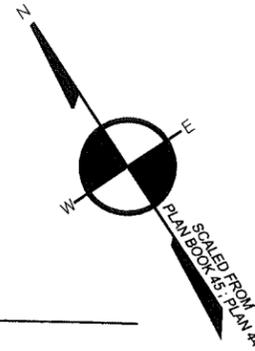
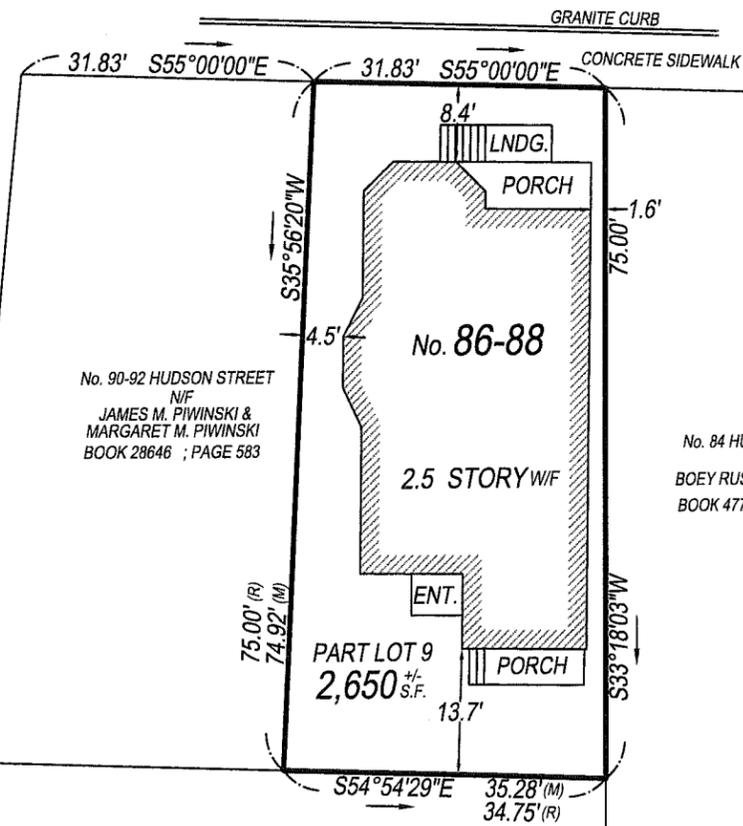


CNC.BND. / BRASS PLUG FOUND



HUDSON (PUBLIC - 40.0' WIDE) STREET

LOWELL (PUBLIC - 40.0' WIDE) STREET



No. 90-92 HUDSON STREET
N/F
JAMES M. PIWINSKI &
MARGARET M. PIWINSKI
BOOK 28646 ; PAGE 583

No. 84 HUDSON STREET
N/F
BOEY RUSSELL BERTOLD
BOOK 47728 ; PAGE 216

No. 189-191 LOWELL STREET
N/F
GILBERTO M. DeMATOS &
SUE E. DeMATOS
BOOK 31540 ; PAGE 489

NOTES

REFERENCES

DEED: BOOK 30875; PAGE 54
PLAN: PLAN BOOK 45; PLAN 44
PLAN: PLAN BOOK 130; PLAN 5

FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
D23	107	D/T	DRM	GCC

CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF OCTOBER 31 AND NOVEMBER 2, 2011 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

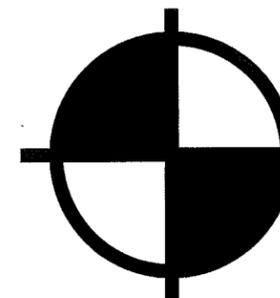
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) THE MAJOR IMPROVEMENTS ON THE PROPERTY SHOWN FALL IN AN AREA DESIGNATED AS ZONE "X".
MAP #: 25017C0438E
EFFECTIVE DATE: JUNE 4, 2010

CERTIFIED PLOT PLAN
LOCATED AT
86-88 HUDSON STREET
SOMERVILLE, MA

SCALE: 1 INCH = 20 FEET

DATE: NOVEMBER 2, 2011

PREPARED FOR: ALISON B. CROMER
86 HUDSON STREET
SOMERVILLE, MA



BOSTON
SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA. 02129
(617)242-1313
WWW.BOSTONSURVEYINC.COM

JOB # 11-00549

FILE # 11-00549-11/2/11

GENERAL NOTES:

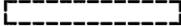
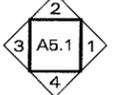
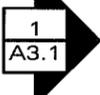
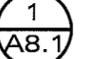
1. ALL WORK SHALL BE IN ACCORDANCE TO ALL FEDERAL, STATE, AND LOCAL BUILDING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, AND APPROVALS THAT AREA REQUIRED BY PUBLIC AUTHORITIES HAVING JURISDICTION OVER THE WORK. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VISIT THE SITE ACCOMPANIED BY THE OWNER AND ARCHITECT, AND SHALL NOTE THE EXISTING CONDITIONS AFFECTING THE WORK. THE CONTRACTOR SHALL NOTE THE ADJOINING WORK FOR ASSURANCE THAT NO CONDITIONS EXIST TO PREVENT THE COMPLETION WHICH COULD NOT BE SEEN AT THE OUTSET OF CONSTRUCTION. IF CONTRACTOR OBSERVES FIELD CONDITIONS THAT ARE AT VARIANCE WITH THE WORK SHOWN IN THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING SO THAT ACTION MAY BE TAKEN TO ACCOMMODATE THE CONDITION PRIOR TO BEGINNING CONSTRUCTION.
3. IF UNUSUAL CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, SUCH AS CONFLICTS BETWEEN NEW CONSTRUCTION AND EXISTING UTILITIES, ANY OF WHICH MAY HAVE TO BE REROUTED OR MODIFIED, OR ANY OTHER SUBSTANTIAL COMPLICATION WHICH COULD NOT BE FORESEEN AT THE OUTSET OF CONSTRUCTION, THE OWNER, ARCHITECT, CONTRACTOR, AND AFFECTED SUBCONTRACTORS SHALL MEET TO DETERMINE A FAIR AND EQUITABLE SOLUTION AS EACH ISSUE OCCURS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS BEFORE COMMENCEMENT OF WORK. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY SUCH WORK UNDERTAKEN WITHOUT NOTIFYING AND RECEIVING APPROVAL FROM THE ARCHITECT.
4. ASBESTOS ABATEMENT, LEAD PAINT REMOVAL, AND OTHER HAZARDOUS MATERIAL REMOVAL IS NOT IN THE CONTRACT. SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE OF POTENTIALLY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO CONTINUING WORK.
5. WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIAL, AND EQUIPMENT. DUST PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY AND AS REQUIRED BY THE OWNER OR AUTHORITIES.
6. DEBRIS SHALL BE CONTAINERIZED AND REMOVED FROM THE SPACE AND BUILDING ON A REGULAR BASIS IN ACCORDANCE WITH AN AGREEMENT MADE BETWEEN THE OWNER AND CONTRACTOR.
7. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE. INCLUDING THE SAFETY OF PERSON AS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT REVIEWS OF THESE CONDITIONS. THE ARCHITECTS, ENGINEERS, OR OWNER'S JOB SITE REVIEW IS NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES.
8. THE BUILDING SHALL BE MAINTAINED IN A WEATHERPROOF AND SECURE CONDITION THROUGHOUT WORK.
9. VERIFY THAT NO CONFLICT EXISTS IN LOCATIONS OF ANY AND ALL MECHANICAL, PHONE, ELECTRICAL, LIGHTING, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.
10. DIMENSIONS SHALL BE FROM FACE OF FINISH UNLESS NOTED OTHERWISE.
11. DO NOT SCALE DRAWINGS. IF A DIMENSION IS IN QUESTION, CONTACT THE ARCHITECT FOR CLARIFICATION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE SCALE DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AS NECESSARY AND BE RESPONSIBLE FOR COORDINATION WITH NEW WORK. NO WORK SHALL BEGIN UNTIL SUCH COORDINATION HAS BEEN PROVIDED.
12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND INFORMING TRADES OF THEIR SEQUENCE OF WORK OPERATIONS, AND MAKING CERTAIN THAT THEY HAVE COORDINATED THEIR WORK IN THE MOST ECONOMICAL AND EFFICIENT MANNER TO BENEFIT THE OWNER. OUT OF SEQUENCE WORK WHICH IS REQUIRED TO MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS, OR DIRECTED BY THE GENERAL CONTRACTOR SHALL NOT CAUSE THE OWNER ANY ADDITIONAL EXPENSE.
13. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT, AND IN PROPER ALIGNMENT.
14. PATCH AND REPAIR FINISHES DISTURBED OR DAMAGED BY REMOVAL OR NEW WORK OPERATIONS, OR AS REQUIRED TO ACCOMMODATE NEW FINISHES. WHERE REMOVAL OF WORK EXPOSES HOLES, CRACKS, ANCHORAGE INSERTS, OR OTHER IMPERFECTIONS, THEY SHALL BE SUITABLY REPAIRED BY THE GENERAL CONTRACTOR TO MATCH EXISTING ADJACENT SURFACES. OPENINGS IN THE CEILINGS, FLOORS, AND WALLS AS A RESULT OF REMOVAL OF THE EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL WORK SHALL BE IN-FILLED. PATCH AS REQUIRED TO MATCH ADJACENT FINISHES OF EXISTING CONSTRUCTION. PATCHING MATERIALS SHALL COMPLY WITH FIRE RATED CONSTRUCTION REQUIREMENTS WHERE APPLICABLE.
15. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH GLASS, HARDWARE AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED DUST CLOTHS OR VACUUM CLEANERS. WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM PREMISES AND DISPOSED OF BY CONTRACTOR. CLEAN SITE AT END OF PROJECT. REMOVE DUST DEBRIS, OILS, STAINS, FINGERPRINTS, AND LABELS FROM EXPOSED SURFACES INCLUDING GLAZING.

Alison Cromer
86-88 Hudson Street
Somerville, MA 02143
2012 April 24
Planning Review Set

DRAWING LIST

C0.0	COVER SHEET
C1.0	SITE PLAN
A1.3	FLOOR PLAN - THIRD FLOOR
A1.4	FLOOR PLAN - ROOF
A2.4	FRAMING PLAN - ROOF
A3.1	EXTERIOR ELEVATIONS
A4.1	SECTION THRU GORGE
A7.1	CIRCULAR PLAN - THIRD FLOOR

KEY TO SYMBOLS

	DEMOLITION
	NEW WOOD-FRAME CONSTRUCTION
	DOOR - INTERIOR
	DOOR - EXTERIOR
	WINDOW
	ELEVATION - INTERIOR
	ELEVATION - EXTERIOR
	SECTION - BUILDING
	DETAIL

al WEISZ
 architecture
 building design furniture

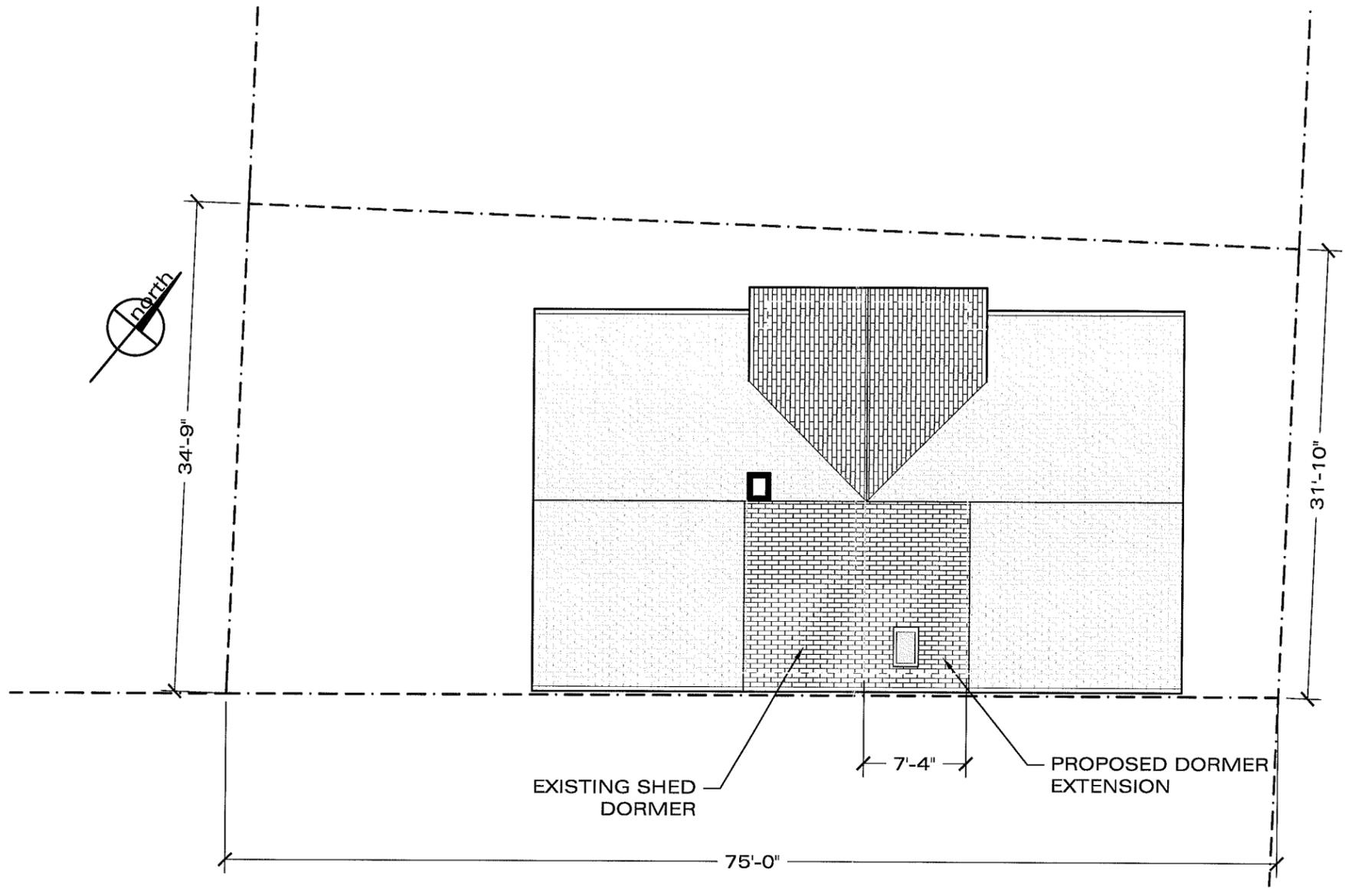
al weisz
ARCHITECTURE, LLC
 somerville, MA 02144
 617-970-4840

Alison Cromer
 86-88 Hudson Street
 Somerville, MA 02143

SCALE
 as shown
 DATE
 2012 Apr 24

TITLE SHEET

SHEET
C0.0



1 PROPOSE SITE PLAN
1" = 10'

HUDSON STREET

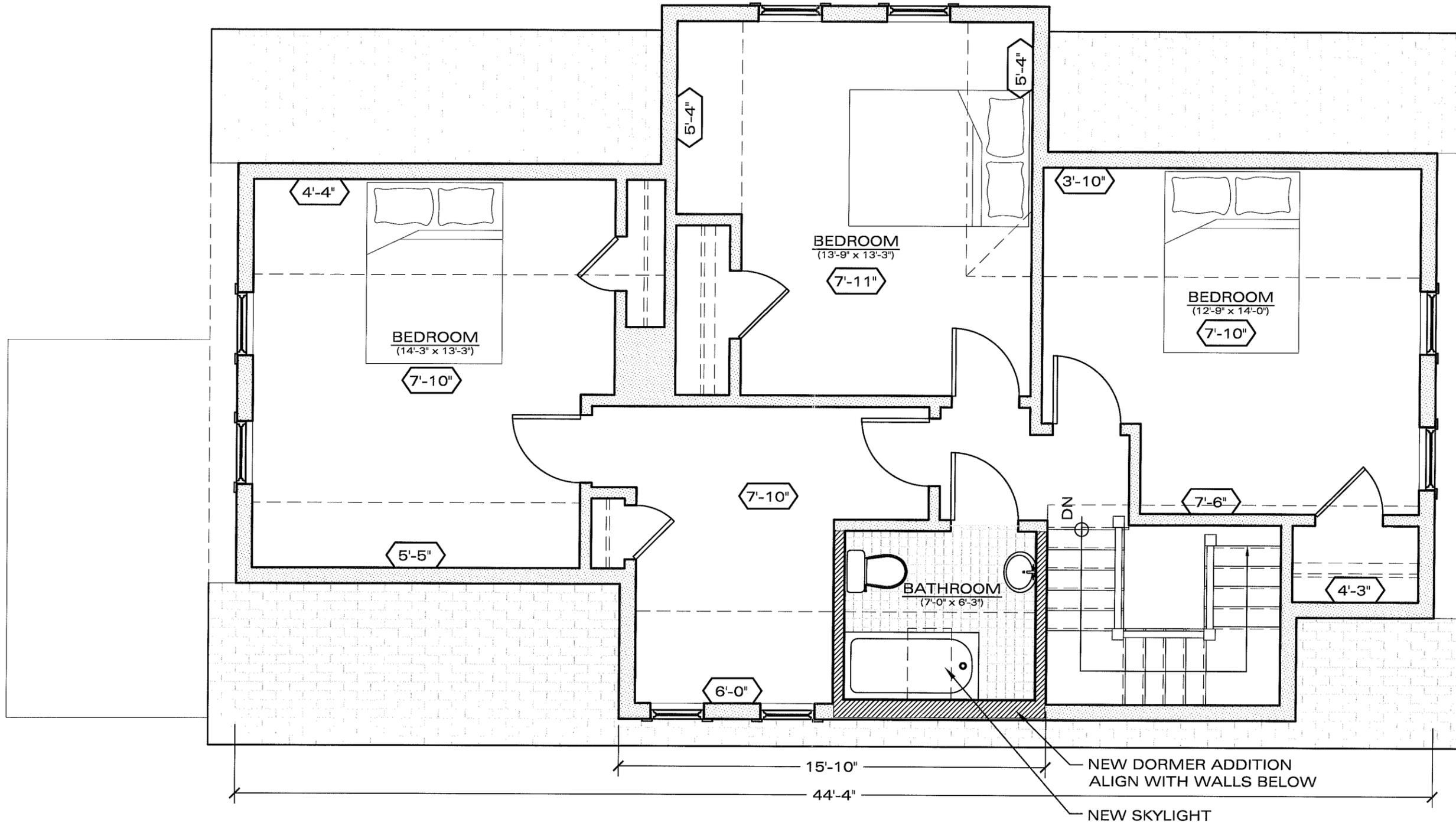
SITE PLAN

SHEET	C1.0	SCALE	as shown
		DATE	2012 Apr 24

Alison Cromer
86-88 Hudson Street
Somerville, MA 02143

al weisz
ARCHITECTURE, LLC
Somerville, MA 02144
617-970-4840

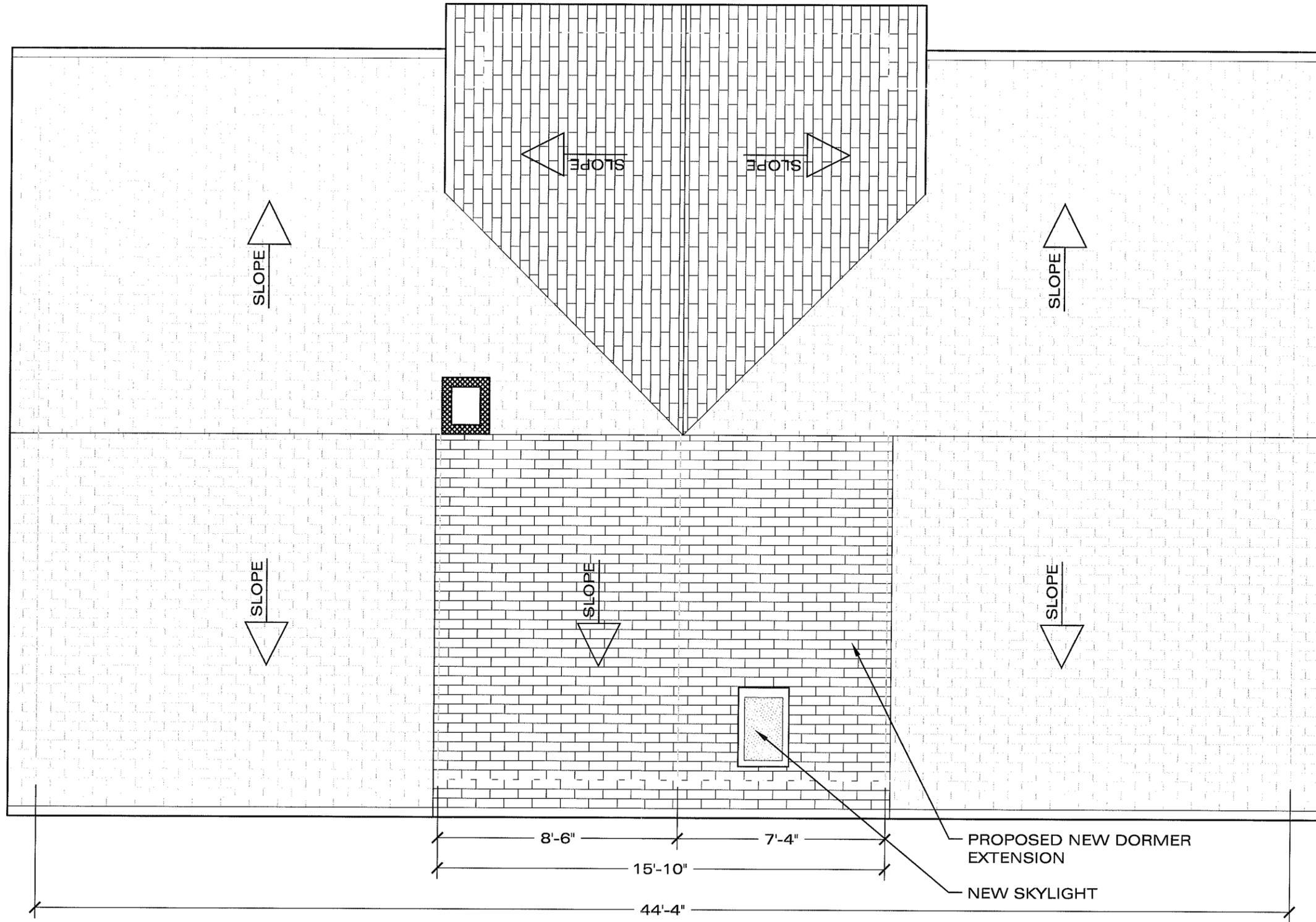
al weisz
architecture
building design furniture



1 PROPOSED THIRD FLOOR PLAN
 1/4" = 1'-0"

FLOOR PLAN - THIRD FLOOR

SHEET	SCALE	al weisz	
		ARCHITECTURE, LLC	
A1.3	DATE	86-88 Hudson Street	
		Somerville, MA 02143	
		2012 Apr 24	
		617-970-4840	



1 **PROPOSE ROOF PLAN**
 1/4" = 1'-0"

FLOOR PLAN - ROOF

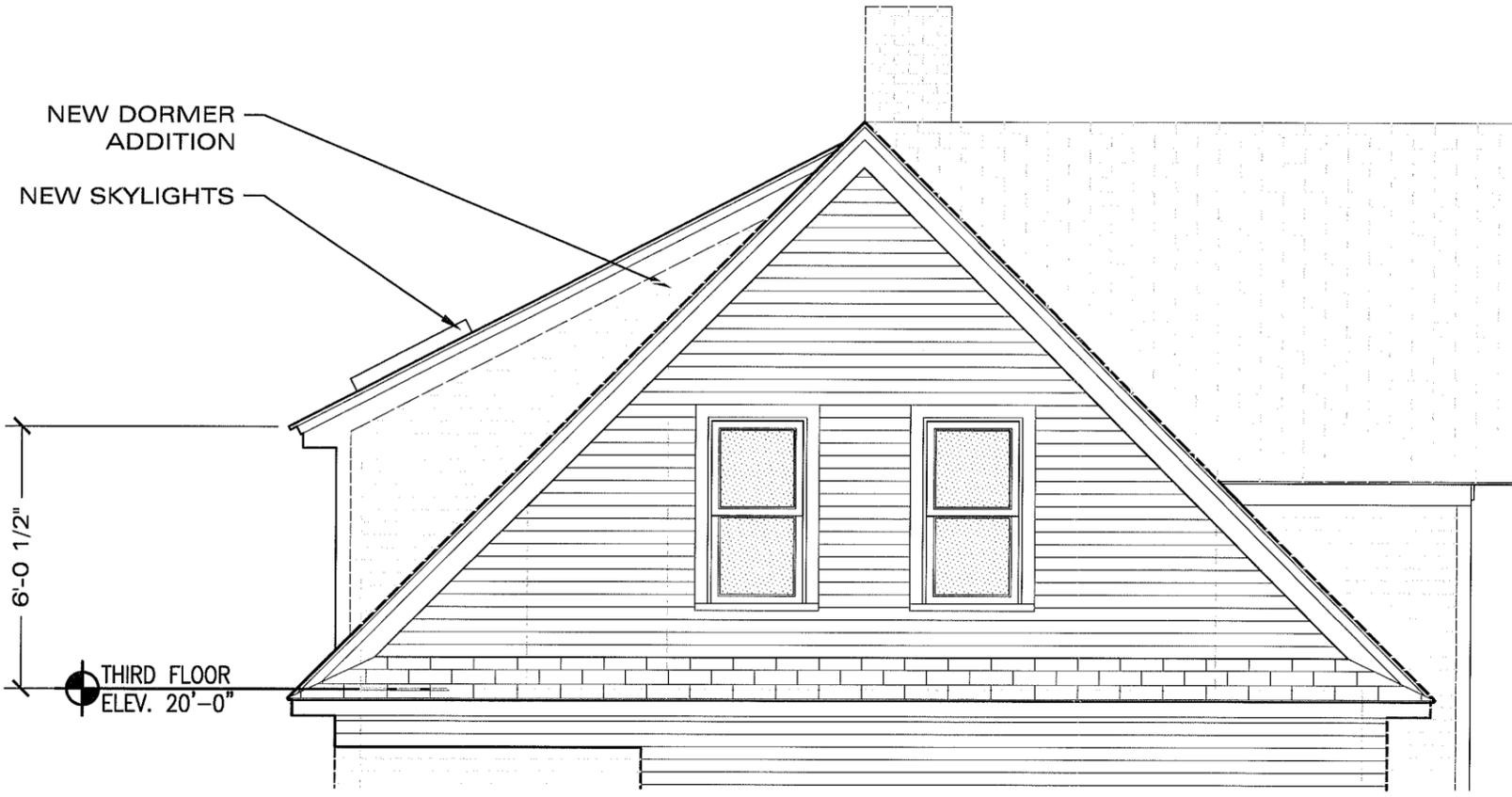
SHEET
A1.4

SCALE
 as shown

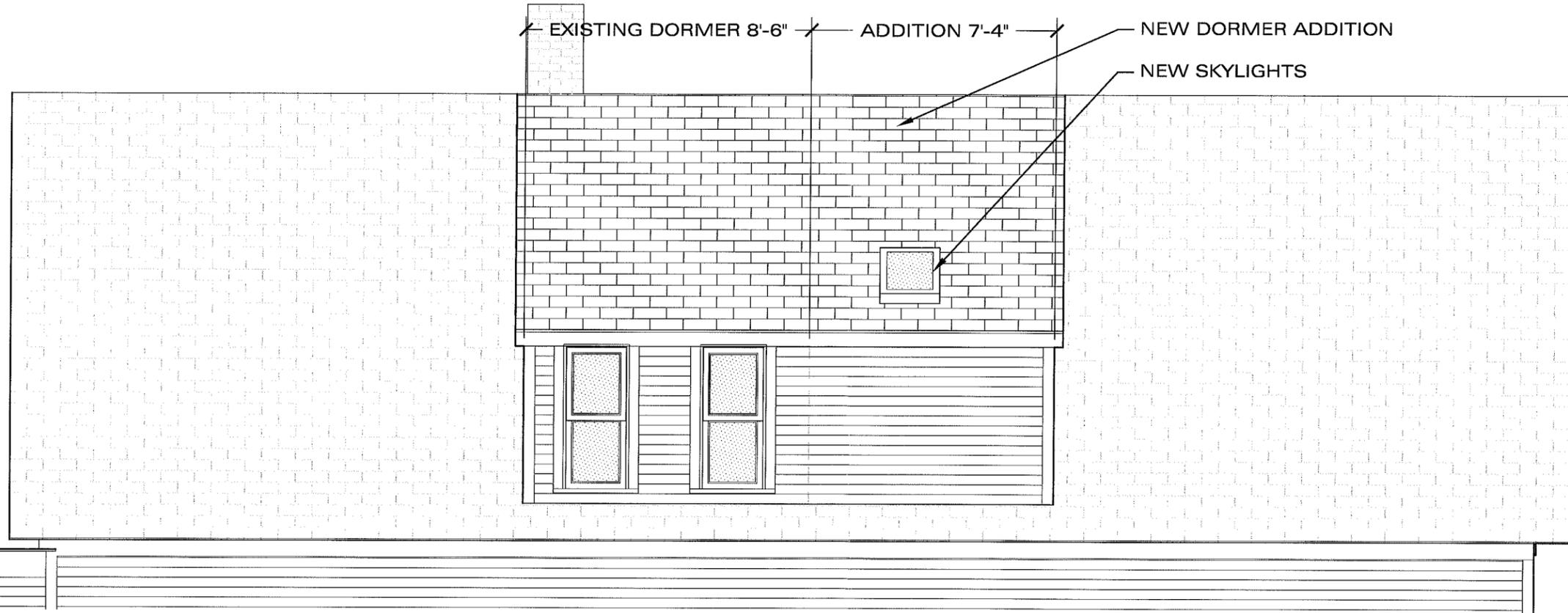
DATE
 2012 Apr 24

Alison Cromer
 86-88 Hudson Street
 Somerville, MA 02143

al weisz
ARCHITECTURE, LLC
 somerville, MA 02144
 617-970-4840



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATIONS

SHEET A3.1	SCALE as shown	al weisz ARCHITECTURE, LLC Somerville, MA 02144 617-970-4840
	DATE 2012 Apr 24	Alison Cromer 86-88 Hudson Street Somerville, MA 02143