

SFGstudios

Architectural Design Services
278 Elm Street, Suite 226
Somerville, MA 02144
781.956.9773 cell
SFGstudios@msn.com

Interior Basement Renovations

PROJECT
32 Lexington Ave
Somerville, Massachusetts

Zoning Information

ZONE: RA
MAP: 29
BLOCK: D
LOT: 8
LOT AREA: 0.08 ACRE (
EXISTING WOOD FRAMED 2 3/4 STORY TWO FAMILY RESIDENCE
3,343 SF EXISTING GROSS LIVING AREA - ASSESSOR'S DATABASE
830 SF ADDITIONAL BASEMENT LIVING AREA (LESS THAN 25% INCREASE)
4,173 SF TOTAL GROSS LIVING AREA

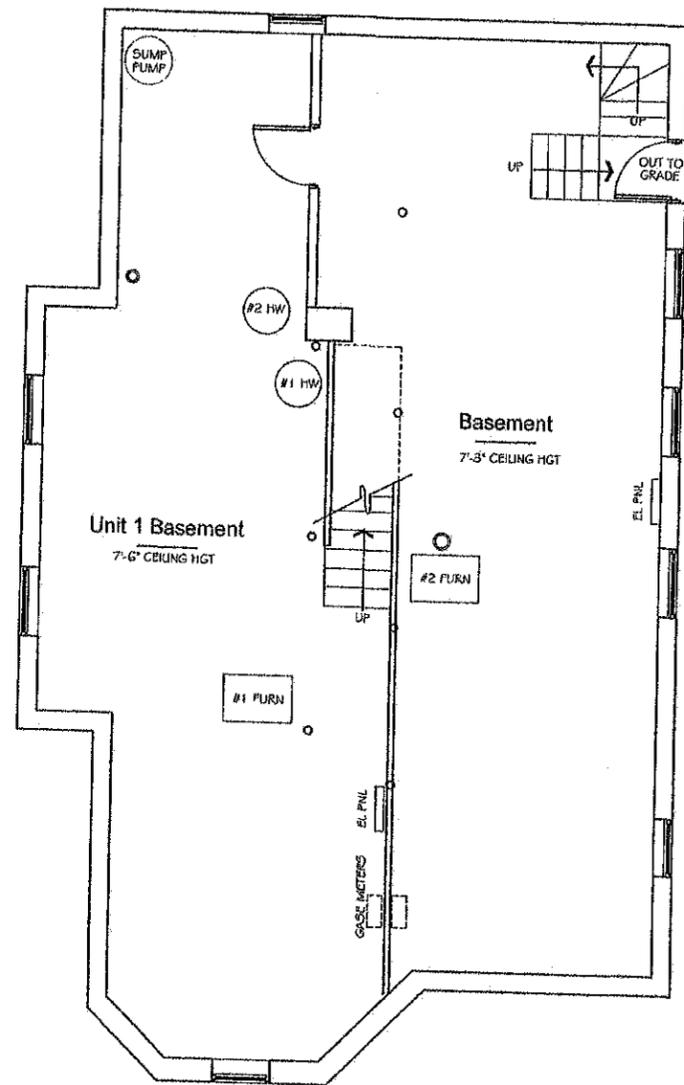
Building Code Information

Occupancy / Use: RESIDENTIAL USE GROUP R-3
Climate: 5a
Ground Snow Live Load (Pg): 45
Basic Wind Speed (V): 105
Earthquake Design Factors 0.28 0.069
Wind & Snow Risk Category II

All alterations, repairs and construction methods are to comply with:
International Residential Code 2009 (IRC) with MA Amendments (780 CMR 51.00)
International Existing Building Code 2009 (IEBC) with MA Amendments (780 CMR 51.00)
International Fire Code 2009 (IFC)
International Mechanical Code 2009 (IMC)
International Fuel & Gas Code 2009 (IFGC)
International Electrical Code 2009 (IEC)
International Energy Efficiency Code 2012 (IEEC)

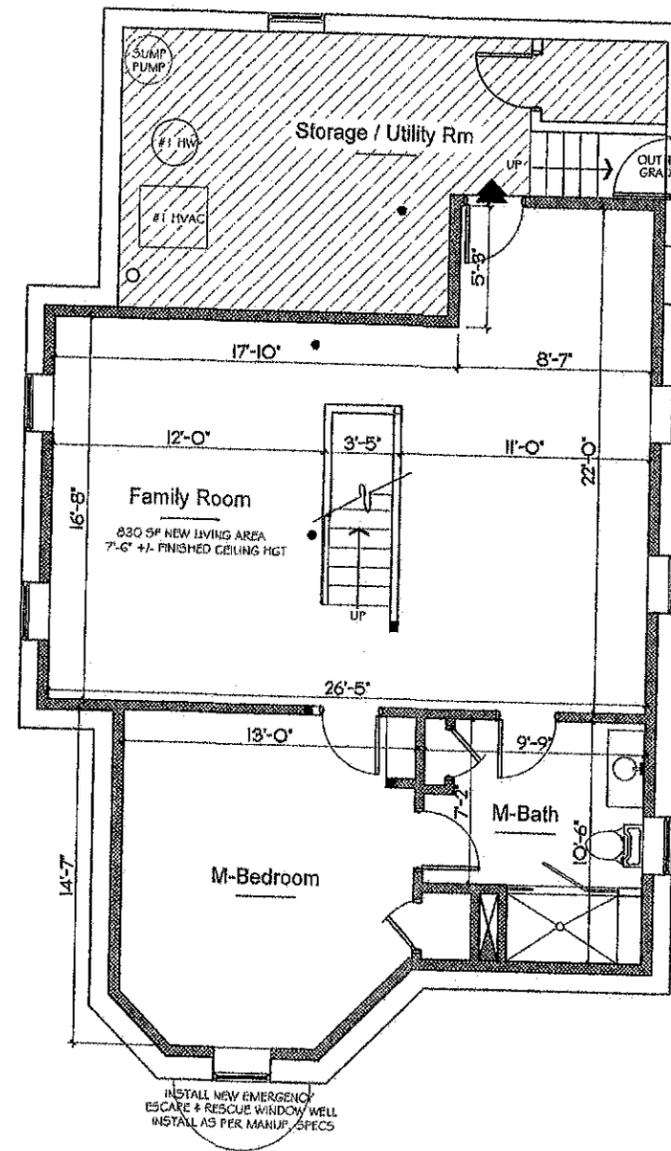
OWNER

Fariba Abbasi
Michael Lagasse
c/o 32 Lexington Ave
Somerville, Massachusetts



Existing Basement Plan

1,194 SF (GROSS AREA)



Proposed Basement Plan

830 SF (LIVING AREA)

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INTERIOR RENOVATIONS

32 LEXINGTON AVE
 SOMERVILLE, MA

BASEMENT FLOOR PLAN

REVISIONS

OWNER

FARIBA ABBASI
 MICHAEL LAGASSE
 14 CHAMBERLAIN RD
 NEWTON, MA
 02458

DRAWN BY

SFG

DATE

09/12/2015

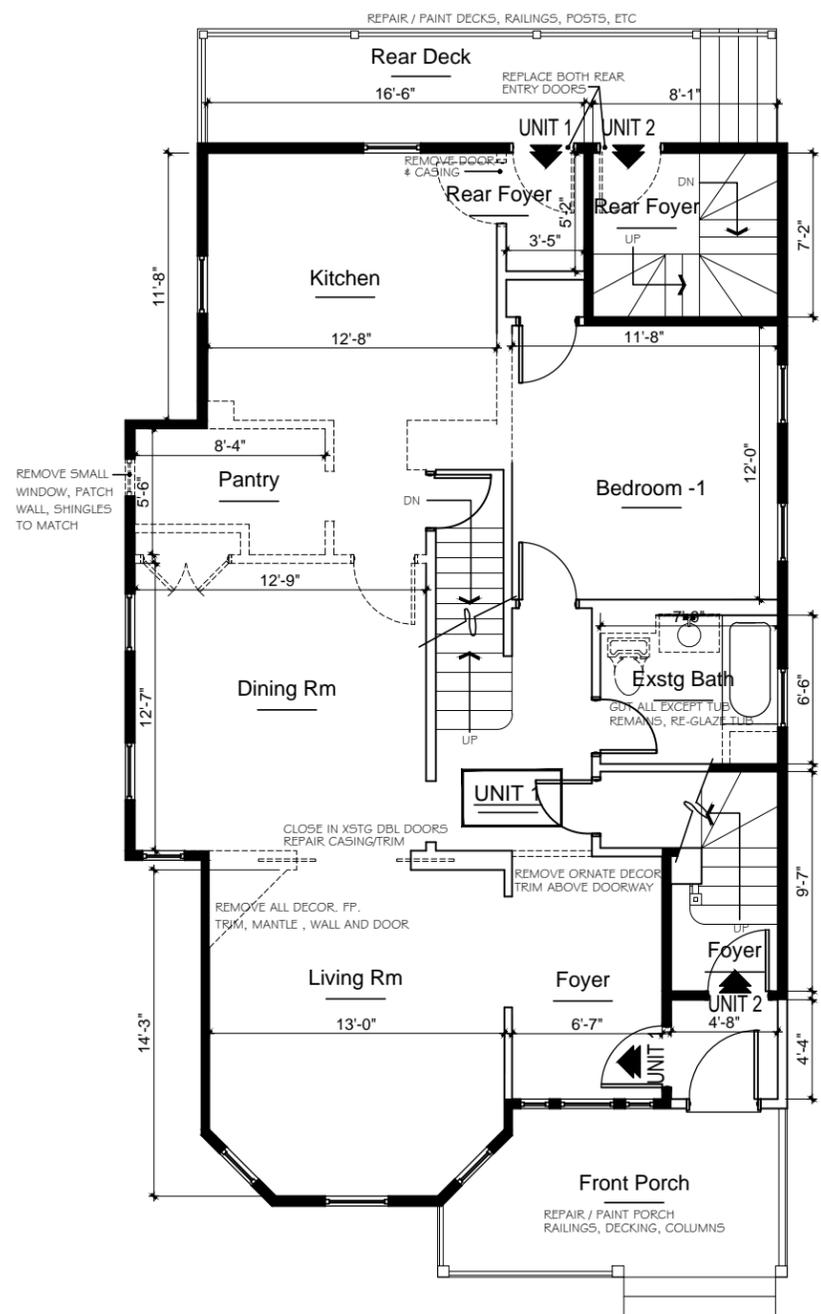
PROJECT No.

SCALE

1/8" = 1'-0"

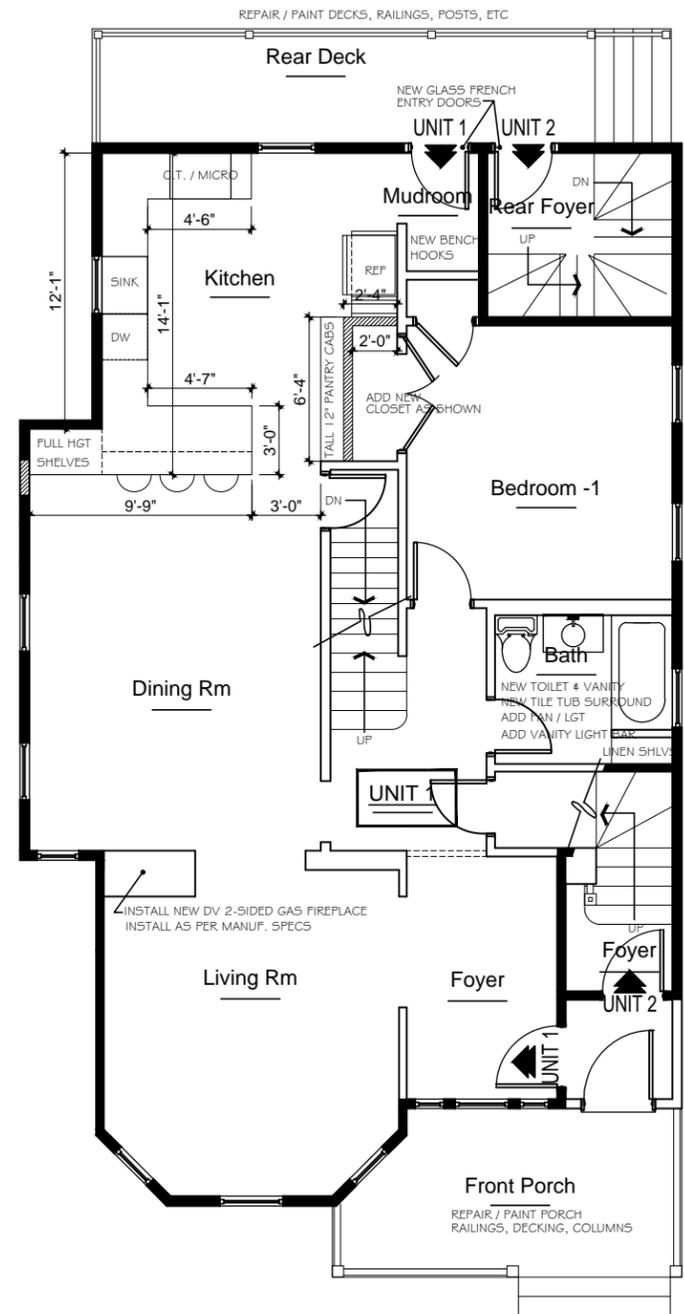
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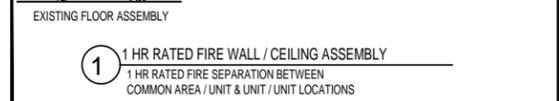
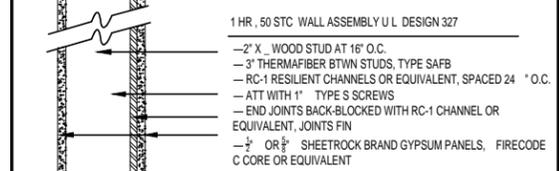
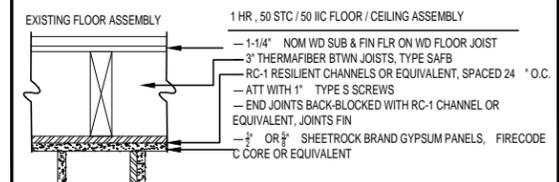
Existing First Floor Plan

1,194 SF (GROSS AREA)



Proposed First Floor Plan

1,194 SF (GROSS AREA)



- LEGEND**
- UNIT PERIMETER WALL
 - EXISTING WALL, REMAINS
 - EXISTING WALL TO BE REMOVED
 - NEW WOOD STUD WALL: INTERIOR 2X4 16" O.C. NEW WOOD STUD WALL: EXTERIOR 2X6 16" O.C.
 - NEW FIRE-RATED INTERIOR PARTITION WALL, 1 HR / STC 50 / 50 IIC UL RATED ASSEMBLY - SEE DETAIL 1
 - ⊙ HARDWIRED SMOKE / CO2 DETECTOR COMBO
 - ⊙ HARDWIRED SMOKE DETECTOR

- GENERAL NOTES:**
1. EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH
 2. DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. FIELD MEASURE PRIOR TO MATERIAL ORDERING, INSTALLATION & CONSTRUCTION.

TYPICAL INTERIOR DETAILS:

- REPAIR, PATCH, SAND, PAINT ALL WALLS
- REMOVE ANY EXISTING WALLPAPER
- REFINISH AND STAIN ALL HARD WOOD FLOORING
- VERIFY COLOR W/ OWNER
- REMOVE ANY EXISTING CARPET
- REPLACE ALL CROWN MOLDING ALL ROOMS
- STYLE BY OWNER
- REMOVE ALL VINYL FLOORING IN KITCHENS
- NEW OR REFINISH HARD WOOD FLOORING IN KITCHENS
- REPLACE MOST INTERIOR DOORS
- VERIFY DOORS W/OWNER
- UNIT ENTRY DOORS TO BE REPLACED IF NEEDED OR WHERE NOTED - VERIFY W/OWNER

TYPICAL EXTERIOR DETAILS:

- REPAIR AND PAINT ALL PORCHES AND DECKS
- RAILINGS AND / OR DECKING
- POWERWASH ALL EXTERIOR, PAINT WHERE NEEDED
- ALL RED TRIM TO BE REPAINTED NEW COLOR CHOSEN BY OWNER
- REPLACE GARAGE DOOR, ADD AUTO OPENER
- CLEAN AND PAINT GARAGE SLAB

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INTERIOR RENOVATIONS
32 LEXINGTON AVE
SOMERVILLE, MA

FIRST FLOOR PLANS

REVISIONS

1	2	3	4	5
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OWNER

Fariba Abbasi
Michael LaGasse
Real Estate Management
c/o 32 Lexington Ave
Somerville, MA

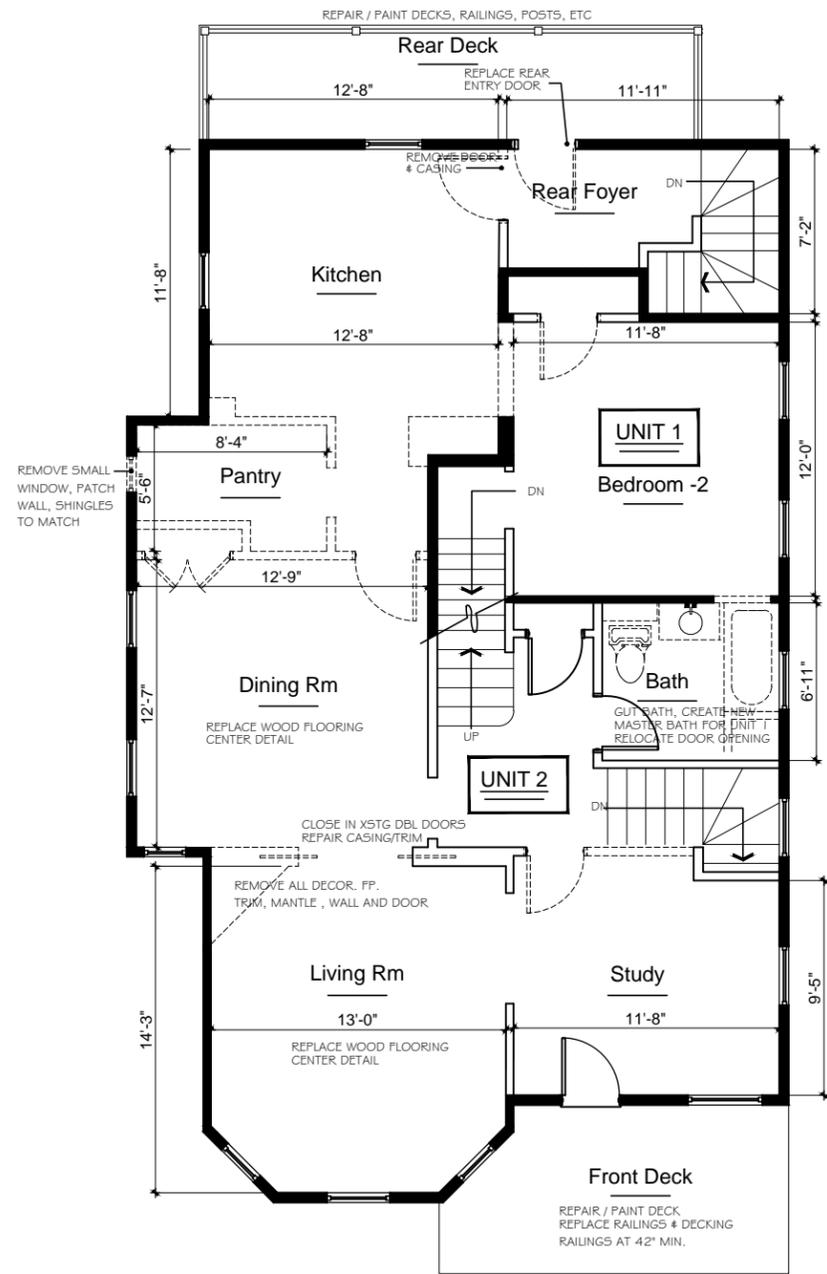
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SFG

DATE 07/10/2015

PROJECT No.

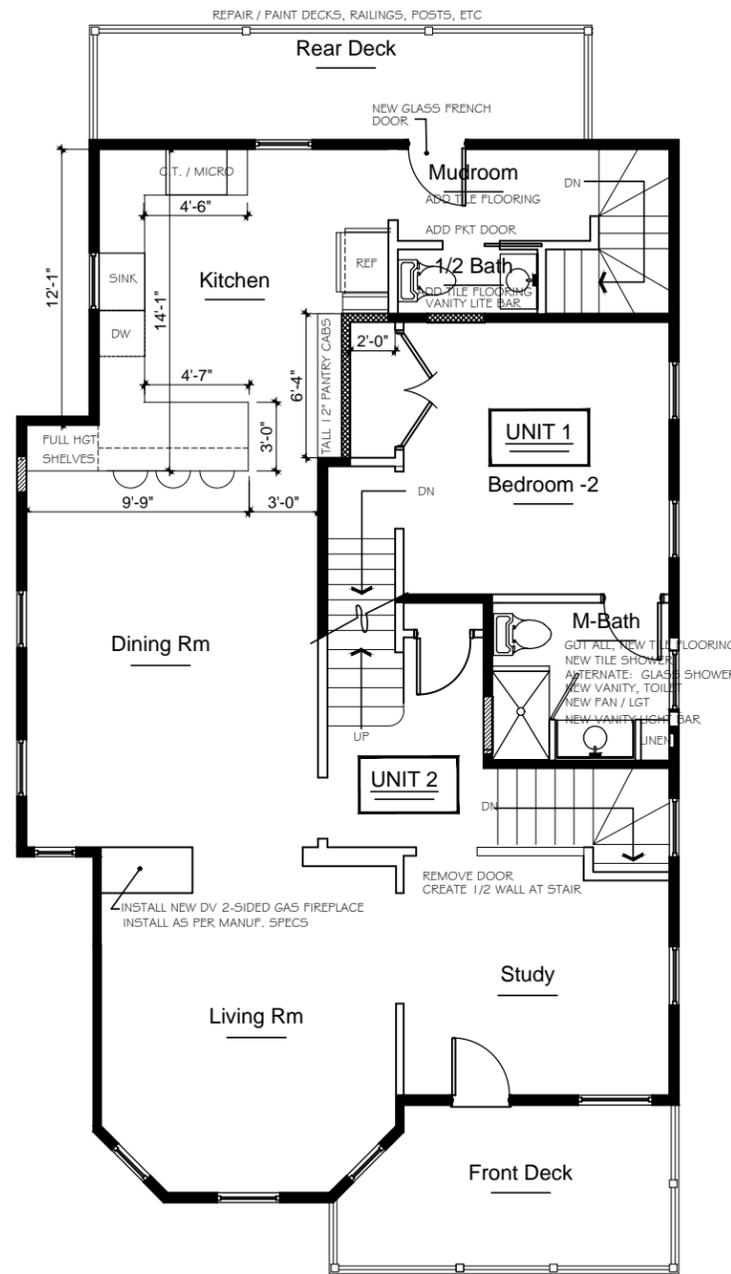
SCALE
1/8" = 1'-0"

DRAWING No.
A1.1



Existing Second Floor Plan

1,194 SF (GROSS AREA)



Proposed Second Floor Plan

1,194 SF (GROSS AREA)

EXISTING FLOOR ASSEMBLY

- 1 HR, 50 STC / 50 IIC FLOOR / CEILING ASSEMBLY
- 1-1/4" NOM WD SUB & FIN FLR ON WD FLOOR JOIST
- 3" THERMAFIBER BTWN JOISTS, TYPE SAFB
- RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.
- ATT WITH 1" TYPE S SCREWS
- END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN
- 5/8" OR 3/4" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

EXISTING WALL ASSEMBLY

- 1 HR, 50 STC WALL ASSEMBLY U L DESIGN 327
- 2" X 4" WOOD STUD AT 16" O.C.
- 3" THERMAFIBER BTWN STUDS, TYPE SAFB
- RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.
- ATT WITH 1" TYPE S SCREWS
- END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN
- 5/8" OR 3/4" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

1 HR RATED FIRE WALL / CEILING ASSEMBLY

1 HR RATED FIRE SEPARATION BETWEEN COMMON AREA / UNIT & UNIT / UNIT LOCATIONS

LEGEND

- UNIT PERIMETER WALL
- EXISTING WALL, REMAINS
- EXISTING WALL TO BE REMOVED
- NEW WOOD STUD WALL: INTERIOR 2X4 16" O.C. NEW WOOD STUD WALL: EXTERIOR 2X6 16" O.C.
- NEW FIRE-RATED INTERIOR PARTITION WALL, 1 HR / STC 50 / 50 IIC UL RATED ASSEMBLY - SEE DETAIL 1
- Ⓢ HARDWIRED SMOKE / CO2 DETECTOR COMBO
- Ⓣ HARDWIRED SMOKE DETECTOR

GENERAL NOTES:

- EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH
- DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. FIELD MEASURE PRIOR TO MATERIAL ORDERING, INSTALLATION & CONSTRUCTION.

TYPICAL INTERIOR DETAILS:

REPAIR, PATCH, SAND, PAINT ALL WALLS
REMOVE ANY EXISTING WALLPAPER

REFINISH AND STAIN ALL HARD WOOD FLOORING
VERIFY COLOR W/ OWNER
REMOVE ANY EXISTING CARPET

REPLACE ALL CROWN MOLDING ALL ROOMS
STYLE BY OWNER

REMOVE ALL VINYL FLOORING IN KITCHENS
NEW OR REFINISH HARD WOOD FLOORING IN KITCHENS

REPLACE MOST INTERIOR DOORS
VERIFY DOORS W/OWNER

UNIT ENTRY DOORS TO BE REPLACED IF NEEDED
OR WHERE NOTED - VERIFY W/OWNER

TYPICAL EXTERIOR DETAILS:

REPAIR AND PAINT ALL PORCHES AND DECKS
RAILINGS AND / OR DECKING

POWERWASH ALL EXTERIOR, PAINT WHERE NEEDED

ALL RED TRIM TO BE REPAINTED NEW COLOR
CHOSEN BY OWNER

REPLACE GARAGE DOOR, ADD AUTO OPENER
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INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

SECOND FLOOR PLANS

REVISIONS

1	2	3	4	5
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OWNER

Fariba Abbasi
Michael LaGasse
Real Estate Management
c/o 32 Lexington Ave
Somerville, MA

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SFG

DATE

07/10/2015

PROJECT

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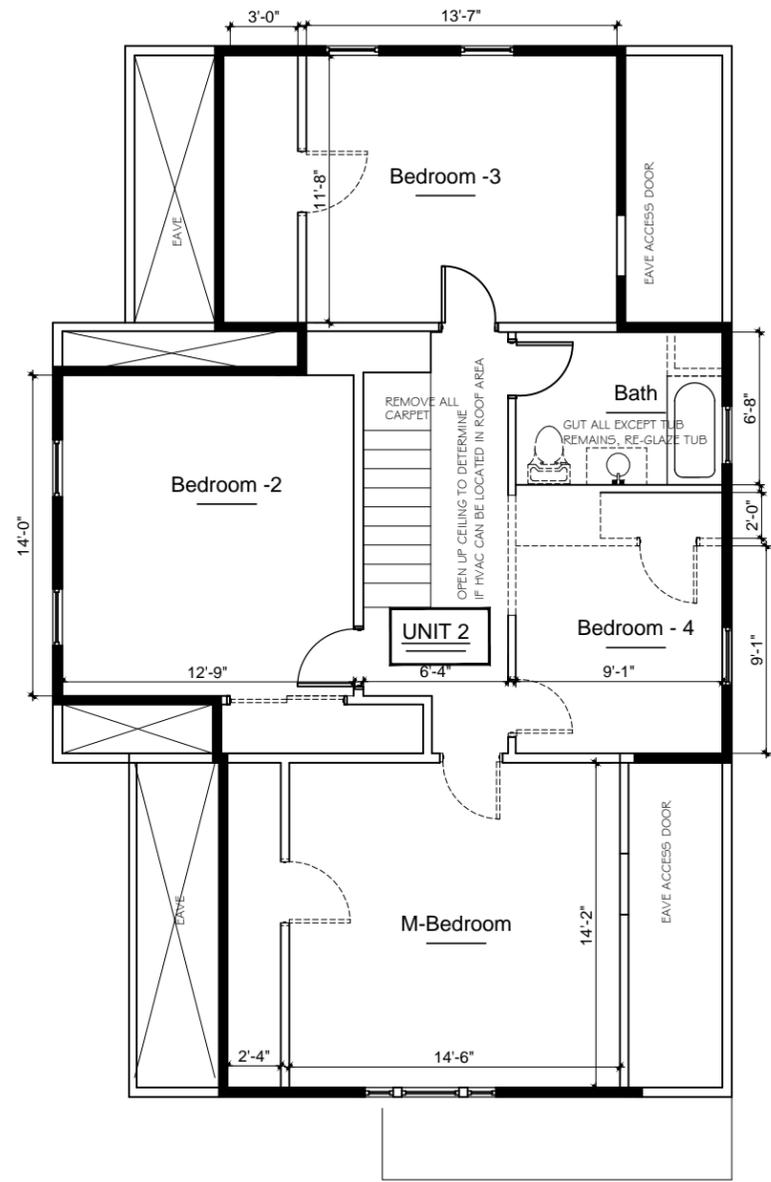
SCALE

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DRAWING

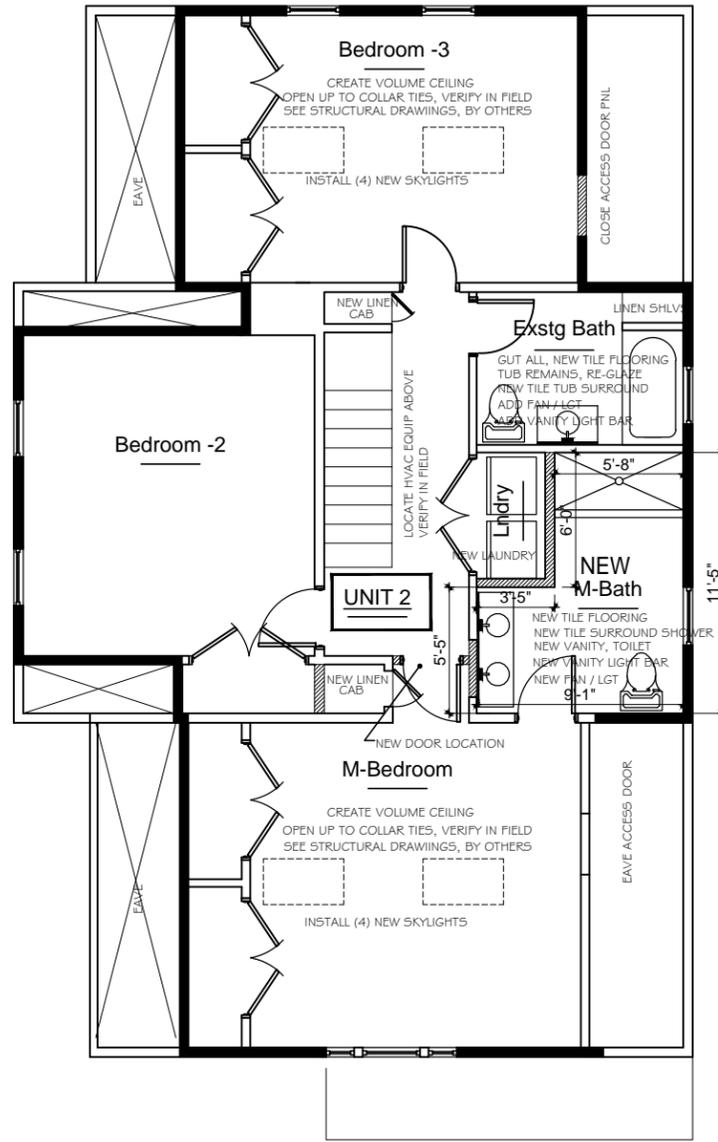
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A1.2



Existing Third Floor Plan

1,242 SF (GROSS AREA)



Proposed Third Floor Plan

1,242 SF (GROSS AREA)

EXISTING FLOOR ASSEMBLY

- 1 HR, 50 STC / 50 IIC FLOOR / CEILING ASSEMBLY
- 1-1/4" NOM WD SUB & FIN FLR ON WD FLOOR JOIST
- 3" THERMAFIBER BTWN JOISTS, TYPE SAFB
- RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.
- ATT WITH 1" TYPE S SCREWS
- END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN
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EXISTING WALL ASSEMBLY

- 1 HR, 50 STC WALL ASSEMBLY U L DESIGN 327
- 2" X WOOD STUD AT 16" O.C.
- 3" THERMAFIBER BTWN STUDS, TYPE SAFB
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1 HR RATED FIRE WALL / CEILING ASSEMBLY

1 HR RATED FIRE SEPARATION BETWEEN COMMON AREA / UNIT & UNIT / UNIT LOCATIONS

LEGEND

- UNIT PERIMETER WALL
- EXISTING WALL, REMAINS
- EXISTING WALL TO BE REMOVED
- NEW WOOD STUD WALL: INTERIOR 2X4 16" O.C. NEW WOOD STUD WALL: EXTERIOR 2X6 16" O.C.
- NEW FIRE-RATED INTERIOR PARTITION WALL, 1 HR / STC 50 / 50 IIC UL RATED ASSEMBLY - SEE DETAIL 1
- HWDC HARDWIRED SMOKE / CO2 DETECTOR COMBO
- SD HARDWIRED SMOKE DETECTOR

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INTERIOR RENOVATIONS
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THIRD FLOOR PLAN

NO.	REVISIONS
1	
2	
3	
4	
5	

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DRAWN BY
SFG

DATE
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PROJECT
No.

SCALE
1/8" = 1'-0"

DRAWING
No.
A1.3