

318 Harvard Street  
Suite 25  
Brookline, MA 02446

118 Main Street  
Tappan, NY 10983

617.735.1180 tel  
617.608.5025 fax

blairhinesdesignassociates.com

August 22, 2012

Mr. Terrance Smith, Traffic Engineer  
Department of Traffic and Parking  
133 Holland Street,  
Somerville, MA 02144

RE: **11 Linden Avenue Development, Somerville, MA  
Approval of Parking Scheme**

Dear Mr. Smith

Attached please find our recommendation for an adjustment to the parking scheme for the above referenced development.

In order to be in compliance with front yard zoning setbacks as interpreted by the City, the parking spaces cannot extend in front of the proposed building. The developer wants to provide an additional 2' setback relief for the right side yard neighbor whose house is located 1'-6" from the property line. We request your approval to reduce the parking stall depth from the typical 18' to a 16' depth while maintaining a 9' width. Please note that the overall dimension of the aisle and parking is 38' which is compliant with City of Somerville's standards for one sided 90 degree parking.

Your attention to this matter is greatly appreciated

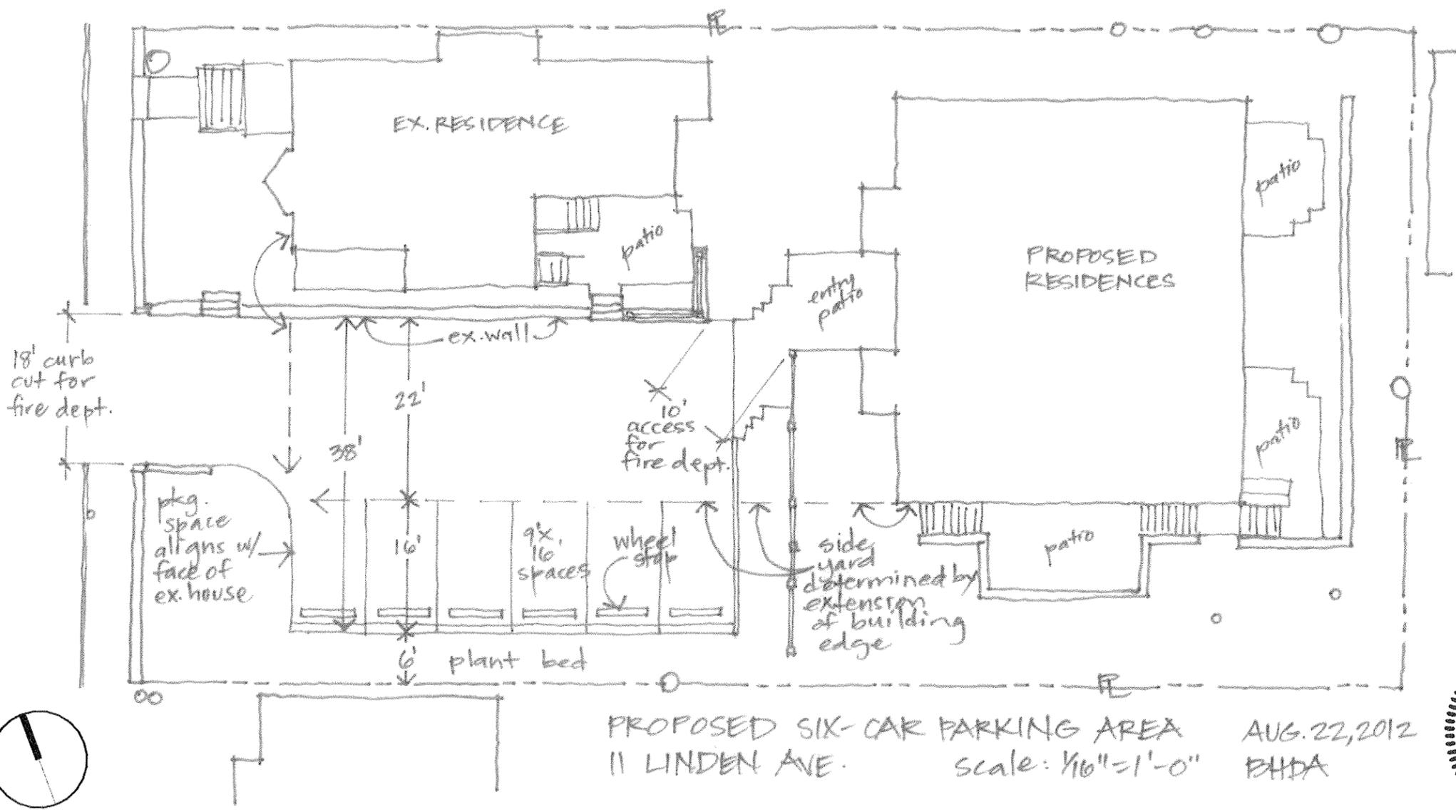
Very Truly Yours,

**Blair Hines Design Associates, LLC**



Blair Hines, Principal  
Registered Landscape Architect

L I N D E N A V E.



PROPOSED SIX-CAR PARKING AREA AUG. 22, 2012  
 11 LINDEN AVE. scale: 1/16" = 1'-0" BHDA



*Blair*

Blair Hines Design Associates  
 LANDSCAPE ARCHITECTS

2012 SEP 18 AM 8:13

RECEIVED  
 S.P.C.D. AND  
 PLANNING DEPT.

11 Linden Ave, Somerville

Parking Plan

Project#	Date	Checked
Scale 1/16"	Drawn KP	Approved
Rev		

LI