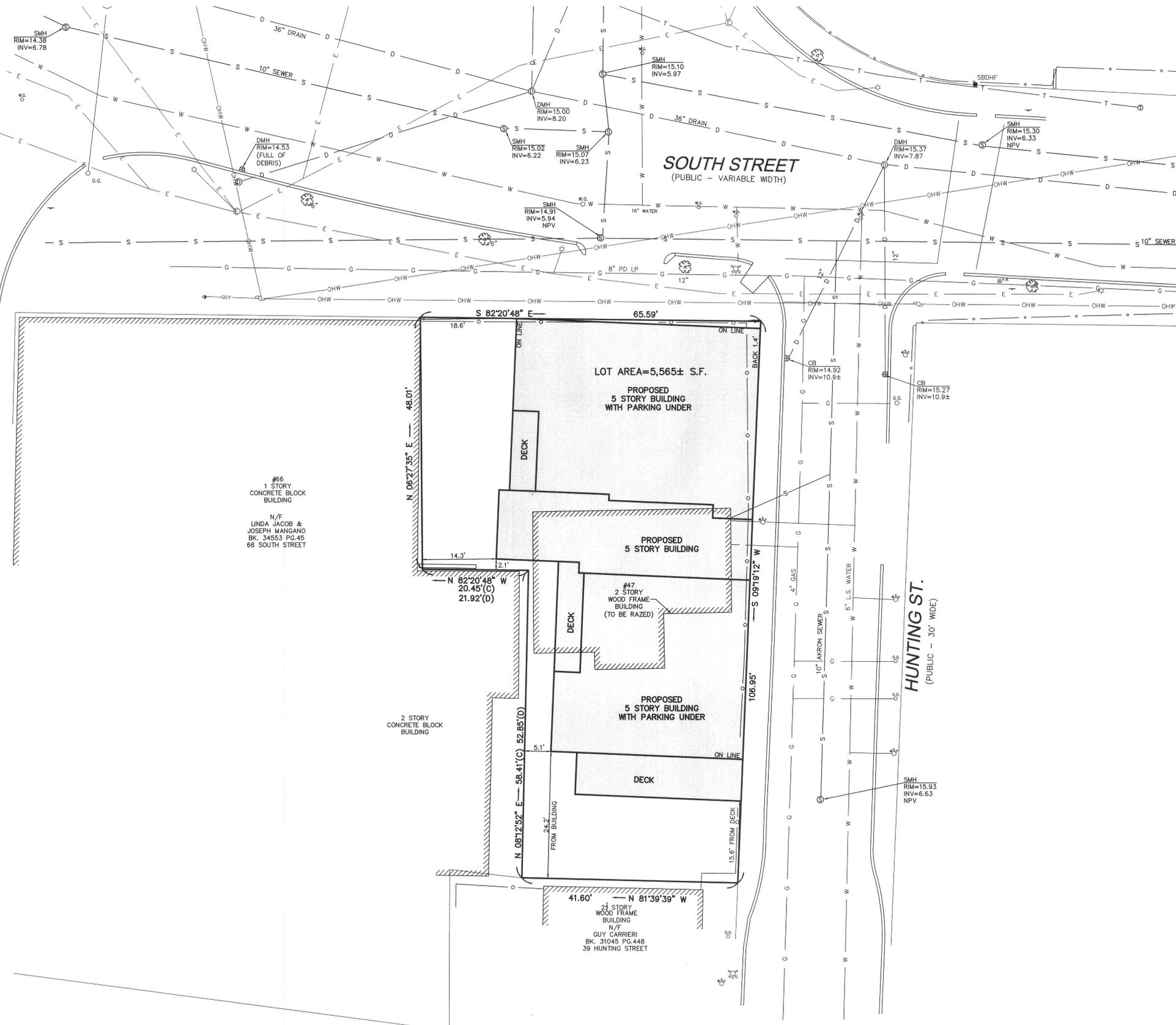


WILLOW ST.

SOUTH STREET  
(PUBLIC - VARIABLE WIDTH)

HUNTING ST.  
(PUBLIC - 30' WIDE)



**LEGEND**

- HYDRANT
- WATER SHUT OFF
- WATER GATE
- UTILITY POLE
- GUY POLE
- CATCH BASIN (CB)
- DRAIN MANHOLE (DMH)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE
- UNKNOWN MANHOLE
- TELEPHONE MANHOLE
- MONITORING WELL
- GAS GATE
- DECIDUOUS TREE
- SIGN
- CHAIN LINK FENCE
- SEWER LINE
- GAS LINE
- WATER LINE
- TELEPHONE LINE
- OVERHEAD WIRES
- ELECTRIC LINE
- DRAIN LINE
- RCP REINFORCED CONCRETE PIPE
- CI CAST IRON PIPE
- VC VITRIFIED CLAY PIPE
- INVERT
- WL WATER LEVEL
- NPV NO PIPES VISIBLE
- FFE FINISHED FLOOR ELEVATION
- + 15.62 SPOT GRADE

**PLAN REFERENCES**

-PL. NO. 1466 OF 1984

**LOCUS TITLE INFORMATION**

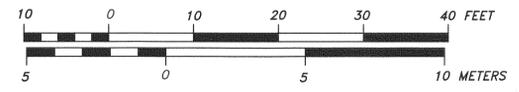
47 HUNTING STREET  
 OWNER: FUD LLC  
 DEED REFERENCE: BK. 57580 PG. 397  
 PLAN REFERENCE: PL. BK. 17 PL. 89, PL. 1828 OF 1946  
 ASSESSORS: PARCEL ID MAP 97, BLOCK H, LOTS 2-4

**NOTES**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED RECONSTRUCTION OF THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST 14 AND AUGUST 21, 2013, BY DESIGN CONSULTANTS, INC.  
 ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING SIZE AND LAYOUT.  
 OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMERVILLE ASSESSOR'S OFFICES.  
 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



P.L.S. Everett J. Chandler  
 EVERETT J. CHANDLER, P.L.S./ MASS. REGISTRATION NO. 41783  
 DATE 8/29/13



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P:\2013 Projects\2013-094 47 Hunting Street Somerville\DWG\SURVEYING\13-094-EC.dwg

**Design Consultants, Inc.**  
 Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE  
 SOMERVILLE, MA 02145  
 617-776-3350

68 PLEASANT STREET  
 NEWBURYPORT, MA 01950  
 978-358-7173

SCALE:  
 HORIZ: 1" = 10'  
 VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS

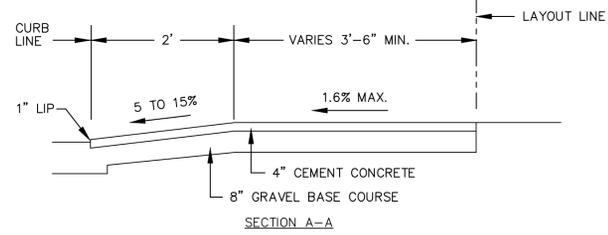
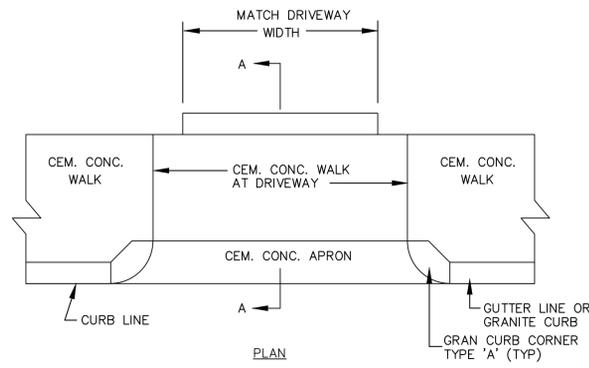
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 CALCS: AR  
 CHECKED: EJC  
 APPROVED: EJC

**CERTIFIED PLOT PLAN**

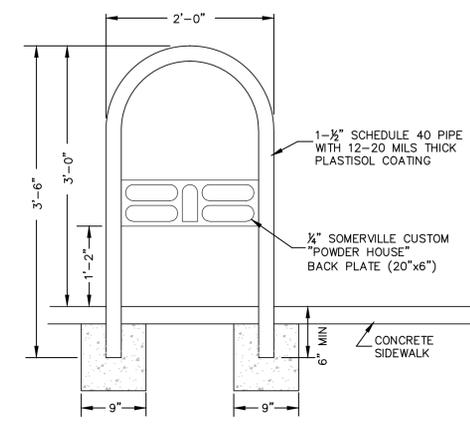
**47 HUNTING STREET**

PLAN OF LAND IN  
**SOMERVILLE, MASSACHUSETTS**  
 SURVEYED FOR  
**FUD LLC**

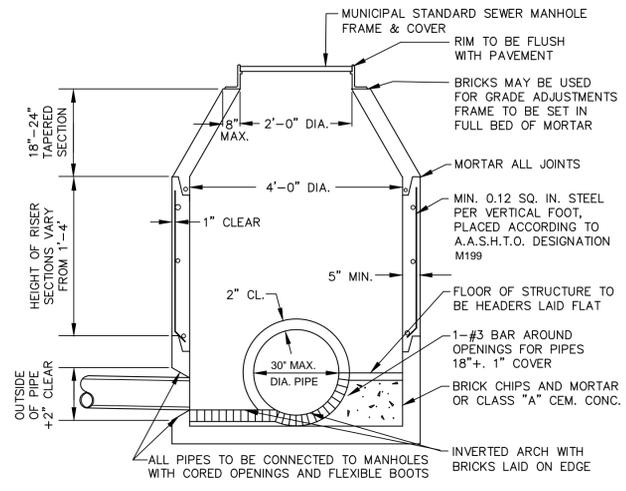
PROJECT NO.  
 2013-094  
 DATE: AUG. 30, 2013  
 SHEET NO.  
 S1



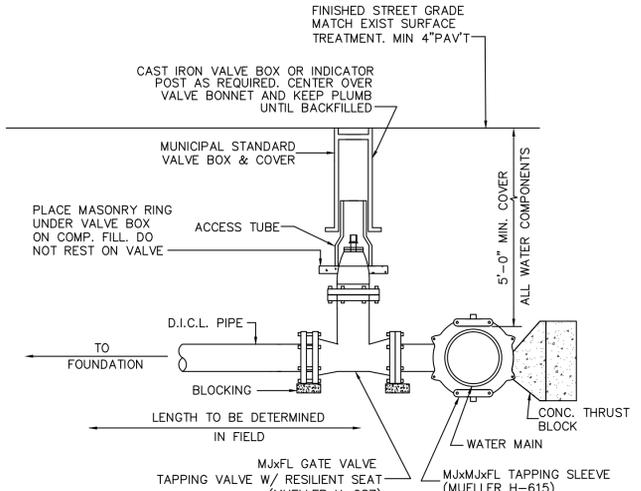
**DRIVEWAY APRON CONSTRUCTION**  
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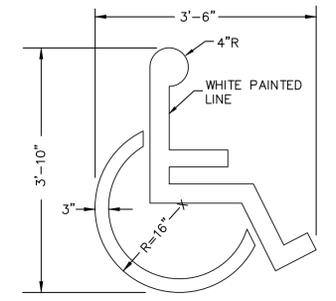
**BIKE RACK - CAST IN CONCRETE**  
NOT TO SCALE



**PRECAST CONCRETE SEWER MANHOLE**  
NOT TO SCALE



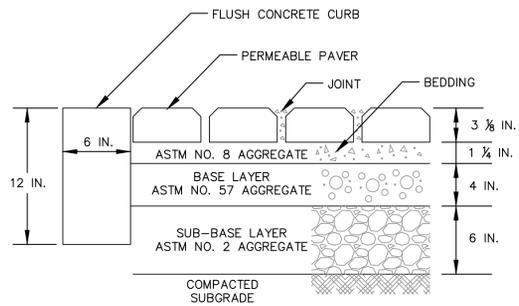
**WATER SERVICE CONNECTION**  
NOT TO SCALE



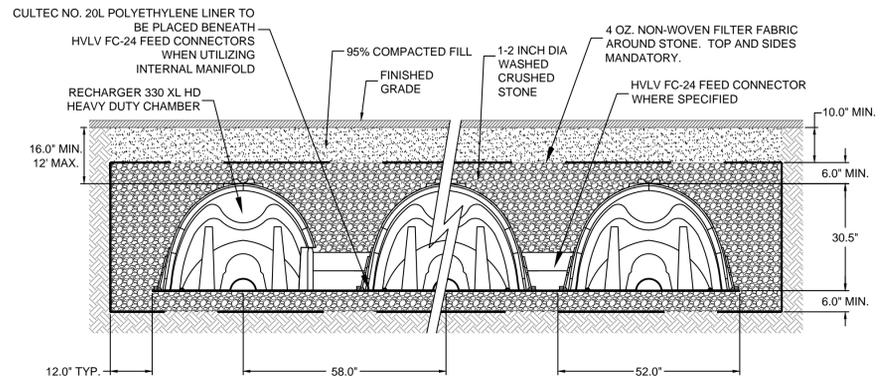
**PAINTED HANDICAP SYMBOL**  
NOT TO SCALE



**SIGN**  
NOT TO SCALE

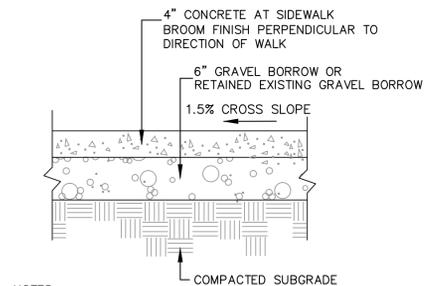


**PERMEABLE PAVMENT SECTION**  
NOT TO SCALE

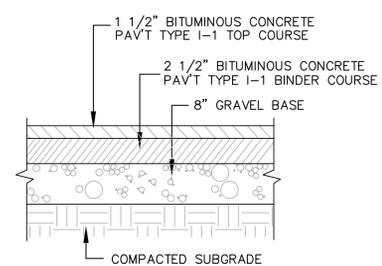


**GENERAL NOTES**  
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.  
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.  
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

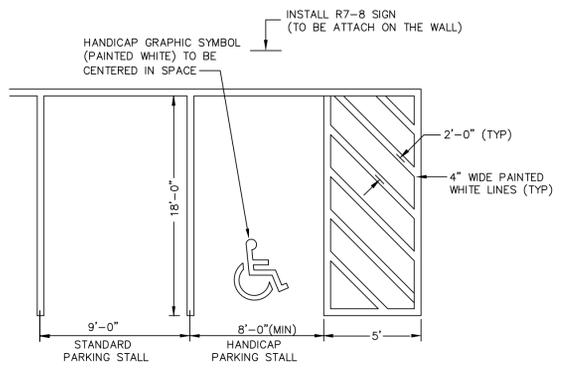
**CULTEC RECHARGER 330HD CHAMBER**  
NOT TO SCALE



**CEMENT CONCRETE SIDEWALK**  
NOT TO SCALE

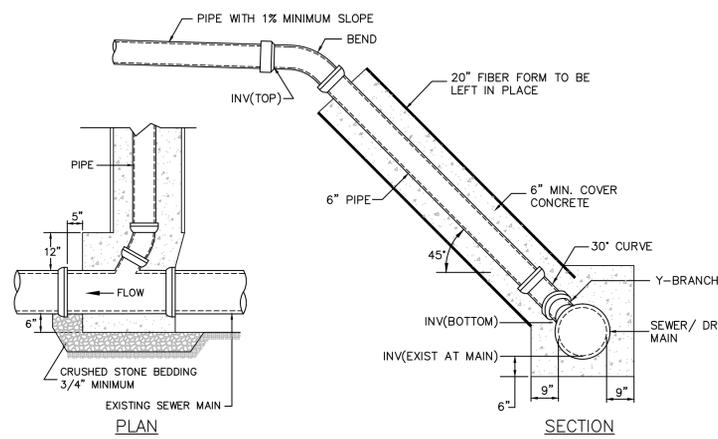


**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE

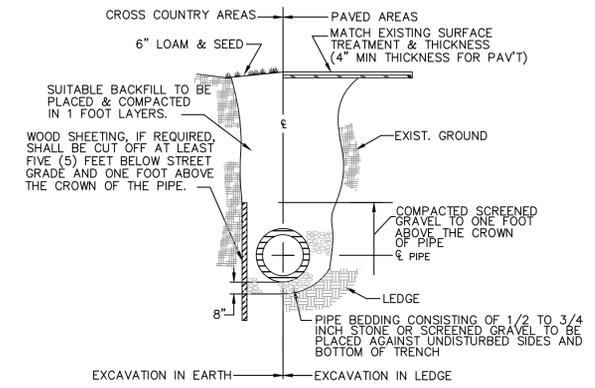


**NOTE:**  
1. ALL PAINT SHALL BE FAST DRYING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.  
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

**PARKING STALL STRIPING**  
NOT TO SCALE



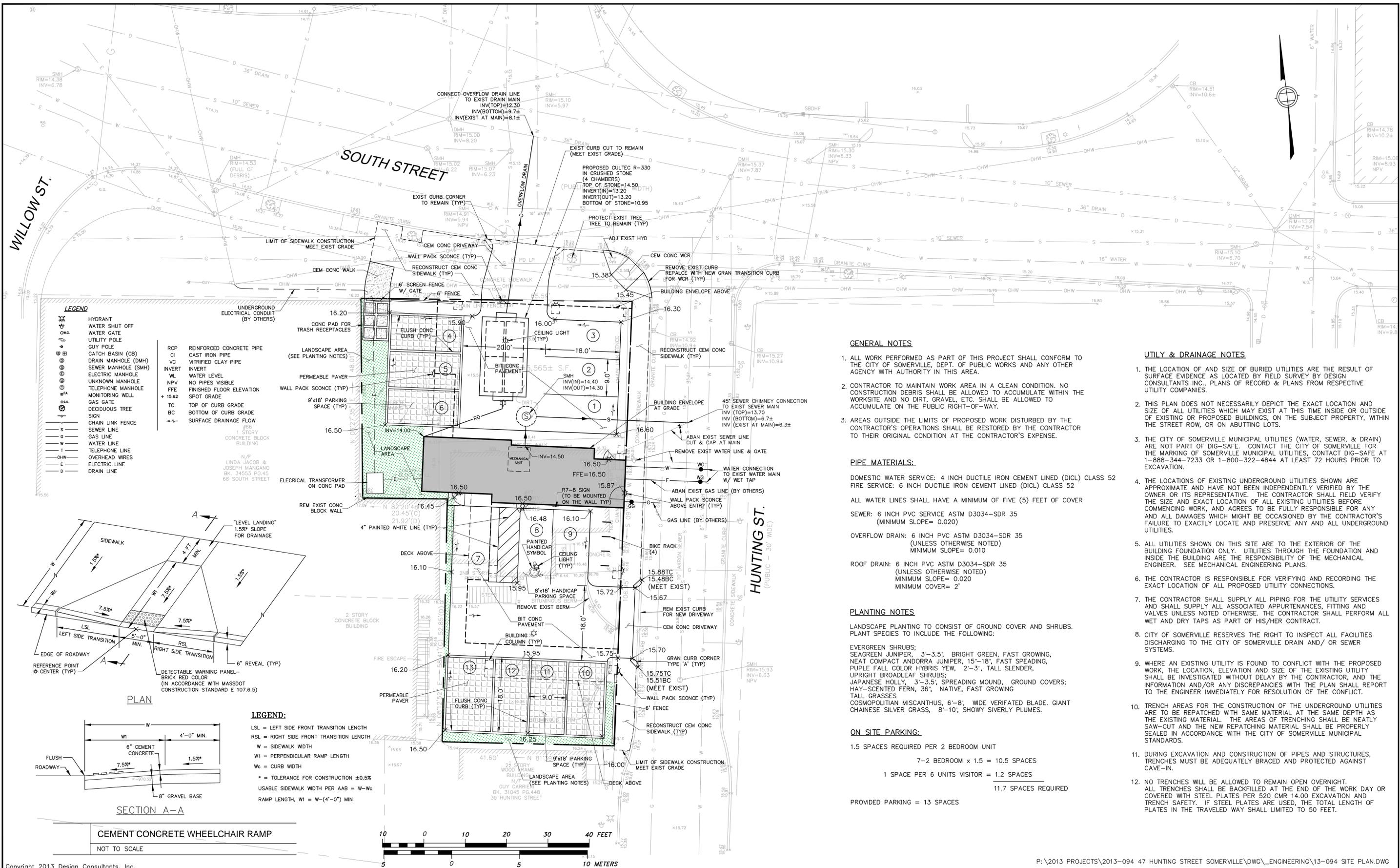
**SEWER & DRAIN CHIMNEY WITH 45° CONNECT TO EXISTING MAIN**  
NOT TO SCALE



**TRENCH EXCAVATION**  
NOT TO SCALE

**PERMIT SET**





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 SOMERVILLE, MA 02145  
 617-776-3350

68 PLEASANT STREET  
 NEWBURYPORT, MA 01950  
 978-358-7173

SCALE:  
 HORIZ: 1" = 10'  
 VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS

DESIGN: SBS  
 DRAFTED: SSW  
 CHECKED: DG  
 APPROVED: SBS

**SITE, GRADING,  
 UTILITY & DRAINAGE PLAN**

47 HUNTING STREET

PLAN OF LAND IN  
 SOMERVILLE, MASSACHUSETTS

PREPARED FOR  
 FUD LLC

PROJECT NO.  
 2013-094

DATE: AUG. 30, 2013

SHEET NO.  
 C1

**GENERAL NOTES**

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

**UTILITY & DRAINAGE NOTES**

- THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES, CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE EXISTING UTILITY SHALL BE INVESTIGATED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION AND/OR ANY DISCREPANCIES WITH THE PLAN SHALL REPORT TO THE ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPAATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPAATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50 FEET.

**PIPE MATERIALS:**

DOMESTIC WATER SERVICE: 4 INCH DUCTILE IRON CEMENT LINED (DICL) CLASS 52  
 FIRE SERVICE: 6 INCH DUCTILE IRON CEMENT LINED (DICL) CLASS 52

ALL WATER LINES SHALL HAVE A MINIMUM OF FIVE (5) FEET OF COVER

SEWER: 6 INCH PVC SERVICE ASTM D3034-SDR 35  
 (MINIMUM SLOPE= 0.020)

OVERFLOW DRAIN: 6 INCH PVC ASTM D3034-SDR 35  
 (UNLESS OTHERWISE NOTED)  
 MINIMUM SLOPE= 0.010

ROOF DRAIN: 6 INCH PVC ASTM D3034-SDR 35  
 (UNLESS OTHERWISE NOTED)  
 MINIMUM SLOPE= 0.020  
 MINIMUM COVER= 2'

**PLANTING NOTES**

LANDSCAPE PLANTING TO CONSIST OF GROUND COVER AND SHRUBS. PLANT SPECIES TO INCLUDE THE FOLLOWING:

EVERGREEN SHRUBS;  
 SEAGREEN JUNIPER, 3'-3.5'; BRIGHT GREEN, FAST GROWING, NEAT COMPACT ANDORRA JUNIPER, 15'-18'; FAST SPREADING, PURPLE FALL COLOR HYBRIS YEW, 2'-3', TALL SLENDER, UPRIGHT BROADLEAF SHRUBS;  
 JAPANESE HOLLY, 3'-3.5', SPREADING MOUND, GROUND COVERS;  
 HAY-SCENTED FERN, 36"; NATIVE, FAST GROWING  
 TALL GRASSES  
 COSMOPOLITAN MISCANTHUS, 6'-8'; WIDE VERIFATED BLADE. GIANT CHAINESE SILVER GRASS, 8'-10'; SHOWY SIVERLY PLUMES.

**ON SITE PARKING:**

1.5 SPACES REQUIRED PER 2 BEDROOM UNIT

7-2 BEDROOM x 1.5 = 10.5 SPACES

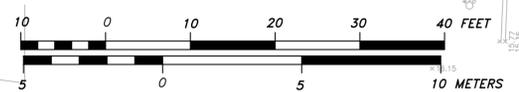
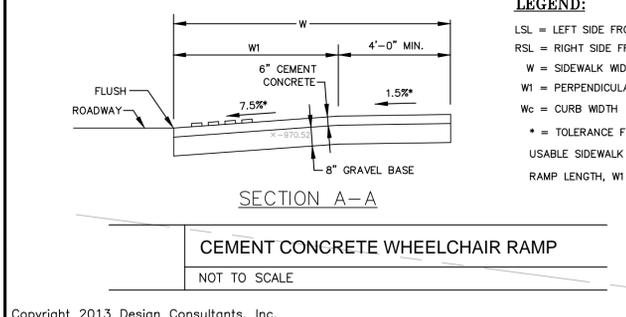
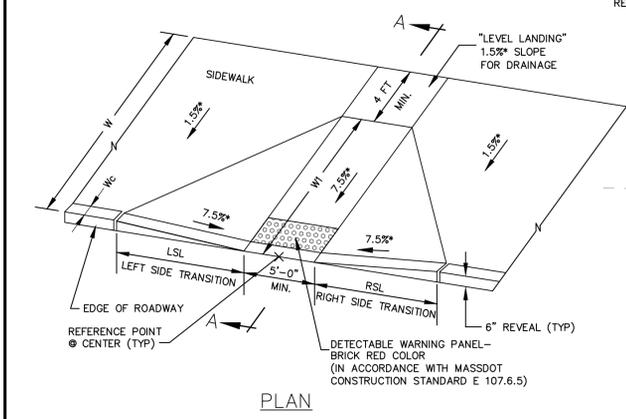
1 SPACE PER 6 UNITS VISITOR = 1.2 SPACES

11.7 SPACES REQUIRED

PROVIDED PARKING = 13 SPACES

**LEGEND**

HYDRANT	RCP	REINFORCED CONCRETE PIPE
WATER SHUT OFF	CI	CAST IRON PIPE
WATER GATE	VC	VITRIFIED CLAY PIPE
UTILITY POLE	INVERT	INVERT
GUY POLE	WL	WATER LEVEL
CATCH BASIN (CB)	NPV	NO PIPES VISIBLE
DRAIN MANHOLE (DMH)	FFE	FINISHED FLOOR ELEVATION
SEWER MANHOLE (SMH)	+	SPOT GRADE
ELECTRIC MANHOLE	TC	TOP OF CURB GRADE
UNKNOWN MANHOLE	BC	BOTTOM OF CURB GRADE
TELEPHONE MANHOLE	-A-	SURFACE DRAINAGE FLOW
MONITORING WELL		
GAS GATE		
DECIDUOUS TREE		
SIGN		
CHAIN LINK FENCE		
SEWER LINE		
GAS LINE		
WATER LINE		
TELEPHONE LINE		
OVERHEAD WIRES		
ELECTRIC LINE		
DRAIN LINE		



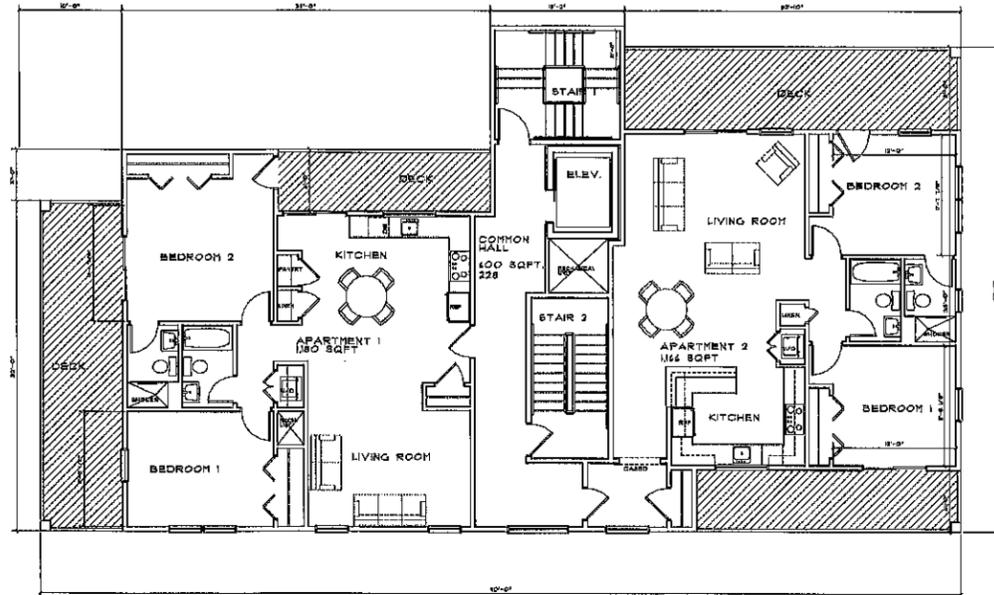
GENERAL NOTES

REV #	DESCRIPTION	DATE
08-30-13	SUBMISSION	

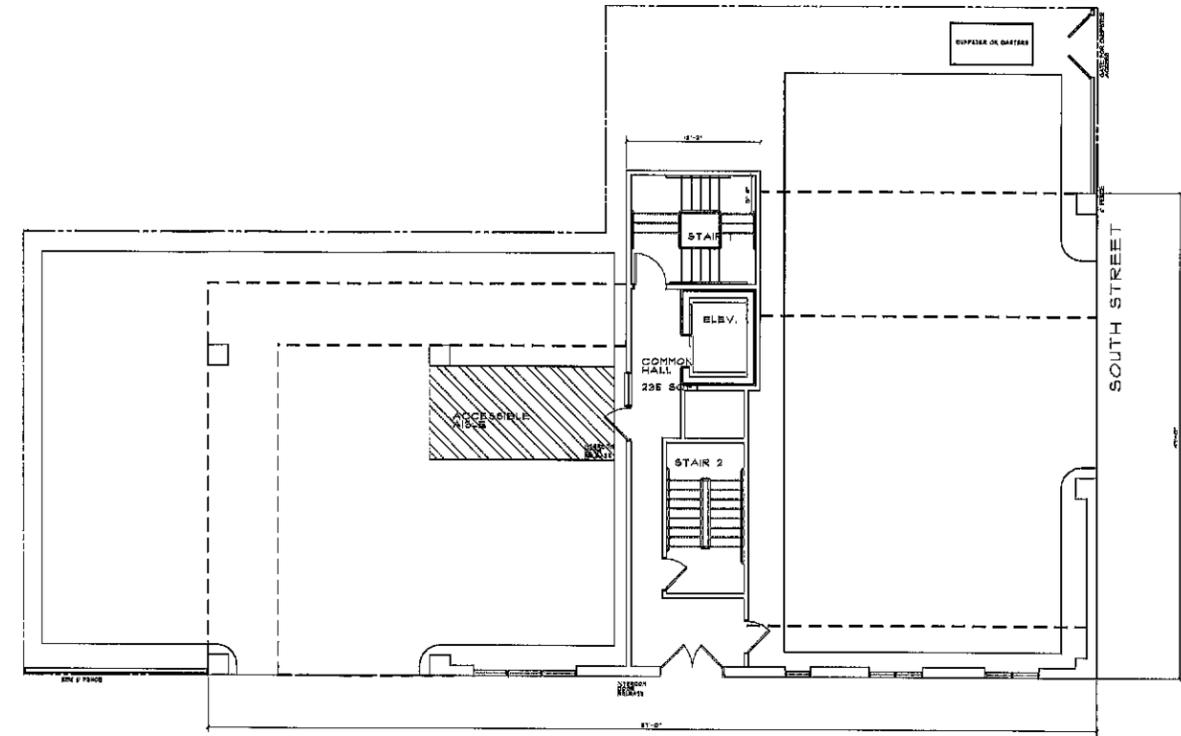
TITLE:  
FLOOR PLANS

PROJECT  
**NEW APARTMENT BUILDING**  
 NEW APARTMENT BUILDING  
 507 WILMINGTON STREET  
 SOUTHVILLE, MASSACHUSETTS

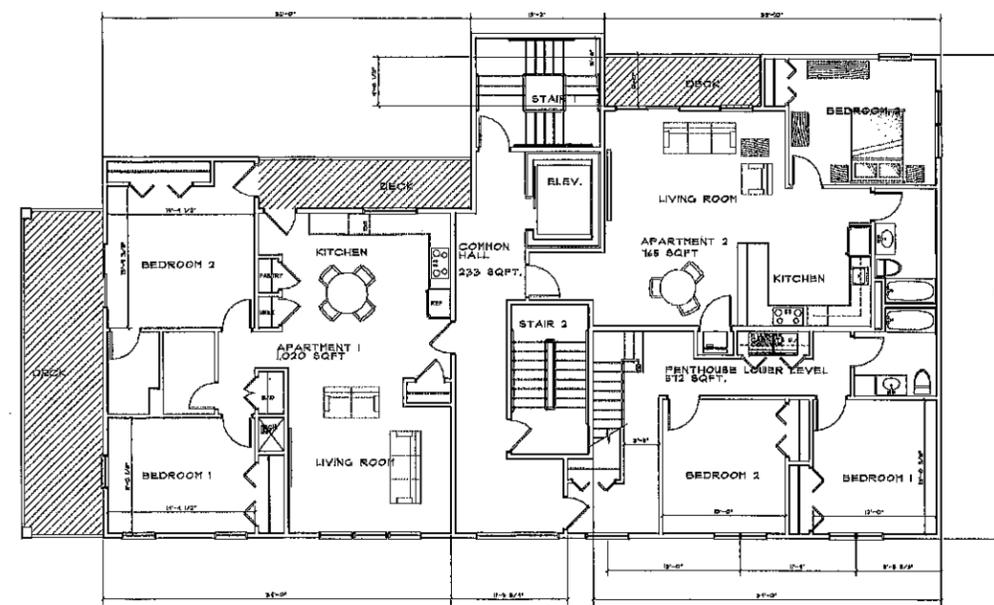
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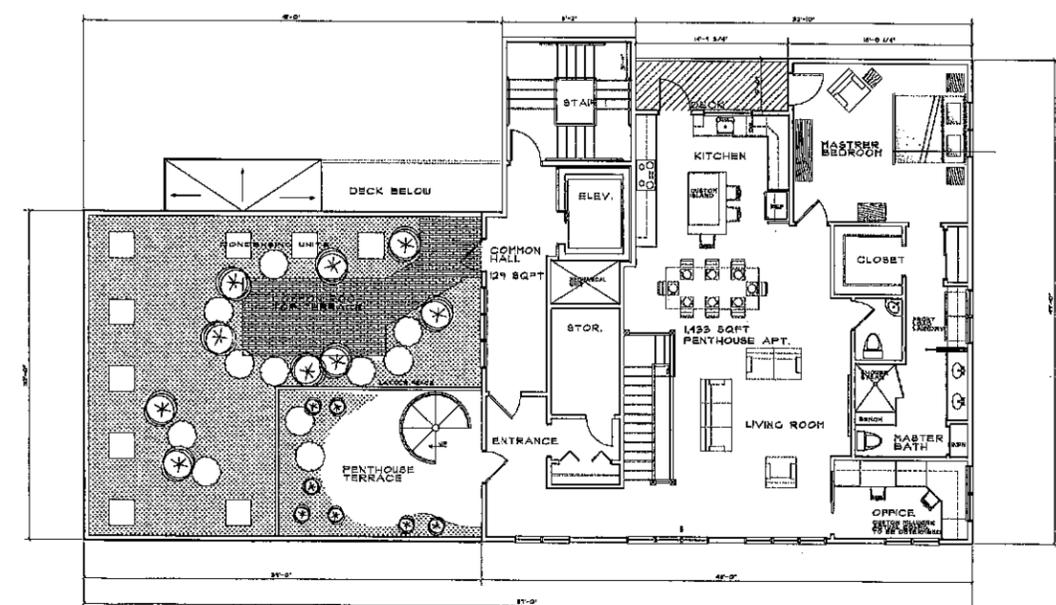
FIRST / SECOND FLOOR PLAN



GROUND FLOOR PLAN



THIRD FLOOR PLAN



PENTHOUSE FLOOR PLAN



HUNTING STREET ELEVATION

GENERAL NOTES

08-30-13	SUBMISSION	
REV #	DESCRIPTION	DATE
TITLE: HUNTING STREET ELEVATION		

PROJECT  
**NEW APARTMENT BUILDING**  
 125 MAIN STREET, READING, MASSACHUSETTS

SCALE: 1/4" = 1'-0" DATE: 08-29-13 DWG. BY: NHS CKD BY: JG FILE PATH: J:\NHS\08-29-13\BARCH FILE NAME: 080813R.DWG	STAMP 
JOB NO. <b>2652</b>	DRAWING NO. <b>A2.1</b>

GENERAL NOTES



REAR YARD ELEVATION

08-30-13 - SUBMISSION	DATE
-----------------------	------

REV #	DESCRIPTION	DATE
-------	-------------	------

TITLE:  
**REAR YARD ELEVATION**

PROJECT  
**NEW APARTMENT BUILDING**  
 NEW APARTMENT BUILDING  
 125 MAIN STREET  
 READING, MASSACHUSETTS

SCALE:  
 1/4" = 1'-0"  
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 05-21-13  
 DSG. BY:  
 RSB  
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 FILE NAME:  
 REAR ELEV.DWG



JOB NO.  
**2652**

DRAWING NO.  
**A2.2**



SOUTH STREET ELEVATION

strategic designworks  
 125 Main Street, Reading, MA 01867, 781.439.6080  
 sdi architects pc  
 125 main street, third floor, reading, ma. 781.439.6080

KEY PLAN

GENERAL NOTES

REV #	DESCRIPTION	DATE
08-20-13	SUBMISSION	

TITLE:  
**SOUTH STREET ELEVATION**

PROJECT  
**NEW APARTMENT BUILDING**  
 21 LAMAR STREET BUILDING  
 SOMERVILLE, MASSACHUSETTS

SCALE:  
 1/4" = 1'-0"  
 DATE:  
 08-29-13  
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 HRS  
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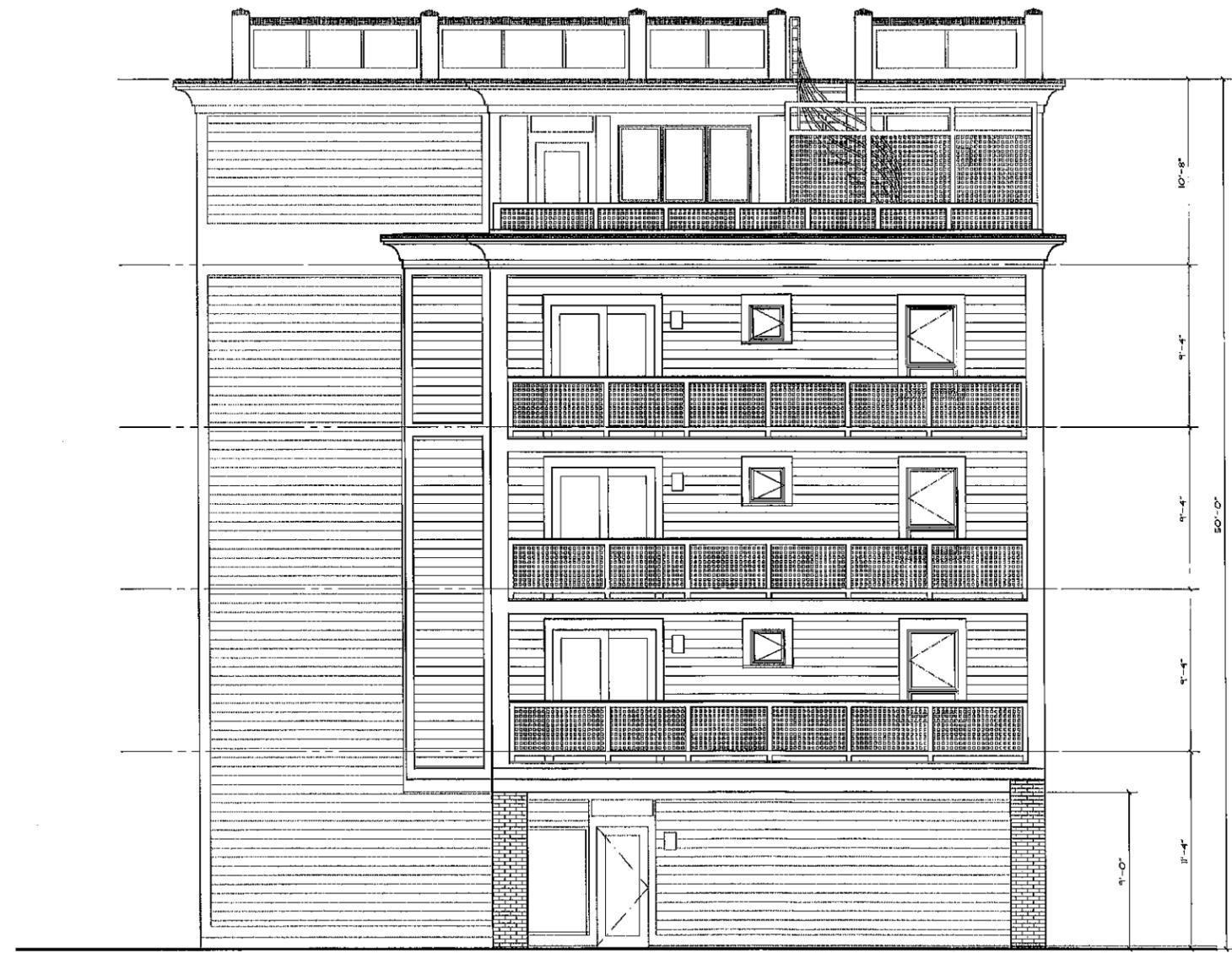


JOB NO.  
**2652**

DRAWING NO.  
**A2.3**

KEY PLAN

GENERAL NOTES



SOUTH STREET ELEVATION

REV #	DESCRIPTION	DATE
08-30-13	SUBMISSION	

TITLE:  
CAMBRIDGE SIDE ELEVATION

PROJECT  
**NEW APARTMENT BUILDING**  
 NEW APARTMENT BUILDING  
 SOVERVILLE, MASSACHUSETTS

SCALE:  
1/4" = 1'-0"  
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08-29-13  
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JOB NO.  
2652

DRAWING NO.  
A2.4