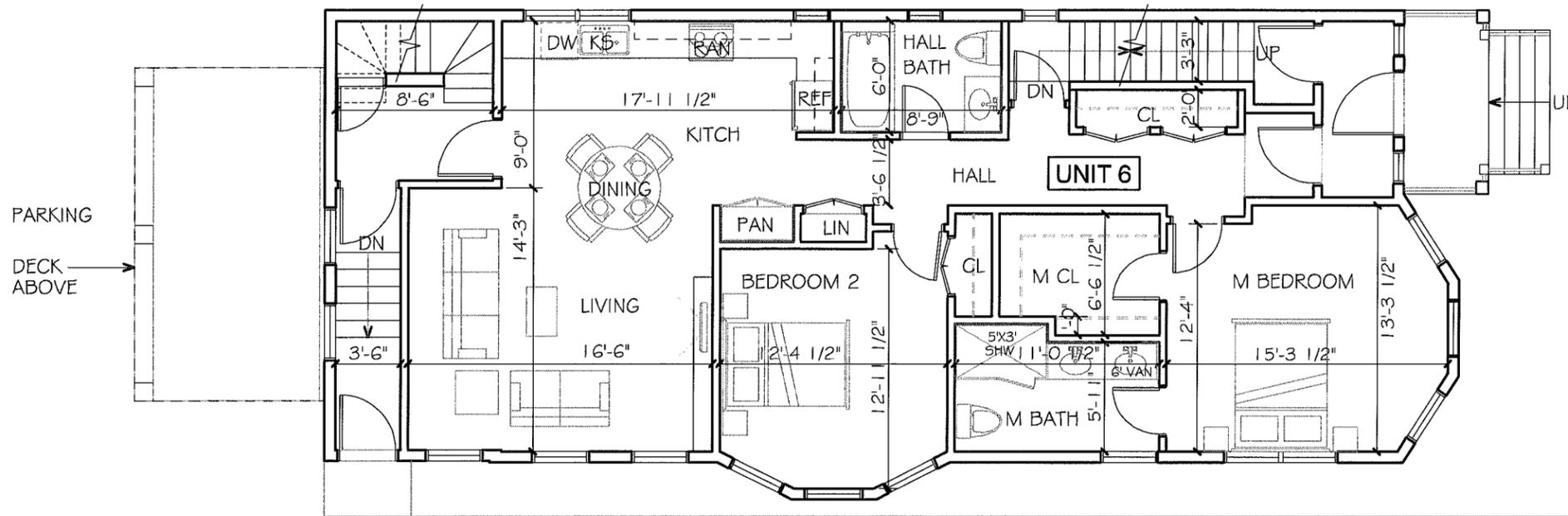
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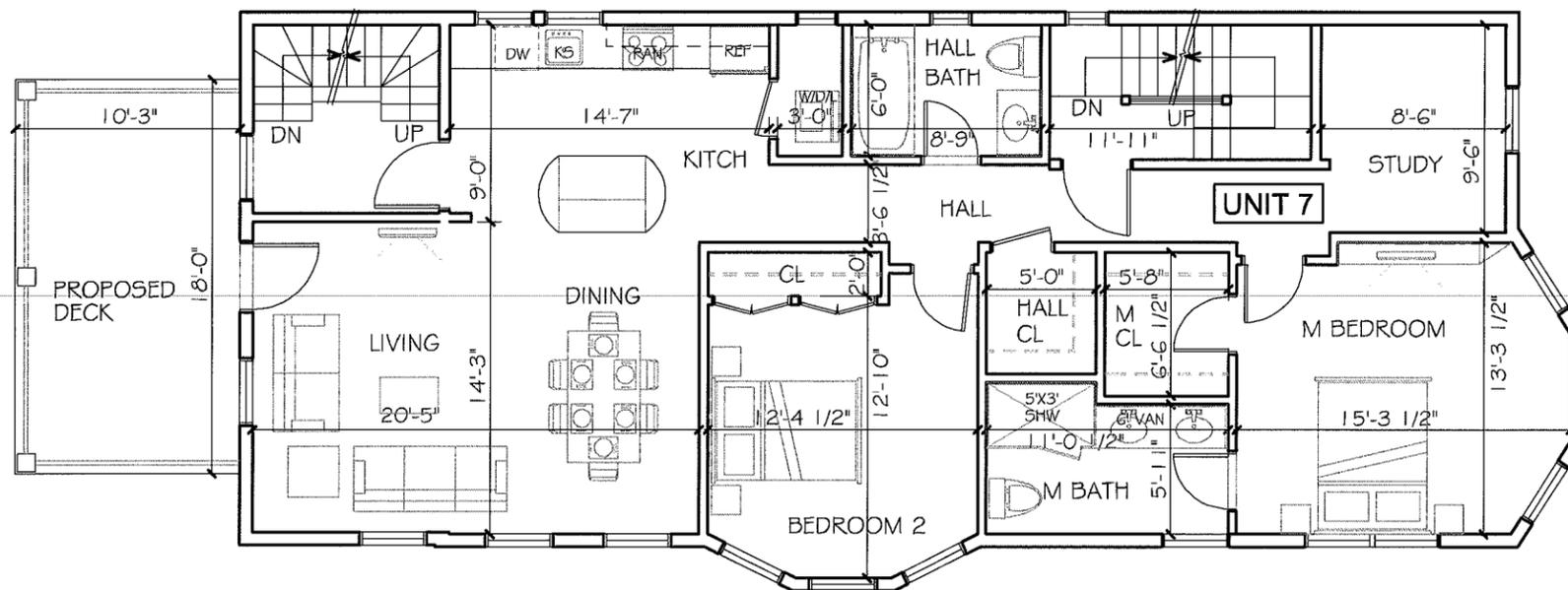
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SHEET

**A2.2**



**1 PROPOSED FIRST FLOOR PLAN**   
SCALE: 1/8"=1'-0"



**2 PROPOSED SECOND FLOOR PLAN**   
SCALE: 1/8"=1'-0"

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1904 MASS AVE, 2ND FLOOR  
CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-868-0280

PROJECT

**EXISTING 3-FAM**  
16 LINDEN AVE.  
SOMERVILLE, MA

PREPARED FOR

NEWMARKET PROPERTIES, LLC.  
NEWMARKET, NH

DRAWING TITLE

**EXISTING 3-FAM PROPOSED FLOOR PLANS**

SCALE AS NOTED

REVISION / ISSUE DATE

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SHEET

**A3.1**



**1** PROPOSED WEST ELEVATION  
SCALE: 1/8"=1'-0"

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

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NEWMARKET, NH

DRAWING TITLE

**EXISTING 3-FAM PROPOSED WEST ELEVATION**

SCALE AS NOTED

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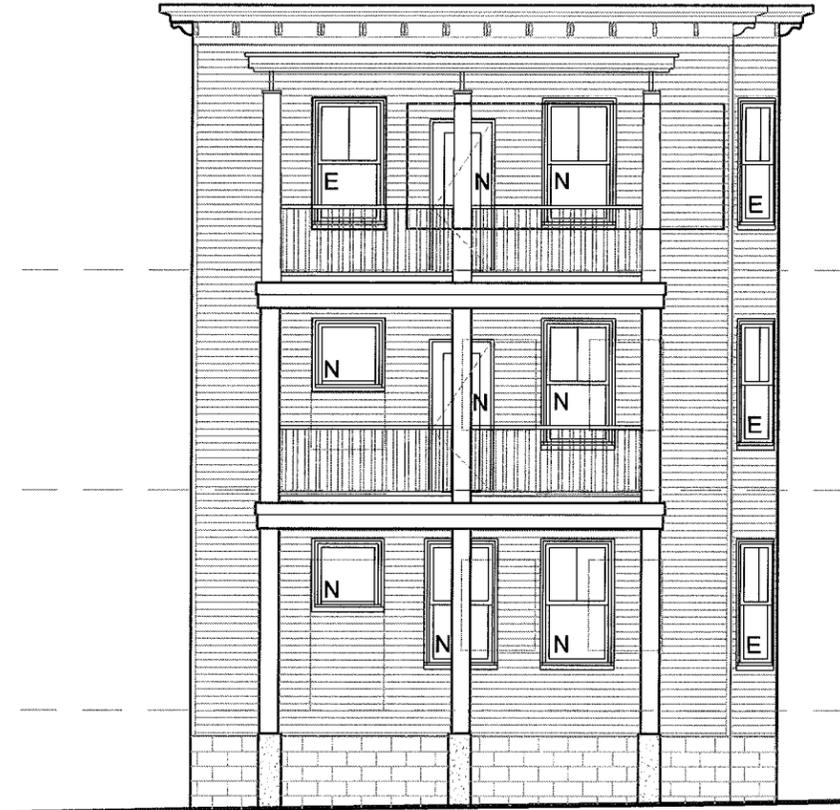
SHEET

**A4.1**



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

**PETER  
QUINN  
ARCHI  
TECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
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CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-868-0280

PROJECT

**EXISTING  
3-FAM**  
16 LINDEN AVE.  
SOMERVILLE, MA

PREPARED FOR

**NEWMARKET  
PROPERTIES, LLC.**  
NEWMARKET, NH

DRAWING TITLE

**EXISTING  
3-FAM  
PROPOSED  
NORTH &  
SOUTH  
ELEVATION**

SCALE AS NOTED

REVISION / ISSUE DATE

REVISION	ISSUE DATE

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SHEET

**A4.2**