

104 HOLLAND ST.

Somerville, Ma

SEPTEMBER 27, 2013
CONSTRUCTION SET

ARCHITECT
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ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MTL	METAL
ACT	ACOUSTICAL CEILING TILE	N.I.C.	NOT IN CONTRACT
ADA	APPROXIMATE	NO	NUMBER
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL	O/	OVER
AV.	AUDIO VISUAL	O.D.	OUTSIDE DIAMETER
		ORNG.	OPENING
BLDG.	BUILDING	OPP.	OPPOSITE
BLKG.	BLOCKING	P.B.	PAINT GRADE
B.O.	BOTTOM OF	PLYWD.	PLYWOOD
CAB.	CABINET	PTD.	PAINTED
C.H.	CESILING HEIGHT	R.D.	RUB. DR. DRAIN
CLR.	CLEAR	REQD.	REQUIRED
CL.	CENTLINE	R.O.	ROUGH OPENING
COL.	COLUMN	SCHED.	SCHEDULE
CONT.	CONTINUOUS	S.G.	STAR GRADE
CMU	CONCRETE MASONRY UNIT	SH.	SMALLER
C.I.	CONTRACT IDENT	S.L.D.	SEE LANDSCAPE DRAWINGS
DTL.	DETAIL	SQ.	SQUARE
DLA.	DIAMETER	SPEC.	SPECIFICATION
DM.	DIMENSION	S.S.D.	SEE STRUCTURAL DRAWINGS
DN.	DOWN	STL.	STAINLESS STEEL
DWG.	DRAWING	STR.	STRUCTURAL
E	EXISTING	SYM.	SYMMETRICAL
EL.	ELEVATION	T.	TERRASED
ELC.	ELECTRICAL	T&G.	TONGUE AND GROOVE
EQ.	EQUAL	THK.	THICK
FD.	FLOOR DRAIN	T.C.	TOP OF
F.C.	FACE OF	T.S.	TUBULAR STEEL
F.O.C.	FACE OF CONCRETE	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	V.F.	VERIFY IN FIELD
GFC	GROUND FAULT INTERCEPTOR CIRCUIT	W/	WITH
GSA.	GALVANIZED SHEET METAL	W/O	WITHOUT
GWB.	GYPSUM WALL BOARD	W.	WOOD
H DR HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WPM.	WATERPROOFING MEMBRANE
H.B.	HOLLOW METAL		
HM.	HOLLOW METAL		
MAX.	MAXIMUM		
M.O.	MACHINE OPENING		
MECH.	MECHANICAL		
MEP.	MECHANICAL ELECTRICAL PLUMBING		
MHL.	MIRIAM		
MISC.	MISCELLANEOUS		

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTES, DETAILS, OR MARKED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GENERAL NOTES MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO BE FACE OF FINISH UNLESS OTHERWISE NOTED.
- PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
- ALL WALL FRAMING SHALL BE 2x4 AT 16" O.C. CENTER UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

ZONING AND CODE ANALYSIS

ZONING CODE: CITY OF SOMERVILLE ZONING CODE

DISTRICT: RC
USE: 3 Family Residential (Permitted Use)

THE PROPOSED RENOVATION DOES NOT REPRESENT A CHANGE IN USE OR AN INCREASE IN THE NUMBER OF UNITS
THE PROPOSED WORK REPRESENT A LEVEL 3 RENOVATION OF AN EXISTING BUILDING PER THE INTERNATIONAL EXISTING BUILDINGS CODE AS ADOPTED BY THE STATE OF MASSACHUSETTS

TOTAL LOT AREA:	7,500 SF
MAX. F.A.R. (EXCLUDES PARKING):	2.0
MAX. LOT AREA PER DWELLING UNIT:	875 sf
HEIGHT LIMITATION:	Max Height: 40', 3 stories
SETBACKS:	
FRONT YARD:	Min Front Yard: 15' (Exception for existing buildings on some blocks)
SIDE YARD:	Min Side Yard: (2 story) 10'
REAR YARD:	Min Rear Yard: 20'
OFF STREET PARKING REQ.:	2.0 per 3 bedroom unit, min. spaces 1.0 for every 4 units (7 required) Parking Spaces: 9' wide, 18' deep Bicycle Parking Required: 1 space

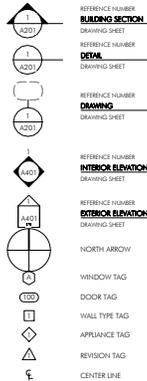
LEVEL	UNIT F.A.R.	COMMON AREA F.A.R.
BASEMENT	808	775
1	1,412	102
2	1,412	102
3	1,514	0
ROOFTOP	0	0
TOTAL GSF =	3,724	910
TOTAL F.A.R. =	4.713	
BUILDING GSF =	5,445	

USE: R-2
CONSTRUCTION TYPE: TYPE V-B
HEIGHT AND AREA: 3 STORIES / 45' MODIFIED FOR FULLY SPRINKLERED BUILDING (ZONING MORE RESTRICTIVE)

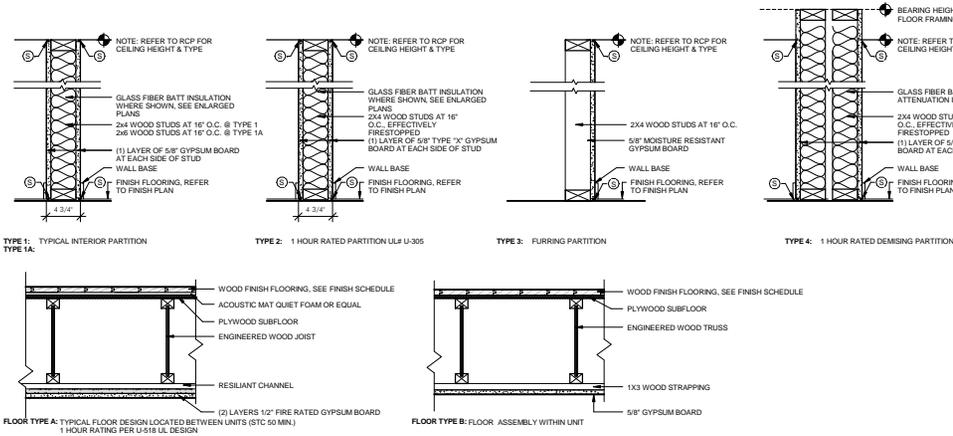
DRAWING LIST

A000	COVER SHEET
A001	SITE PLAN, CODE, AND ZONING DIAGRAMS
A101	LOWER GURPLEY PLANS
A102	UPPER GURPLEY PLANS
A110	REFLECTED CEILING PLAN
A111	REFLECTED CEILING PLAN
A200	EXISTING ELEVATIONS
A201	ELEVATIONS / SECTION
A310	COMMON 3/8" R.F. PLANS AND SECTION
A311	UNIT STAIR PLANS AND SECTION
A312	UNIT STAIRS - PLANS AND SECTION
A401	UNIT 1 KITCHEN AND BATHS
A402	UNIT 2 KITCHEN AND BATHS
A403	UNIT 3 KITCHEN AND BATHS
D100	DEMOLITION PLANS
S101	STRUCTURAL FRAMING PLANS SHEET 1
S102	STRUCTURAL FRAMING PLANS SHEET 2

SYMBOLS

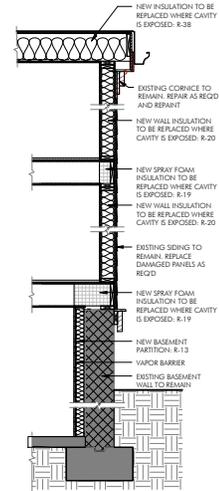


PARTITION TYPES



PARTITION TYPE NOTES

- SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
- SEE FLOOR PLANS FOR LOCATIONS OF SOUND INSULATION.
- PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS. RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS. REFER TO U.L. FIRE RESISTANCE DIRECTORY.
- RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEALANT, AND FILL MATERIAL OF THE SAME RATING.
- ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACoustically SEALED WITH A RESILIENT, NON-HARDENING SEALANT. IF THE PENETRATIONS IS THROUGH A FIRE-RATED PARTITION, AN ACOUSTICAL FIRE-RATED SEALANT SHALL BE USED.
- SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL REQUIREMENTS.
- PROVIDE LATERAL BRACING AND CROSS BRACING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION.
- COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.
- PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
- SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS.
- WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED UNLESS OTHERWISE DIRECTED.
- GLASS FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.
- ALL INTERIOR PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE.
- ALL WALLS SEPARATING UNITS FROM COMMON CORRIDORS ARE TO BE TYPE 2.
- ALL WALLS SEPARATING UNITS ARE TO BE TYPE 4.
- FLOORS BETWEEN UNITS ARE TO BE TYPE A; ALL OTHER FLOORS ARE TO BE TYPE B.



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REVISIONS

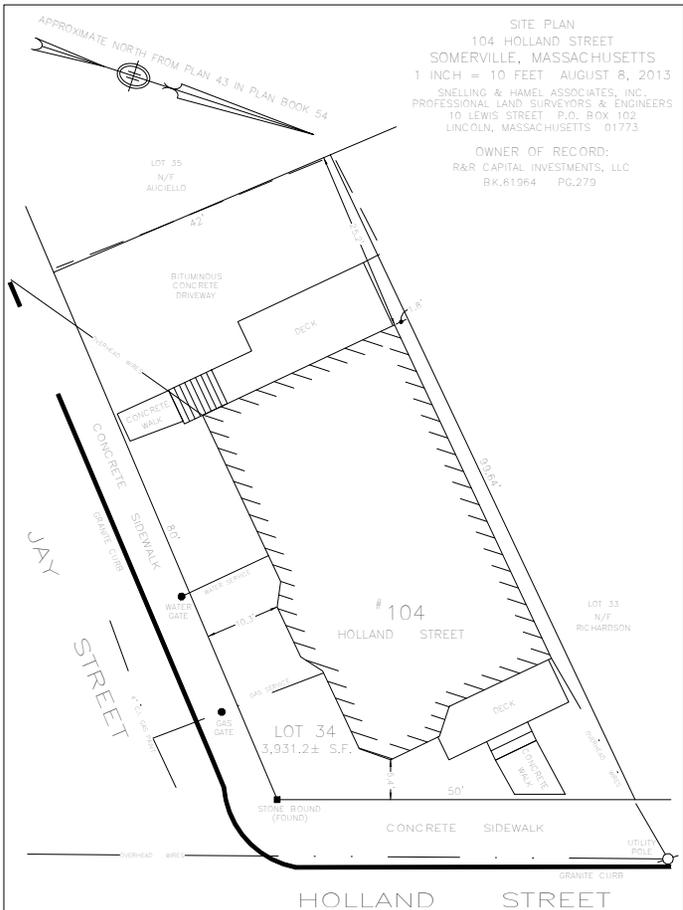
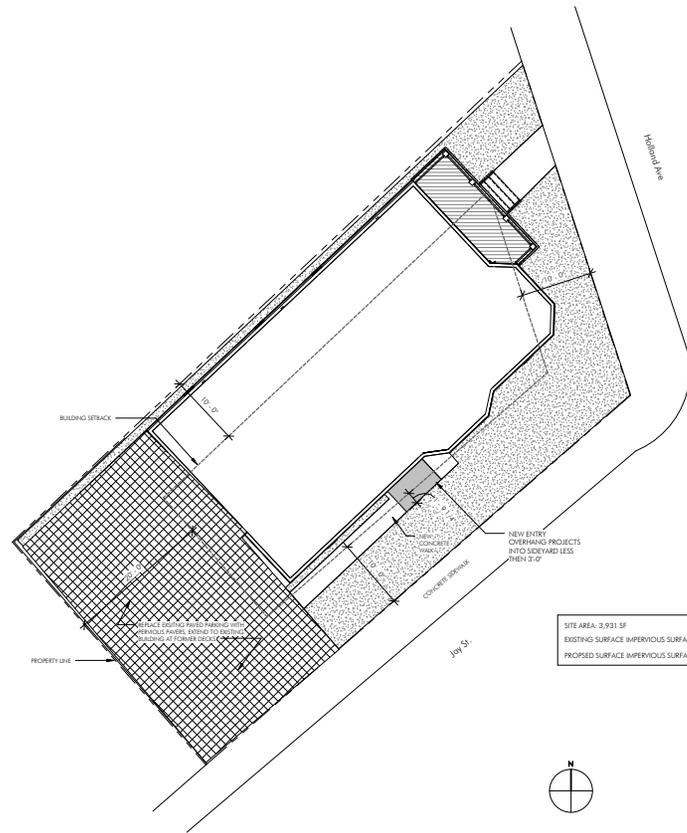
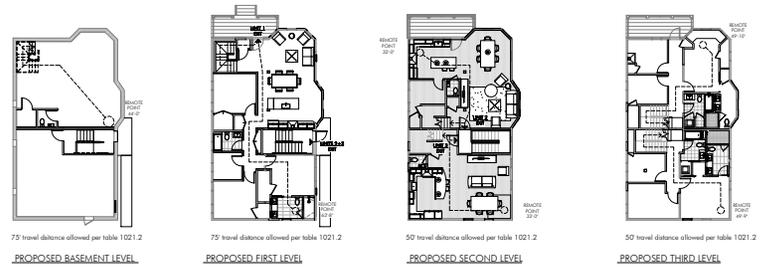
DRAWING INFORMATION

ISSUE	CONSTRUCTION SET
PROJECT #	1118
DRAWN BY	Author
SCALE	As Indicated

DRAWING TITLE
**SITE PLAN, CODE,
 AND ZONING
 DIAGRAMS**

DRAWING NUMBER

A001



I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF AUGUST 7, 2013, WITH THE USE OF A TOPCON TOTAL STATION.

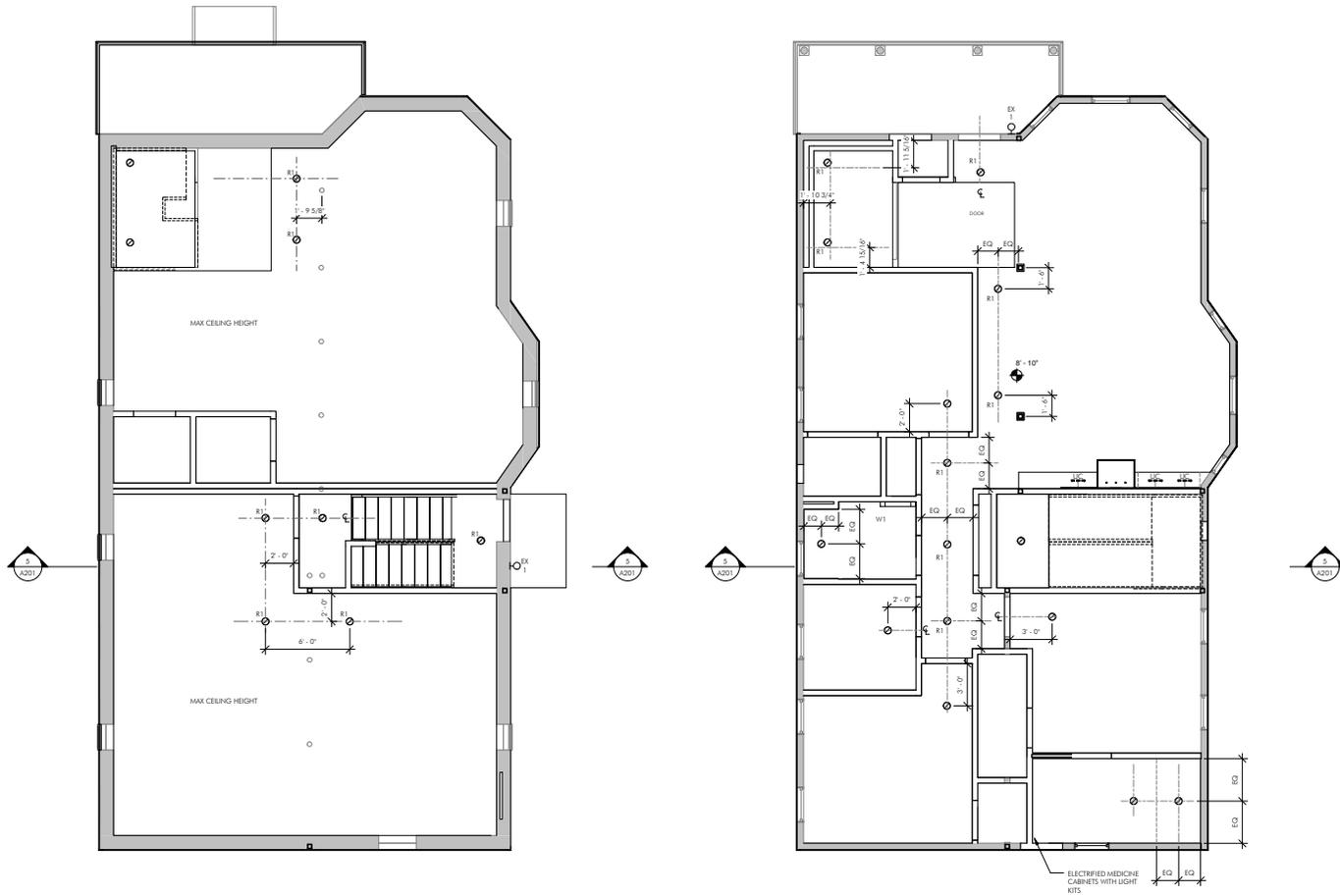
JOHN R. HAMEL
 PROFESSIONAL
 LAND SURVEYOR

DATE

FILE:15520.DWG
 AUGUST 8, 2013

LIGHTING | CEILING LEGEND

- **R1** 4" RECESSED LIGHT (LINE VOLTAGE)
MANUFACTURER: fbd
HOUSING: fbd
TRIM: 4" WHITE TRIM - PROVIDE WET LOCATION TRIM AT SHOWERS
BULB: PHILIPS 7 WATT DIMMABLE LED
PROVIDE WET LOCATION TRIM AT SHOWERS
- ⊙ **P1** CEILING-MOUNTED PENDANT
PROVIDE JUNCTION BOX, FIXTURE PROVIDED BY BUYER
- **EX1** WALL-MOUNTED EXTERIOR SCONCE LIGHT
MANUFACTURER: fbd
MODEL: fbd
BULB: fbd
- ▭ **W1** WALL SCONCE
MANUFACTURER: TBD
MODEL: TBD
BULB: TBD
- ▭ **MCI** ELECTRIFIED RECESSED MEDICINE CABINET WITH SCONCES
MANUFACTURER: ROBURN
MODEL: M5ERIES
BULB: 40W T4 G9 HALOGEN
FIXTURE: M5ERIES LIGHT KIT
- ==== **UC1** UNDER CABINET LIGHTING (LED)
MANUFACTURER: LIGHTOLIER
MODEL: LED MICRO (WHITE)
- BATHROOM EXHAUST FAN | LIGHT COMBO
PROVIDE MINIMUM 100 CFM
- BATHROOM EXHAUST FAN
MANUFACTURER: PANASONIC
MODEL: FV-11VF2
PROVIDE MINIMUM 100 CFM
- SMOKE DETECTOR
(CONTRACTOR MAY PROVIDE COMBINATION SD AND CM)
- CARBON MONOXIDE ALARM
(CONTRACTOR MAY PROVIDE COMBINATION SD AND CM)



REVISIONS

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE	CONSTRUCTION SET
PROJECT #	1118
DRAWN BY	mm
SCALE	1/4" = 1'-0"

DRAWING TITLE
**REFLECTED
 CEILING PLAN**

DRAWING NUMBER

A110

LIGHTING | CEILING LEGEND

- 
R1 4" RECESSED LIGHT (LINE VOLTAGE)
 MANUFACTURER: ibd
 HOUSING: ibd
 TRIM: 4" WHITE TRIM - PROVIDE WET
 LOCATION TRIM AT SHOWERS
 BULB: PHILLIPS 7 WATT DIMMABLE LED
 PROVIDE WET LOCATION TRIM AT SHOWERS

- 
P1 CEILING-MOUNTED PENDANT
 PROVIDE JUNCTION BOX, FIXTURE
 PROVIDED BY BUYER

- 
BX1 WALL-MOUNTED EXTERIOR SCONCE LIGHT
 MANUFACTURER: ibd
 MODEL: ibd
 BULB: ibd

- 
W1 WALL SCONCE
 MANUFACTURER: TBD
 MODEL: TBD
 BULB: TBD

- 
MC1 ELECTRIFIED RECESSED MEDICINE CABINET WITH
 SCONCES
 MANUFACTURER: ROBURN
 MODEL: M5ERIES
 BULB: 40W T4 G9 HALOGEN
 FIXTURE: M5ERIES LIGHT KIT

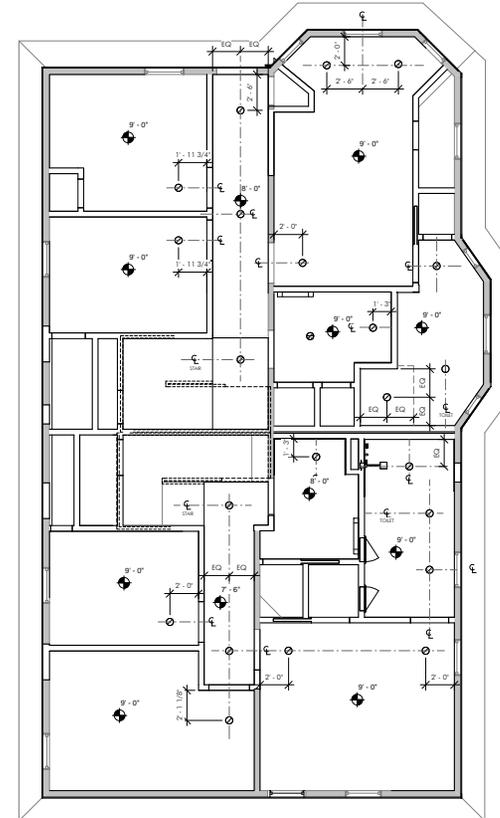
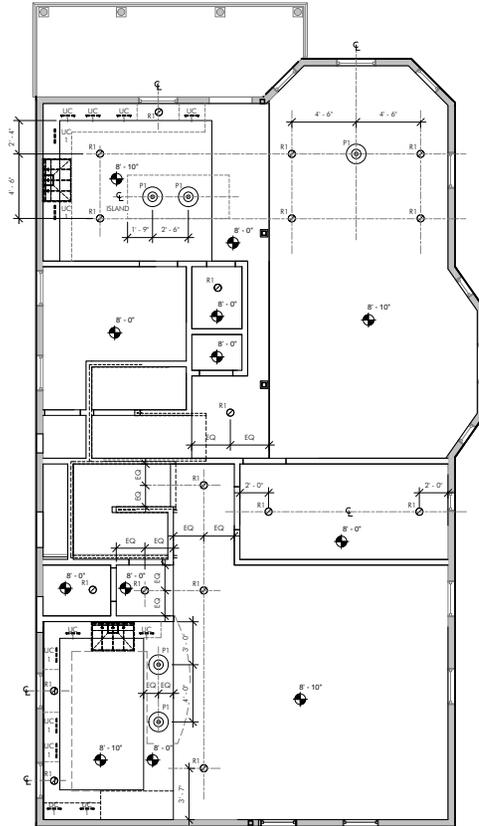
- 
UC1 UNDER CABINET LIGHTING (LED)
 MANUFACTURER: LIGHTFOUR
 MODEL: LED MICRO (WHITE)

- 
 BATHROOM EXHAUST FAN | LIGHT COMBO
 PROVIDE MINIMUM 100 CFM

- 
 BATHROOM EXHAUST FAN
 MANUFACTURER: PANASONIC
 MODEL: FV-11VF2
 PROVIDE MINIMUM 100 CFM

- 
 SMOKE DETECTOR
 (CONTRACTOR MAY PROVIDE COMBINATION
 SD AND CM)

- 
 CARBON MONOXIDE ALARM
 (CONTRACTOR MAY PROVIDE COMBINATION SD
 AND CM)



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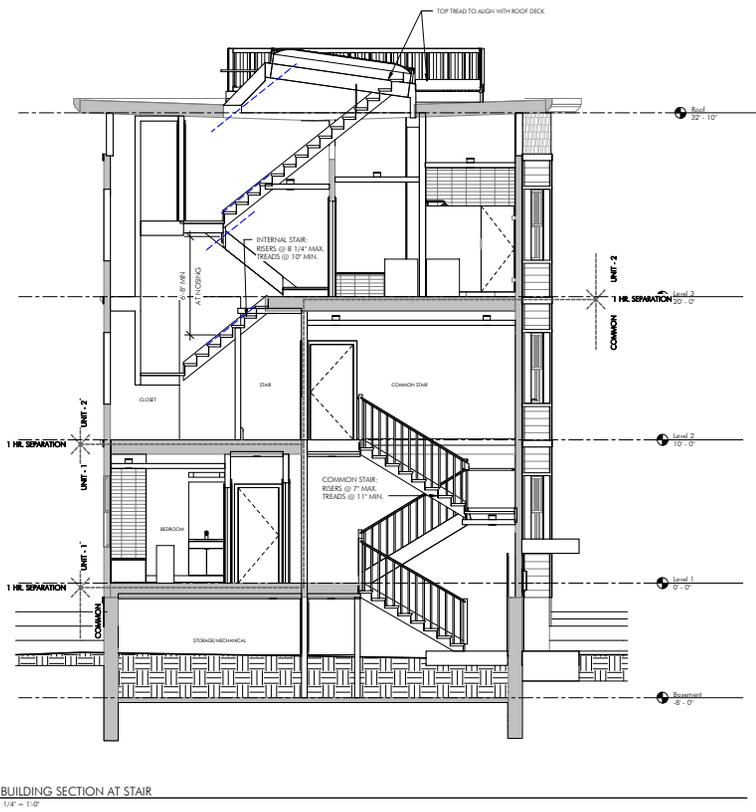
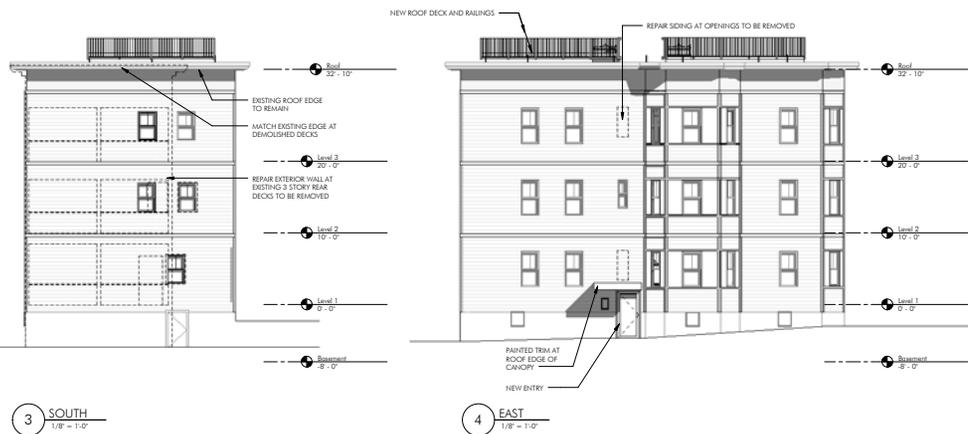
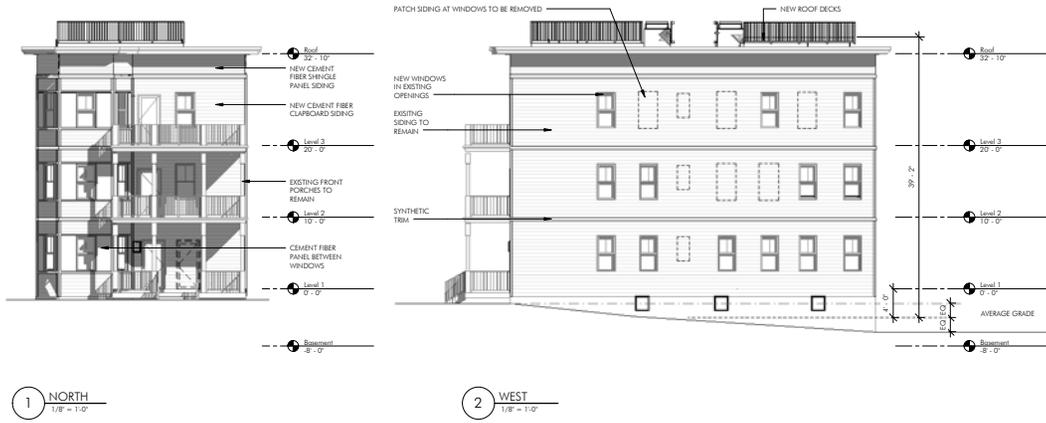
REVISIONS

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE	CONSTRUCTION SET
PROJECT #	1118
DRAWN BY	mmw
SCALE	1/4" = 1'-0"
DRAWING TITLE	REFLECTED CEILING PLANS
DRAWING NUMBER	A111

A111



SEPTEMBER 27, 2013

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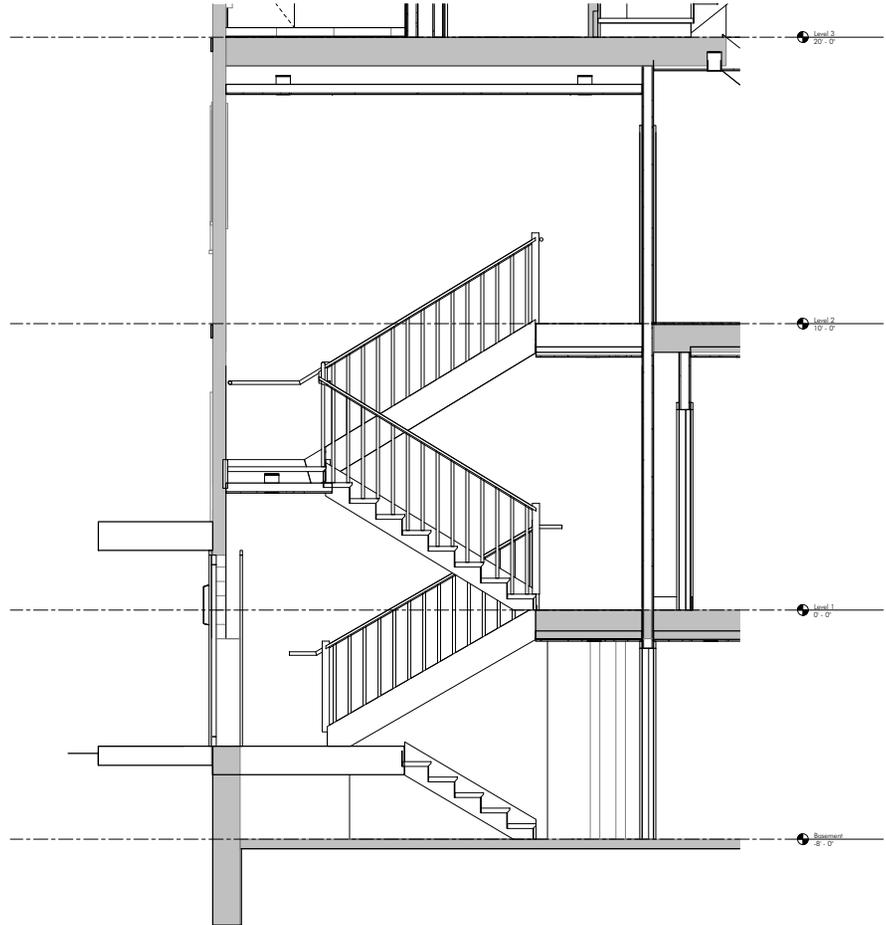
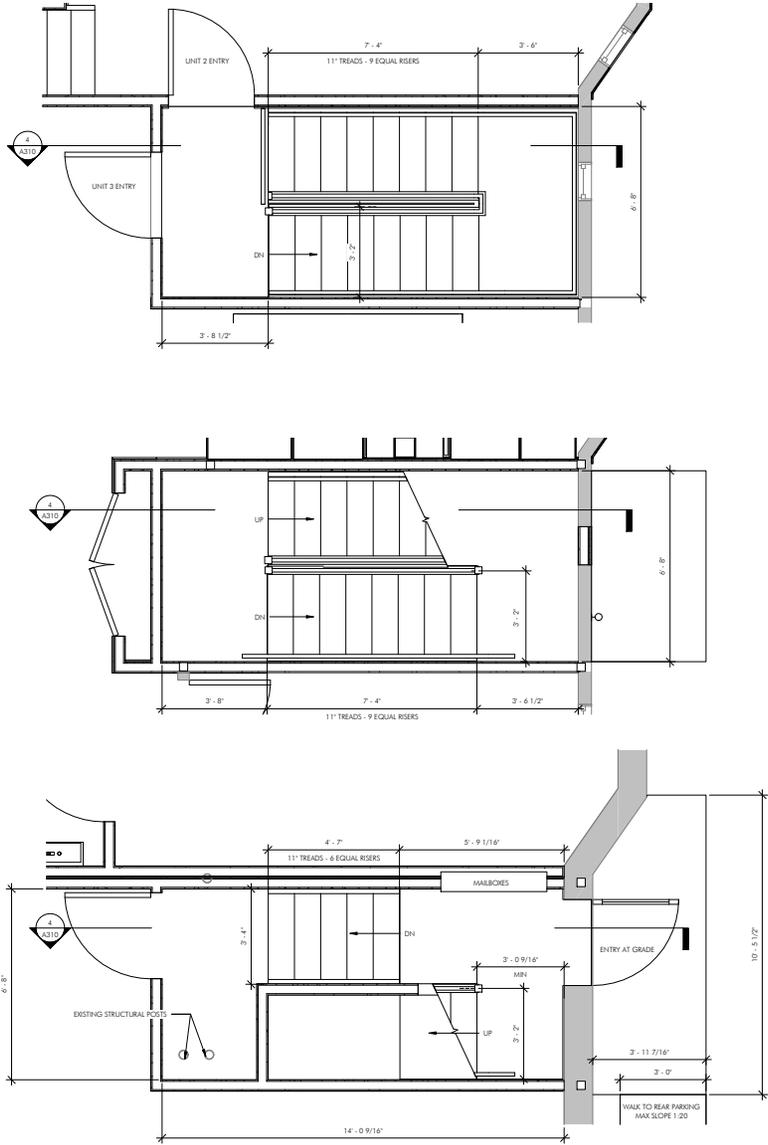
REVISIONS

DRAWING INFORMATION

ISSUE	CONSTRUCTION SET
PROJECT #	11111
DRAWN BY	Author
SCALE	As Indicated

DRAWING TITLE
**ELEVATIONS/
 SECTION**

DRAWING NUMBER
A201



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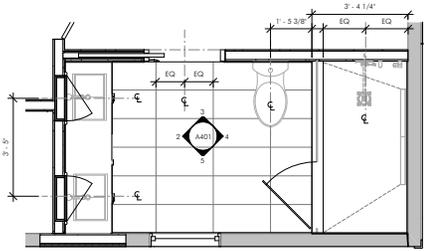
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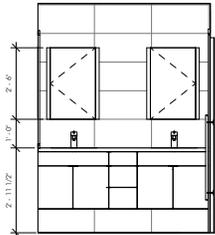
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PROJECT #	1111
DRAWN BY	Author
SCALE	1/2" = 1'-0"

DRAWING TITLE
COMMON STAIR PLANS AND SECTION

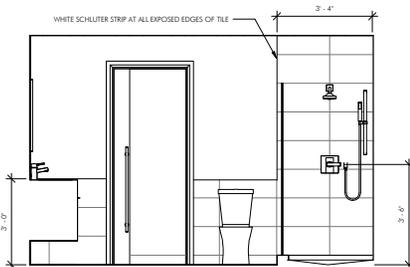
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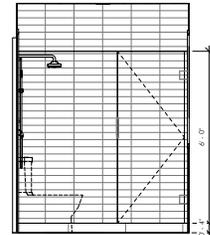
1 UNIT 1 - MASTER BATH
 1/2" = 1'-0"



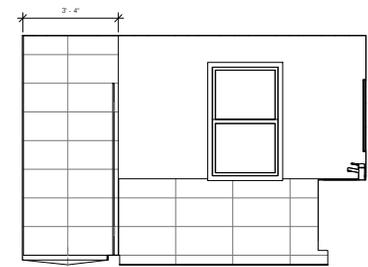
2 UNIT 1 MASTER BATH VANITY
 1/2" = 1'-0"



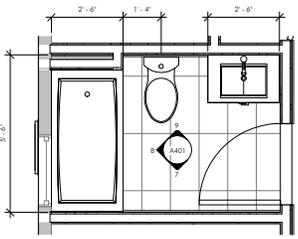
3 UNIT 1 MASTER BATH TOILET/SHOWER
 1/2" = 1'-0"



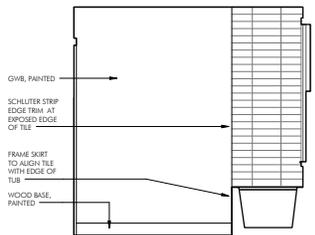
4 UNIT 1 MASTERBATH SHOWER
 1/2" = 1'-0"



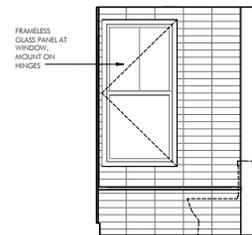
5 UNIT 1 MASTERBATH SIDE
 1/2" = 1'-0"



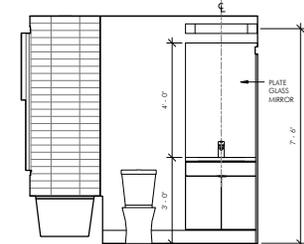
6 UNIT 1 - SECOND BATHROOM
 1/2" = 1'-0"



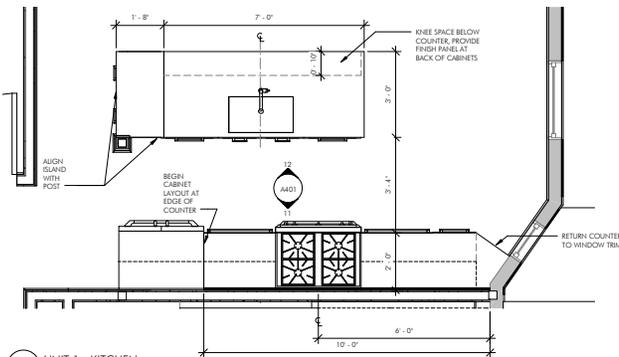
7 UNIT 1 SECOND BATH ELEVATIONS
 1/2" = 1'-0"



8 UNIT 1 SECOND BATH TUB ELEVATION
 1/2" = 1'-0"



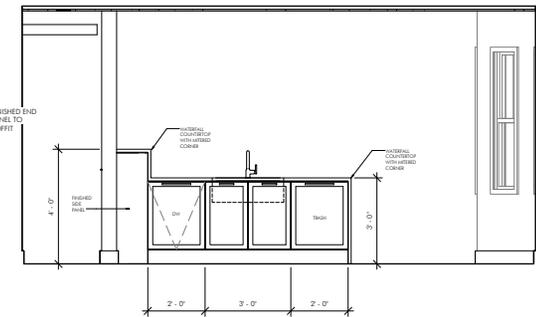
9 UNIT 1 SECOND BATH TUB TOILET VANITY ELEVATION
 1/2" = 1'-0"



10 UNIT 1 - KITCHEN
 1/2" = 1'-0"



11 UNIT 1 KITCHEN RANGE
 1/2" = 1'-0"



12 UNIT 1 KITCHEN ISLAND
 1/2" = 1'-0"

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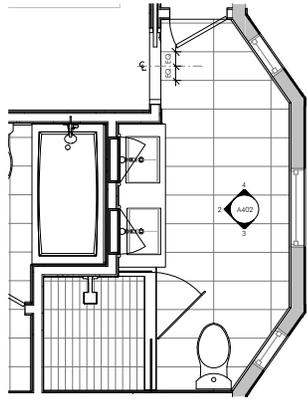
REVISIONS

DRAWING INFORMATION

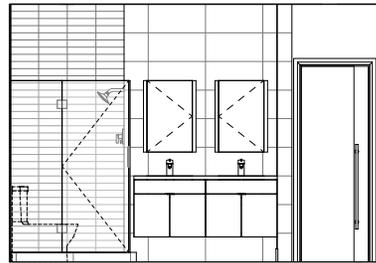
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SCALE	1/2" = 1'-0"

DRAWING TITLE
 UNIT 1 KITCHEN AND BATHS

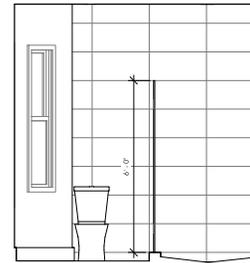
DRAWING NUMBER
A401



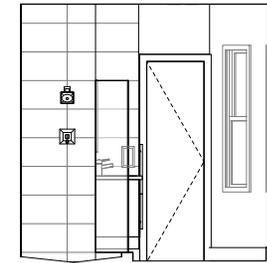
1 UNIT 2 MASTER BATH
 1/2" = 1'-0"



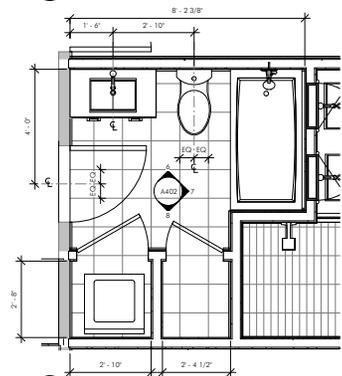
2 UNIT 2 MASTER BATH SINK
 1/2" = 1'-0"



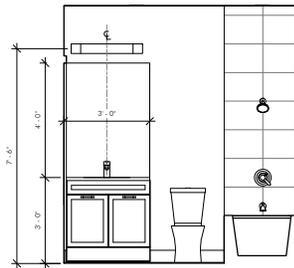
3 UNIT 2 MASTER BATH 2
 1/2" = 1'-0"



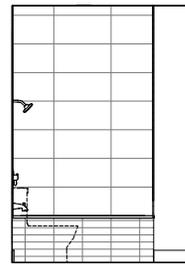
4 UNIT 2 MASTER BATH 1
 1/2" = 1'-0"



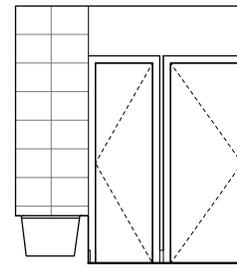
5 UNIT 2 SECOND BATH
 1/2" = 1'-0"



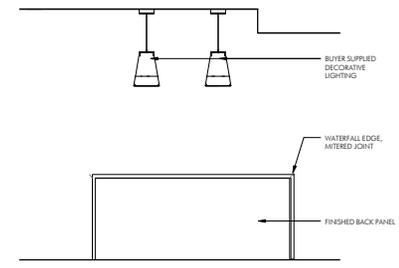
6 UNIT 2 SECOND BATH TUB TOILET VANITY ELEVATION
 1/2" = 1'-0"



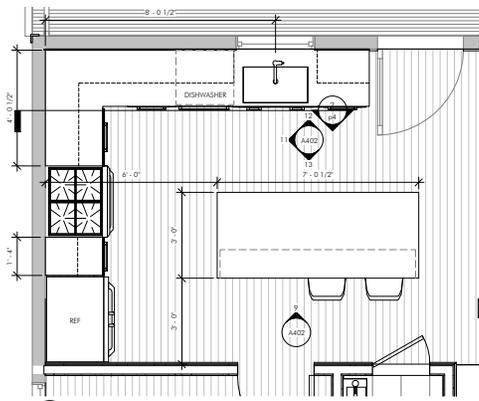
7 UNIT 2 TUB ELEVATION
 1/2" = 1'-0"



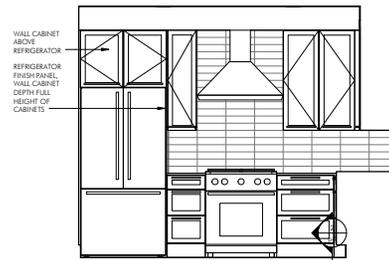
8 UNIT 3 TUB AND CLOSETS
 1/2" = 1'-0"



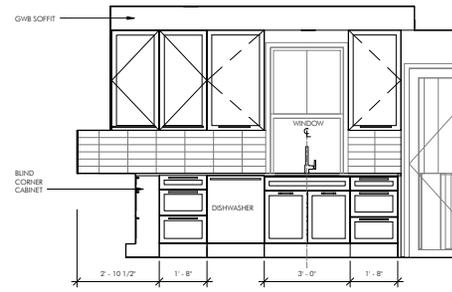
13 UNIT 2 KITCHEN ISLAND
 1/2" = 1'-0"



10 UNIT 2 KITCHEN
 1/2" = 1'-0"



11 UNIT 2 KITCHEN RANGE REFRIGERATOR
 1/2" = 1'-0"



12 UNIT 2 KITCHEN SINK
 1/2" = 1'-0"

SEPTEMBER 27, 2013

104 HOLLAND ST.
 Somerville, Ma

REVISIONS

NO.	DESCRIPTION

DRAWING INFORMATION

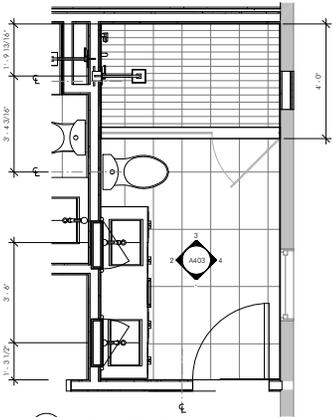
ISSUE	CONSTRUCTION SET
PROJECT #	1111
DRAWN BY	Author
SCALE	1/2" = 1'-0"

DRAWING TITLE
UNIT 2 KITCHEN AND BATHS

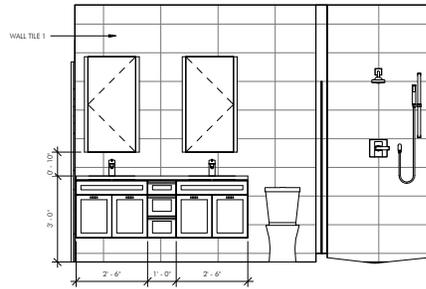
DRAWING NUMBER
A402

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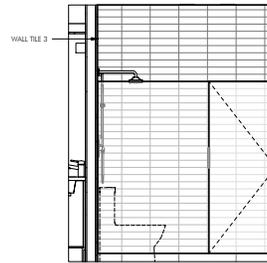
C:\Users\MarkW\Documents\Projects\1111\104 Holland St\1111_104 Holland St\1111_104 Holland St\CURSET.rvt
 10/17/2013 10:58:00 AM Author



1 UNIT 3 MASTER BATH
 1/2" = 1'-0"



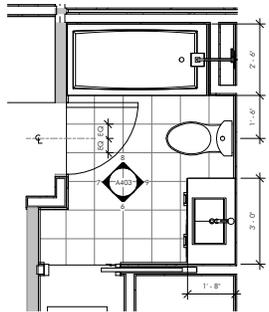
2 UNIT 3 MASTERBATH VANITY TOILET SHOWER
 1/2" = 1'-0"



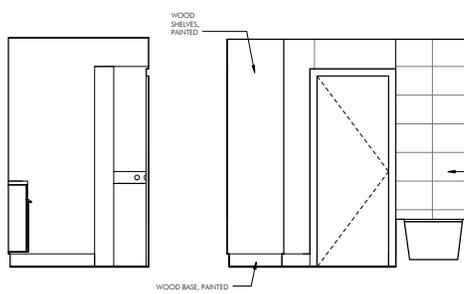
3 UNIT 3 SHOWER ELEVATION
 1/2" = 1'-0"



4 UNIT 3 WAINSCOT ELEVATION
 1/2" = 1'-0"

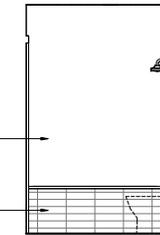


5 UNIT 3 SECOND BATH
 1/2" = 1'-0"

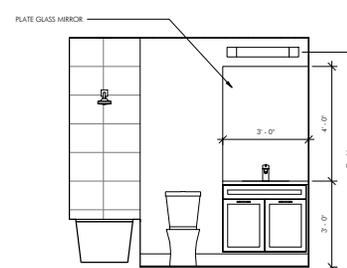


6 UNIT 3 SECOND BATH SIDE WALL
 1/2" = 1'-0"

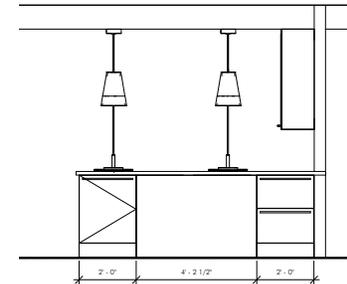
7 UNIT 3 SECOND BATH DOOR AND SHELVES
 1/2" = 1'-0"



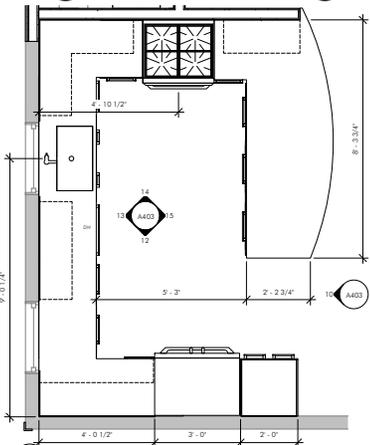
8 UNIT 3 SECOND BATH TUB
 1/2" = 1'-0"



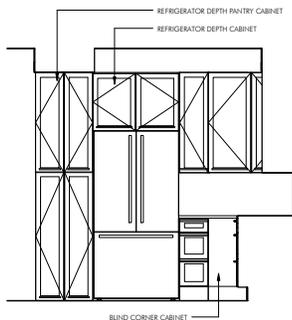
9 UNIT 3 SECOND BATH VANITY TOILET TUB
 1/2" = 1'-0"



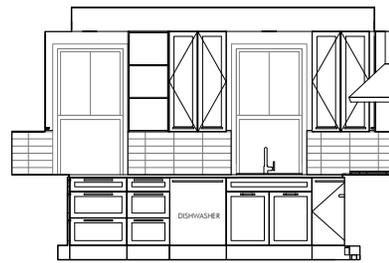
10 UNIT 3 KITCHEN ISLAND SEATING
 1/2" = 1'-0"



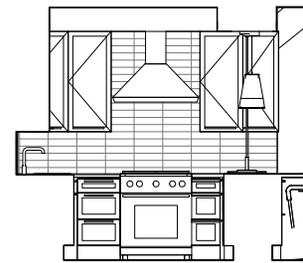
11 UNIT 3 KITCHEN
 1/2" = 1'-0"



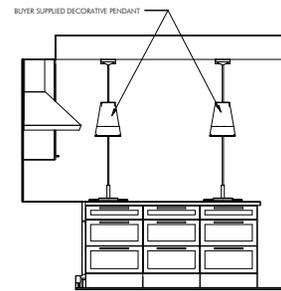
12 UNIT 3 KITCHEN REFRIGERATOR
 1/2" = 1'-0"



13 UNIT 3 KITCHEN SINK WALL
 1/2" = 1'-0"



14 UNIT 3 KITCHEN RANGE WALL
 1/2" = 1'-0"



15 UNIT 3 KITCHEN ISLAND
 1/2" = 1'-0"

SEPTEMBER 27, 2013

104 HOLLAND ST.
 Somerville, Ma

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE: CONSTRUCTION SET
 PROJECT #: 1118
 DRAWN BY: mmw
 SCALE: 1/2" = 1'-0"

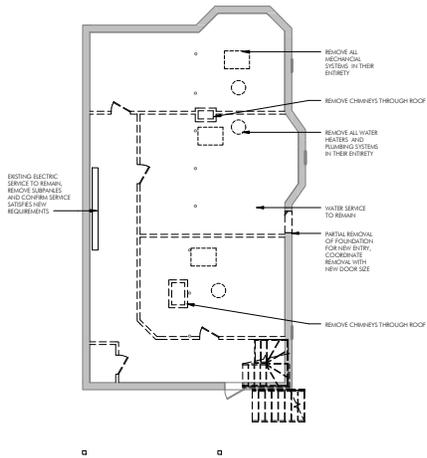
DRAWING TITLE

UNIT 3 KITCHEN AND BATHS

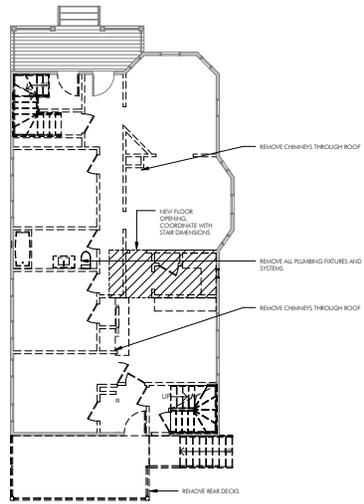
DRAWING NUMBER

A403

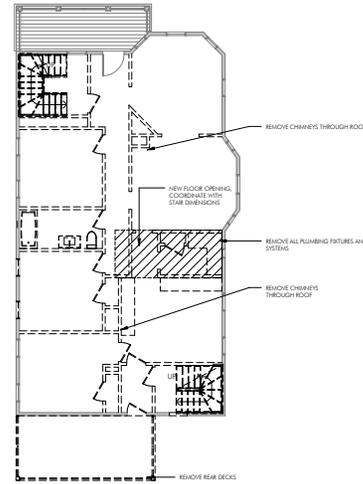
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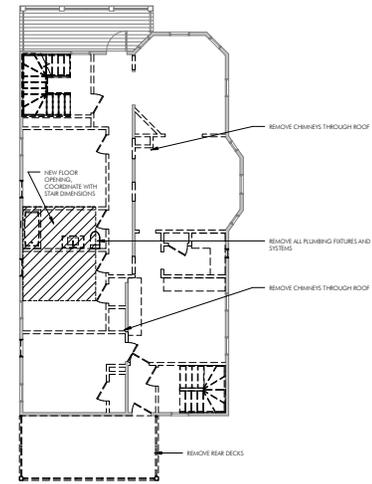
1 DEMOLITION PLAN - BASEMENT
 1/8" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
 1/8" = 1'-0"



3 DEMOLITION PLAN - SECOND FLOOR
 1/8" = 1'-0"



4 DEMOLITION PLAN - THIRD FLOOR
 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK IS TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT REMAINING ELEMENTS. REMAINING ELEMENTS ARE TO BE PROTECTED AS REQUIRED.
2. ALL EXISTING EXTERIOR WALLS ARE TO REMAIN UNLESS OTHERWISE NOTED.
3. ALL EXISTING DOORS AND WINDOWS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING INTERIOR CEILING, WALL, AND FLOOR FINISH.
5. REMOVE ALL INTERIOR WALLS. PROVIDE TEMPORARY SHORING FOR ALL FLOOR FRAMING AND REFRAME WALL ACCORDING TO NEW LAYOUTS.
6. REMOVE EXISTING MASONRY CHIMNEYS TO BASEMENT FLOOR LEVEL.
7. ALL FLOORING FINISH TO BE DEMOLISHED; REPAIR AND REPLACE SUB-FLOORING AS REQUIRED.
8. ALL DOORS NOTED AS DEMOLISHED INCLUDE THE REMOVAL OF THE DOOR, HARDWARE, AND FRAME UNLESS OTHERWISE NOTED.
9. REMOVE ALL PLUMBING IN WALL OR FLOOR CAVITIES.
10. REMOVE ALL ELECTRICAL WIRING, OUTLETS, SWITCHES, AND DEVICES.
11. CONTRACTOR IS TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
12. PROVIDE SHORING AND SUPPORT TO ALL STRUCTURAL ELEMENTS INDICATED TO REMAIN.
13. REMOVE ALL MECHANICAL SYSTEMS IN THEIR ENTIRETY.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- DEMOLISHED WALL
- AREA NOT IN CONTRACT

SEPTEMBER 27, 2013

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 Somerville, Ma

REVISIONS

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DRAWING INFORMATION

ISSUE	CONSTRUCTION SET
PROJECT #	1111
DRAWN BY	Author
SCALE	As Indicated

DRAWING TITLE
DEMOLITION PLANS

DRAWING NUMBER

D100

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