

CAMERON AVENUE

ZONING REQUIREMENTS

ZONE DISTRICT: RC

	REQUIRED	EXISTING	PROPOSED
USE		2 FAMILY RESIDENCE	3 FAMILY RESIDENCE
NO. OF DWELLING UNITS		2	3
LOT AREA	7,500±S.F.	4,500±S.F.	4,500±S.F.
LOT AREA PER DWELLING UNIT	875±S.F.	2,250±S.F.	1,500±S.F.
MINIMUM FRONTAGE	50'	45'	45'
GROSS FLOOR AREA OF ALL BUILDINGS		1,557±S.F.	1,780±S.F.
GROUND COVERAGE	70%	28.2%	34%
LANDSCAPED AREA	25%		
PERVIOUS AREA	30%		
NET FLOOR AREA	2,912±S.F.	2,912±S.F.	4,012±S.F.
FLOOR AREA RATIO (FAR)	2.0	.65	.892
BUILDING HEIGHT	40'	30.2'	34.6'
STORIES	3	2 1/2	2 1/2
FRONT YARD SETBACK	15'	16.7'	16.7'
REAR YARD SETBACK	20'	31.8' / 3.2'	27.1'
LEFT SIDE SETBACK	8'	2.3'	2.3'
RIGHT SIDE SETBACK	8'	14.9'	13.1'
TOTAL	MIN 8' TOTAL OF 17'	(TOTAL=17.2)	(TOTAL=15.4')
STREET FRONTAGE	50'	45'	45'

NOTES:

- 1.) PROPERTY OWNER/APPLICANT IS: DANIEL M. MURPHY, 3 CAMERON AVE, SOMERVILLE, MA 02144.
- 2.) THE PROPERTY IS LOCATED IN A RC ZONE DISTRICT.
- 3.) THE PARCEL IS SHOWN ON ASSESSORS MAP 13, BLOCK C AND LOT 5.
- 4.) UNDERGROUND AND OVERHEAD UTILITIES ARE NOT SHOWN. BEFORE CONSTRUCTION OR DESIGN CALL "DIG SAFE" 1-888-344-7233.

LEGEND:  
 BSMT BASEMENT  
 CONC. CONCRETE  
 F.F. FIRST FLOOR  
 G.F. GARAGE FLOOR  
 STY STORY  
 W/F WOOD FRAME  
 99x73 EXISTING SPOT GRADE

REFERENCE:  
 MIDDLESEX COUNTY REGISTRY OF DEEDS,  
 SOUTH DISTRICT.  
 DEED BOOK 62612, PAGE 580  
 PLAN BOOK 20, PLAN 15



PLOT PLAN  
 IN  
 SOMERVILLE, MASS.  
 SCALE: 1IN.= 20 FT. JUNE 12, 2014  
 NOONAN & MC DOWELL, INC.  
 SUITE 6, 25 BRIDGE ST.  
 BILLERICA, MA. 01821-1023  
 (978) 667-9736

*John Lawrence Noonan*  
 6/12/14

JOB NO. 2182/002  
 DWG. NO. 2182

# MURPHY RESIDENCE

## 3 CAMERON AVE

### SOMERVILLE, MA 02144

ARCHITECT: tbc ARCHITECTS, LLC.  
7 BRIDGE STREET UNIT 9  
BILLERICA, MA 01821  
978-667-7971



Architects / Builder

7 Bridge Street Unit 9  
BillERICA, MA 01821

VDC: (978)667-7971 FAX: (978)670-8138

CONSULTANT:

NOTE:

CONTRACTOR TO PROTECT (E) LIVING SPACES FROM DAMAGE

DO NOT SCALE DRAWINGS

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD

TO BE BUILT TO IBC AND IBC 2009, AND IECC 2012 CODE STANDARDS WITH MASSACHUSETTS AMENDMENTS

PROGRESS SET

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#### DRAWING LIST

A0.0	COVER SHEET
EC1.0	EXISTING CONDITIONS
D1.0	DEMOLITION PLANS
D1.1	DEMOLITION PLANS
A1.0	BASEMENT & FIRST FLOOR PLANS
A1.1	SECOND FLOOR & THIRD FLOOR PLANS
A2.0	FRONT AND RIGHT ELEVATIONS
A2.1	REAR AND LEFT ELEVATIONS
S1.0	FOUNDATION PLAN
S1.1	FRAMING PLANS
E1.0	ELECTRICAL PLANS
FA1.0	FIRE PROTECTIONS PLANS
M1.0	MECHANICAL DIAGRAMS

#### ABBREVIATIONS

AC	AIR CONDITIONING	HORIZ	HORIZONTAL	REV	REVISION
ALUM	ALUMINUM	HVAC	HEATING VENTILATION AIR CONDITIONING	RM	ROOM
BM	BEAM	INCL	INCLUDE (D, ING)	RO	ROUGH OPENING
BLKG	BLOCKING	INCAN	INCANDESCENT	SC	SOLID CORE
BR	BEDROOM	INSUL	INSULATION	SCHED	SCHEDULE
CAB	CABINET	INT	INTERIOR	SECT	SECTION
CEM	CEMENT	LAM	LAMINATE (D)	SHIT	SHEET
CLG	CEILING	LAV	LAVATORY	SIM	SIMILAR
CLO	CLOSET	LTG	LIGHTING	SPEC	SPECIFICATIONS
COL	COLUMN	MAT	MATERIAL	SQ	SQUARE
CONC	CONCRETE	MEMB	MEMBRANE	ST	STAINLESS
CPT	CARPET	MFR	MANUFACTURER	STA	STATION
CT	CERAMIC TILE	MIN	MINIMUM	STD	STANDARD
CTR	CENTER	MIS	MISCELLANEOUS	STRUC	STRUCTURAL
DIA	DIAMETER	MC	MASONRY OPENING	STOR	STORAGE
DIM	DIMENSION	MTD	MOUNTED	SUSP	SUSPENDED
DN	DOWN	MTL	METAL	T	TREAD
DR	DOOR	(N)	NEW	T & G	TONGUE & GROOVE
ELEV	ELEVATION	NIC	NOT IN CONTRACT	TEL	TELEPHONE
EQ	EQUAL	NO	NUMBER	TOP	TOP OF PLATE
(E)	EXISTING	NTS	NOT TO SCALE	TV	TELEVISION
EXT	EXTERIOR	OC	ON CENTER	TYP	TYPICAL
FD	FLOOR DRAIN	OPP	OPPOSITE	UON	UNLESS OTHERWISE NOTED
FDN	FOUNDATION	PC	PRECAST	VCT	VINYL COMPOSITE
FIN	FINISH	PL	PLATE	VERT	VERTICAL
FLT	FLOOR	PLAM	PLASTIC LAMINATE	W	WIDE
FT	FOOTING	PLAS	PLASTER	W/	WITH
GL	GLASS	PLYW	PLYWOOD	WC	WATER CLOSET
GR	GRADE	PNT	PARTITION	WD	WOOD
GWB	GYPSUM WALL BOARD	PTH	PARTITION	WID	WITHOUT
HC	HOLLOW CORE	PVC	POLY VINYL CHLORIDE	WPR	WATERPROOF (ING)
HDWD	HARDWOOD	QTY	QUANTITY	WT	WEIGHT
HDW	HARDWARE	REQ	REQUIRED	&	AND
HGT	HEIGHT	R	RADIUS	@	AT

#### SYMBOLS

	WALL TYPE
	BUILDING SECTION
	WALL SECTION
	INTERIOR ELEVATION
	PLAN, ELEVATION SECTION, DETAIL, TITLE TAG
	ELEVATION HEIGHT TAG
	STEEL
	CONCRETE
	MASONRY UNIT
	NEW WALL
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	OBJECT ABOVE OR BELOW
	DOOR NO. INDICATOR
	DOOR TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	DETAIL NUMBER

#### SYMBOLS

	3 1/2" LALLY COLUMN
	WINDOW NUMBER
	KEY NOTE
	REVISION CLOUD
	CERAMIC TILE
	DOOR NUMBER
	5-0" HANDICAPPED RADIUS
	DRAIN
	UNDERGROUND WATER COLLECTION SYSTEM TO DAYLIGHT
	COLD WATER SUPPLY
	HOT WATER SUPPLY
	UP (HOT / COLD / WASTE SUPPLY / RETURN RISER)
	DOWN (HOT / COLD / WASTE SUPPLY / RETURN RISER)
	H <sub>2</sub> O SEWER
	GAS
	WATER METER
	CONVECTOR
	TOILET
	HOSE BIB (FROST FREE)
	SHOWER HEAD
	DISHWASHER
	REFRIGERATOR
	WATER HEATER
	FURNACE
	BOILER
	WASHER
	DRYER
	EJECTOR OR SUMP PUMP
	(E) SUPPLY AIR VENT
	(E) SUPPLY AIR / RETURN VENT DUCTWORK TO BE REMOVED
	VERTICAL DROP FROM ATTIC THRU WALL
	RETURN AIR
	SUPPLY AIR
	CHASE OPENING SHAFT
	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER
	EXTERIOR GROUND FAULT INTERRUPTER - WATER PROOF
	GARAGE DOOR OPENER

#### SYMBOLS

	VANITY LIGHT BAR
	1 HEAD FLOOD LIGHT w/ MOTION DETECTOR
	2 HEAD FLOOD LIGHTS w/ MOTION DETECTOR
	EXTERIOR LIGHT
	GARAGE DOOR KEY PAD
	DOOR BELL
	SINGLE POLE SWITCH
	2 WAY POLE SWITCH
	3 WAY POLE SWITCH
	CFL SURFACE LIGHT
	WATERPROOF RECESSED
	CIRCULAR FLOURESCENT
	WALL SCONCE
	EXTERIOR WALL LIGHT
	PENDANT
	PORCELAIN LIGHT FIXTURE
	RECESSED CFL LIGHT FIXTURE
	SURFACE MOUNTED FLOURESCENT LIGHT
	2x4 FLOURESCENT LIGHT
	CABLE TV
	TELEPHONE JACK
	ETHERNET CAT 5 / CABLE
	CHIMES
	FIRE PULL STATION
	EXIT SIGN
	SPRINKLER HEAD
	CHANDELIER
	CEILING FAN
	CEILING FAN w/ LIGHT
	BATH FAN & (L)
	WALL BATH FAN
	AIR FLOW
	PHOTO ELECTRIC SMOKE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	HEAT DETECTOR
	TELEPHONE JACK OUTLET
	SPECIAL OUTLET
	FIRE ALARM
	EMERGENCY LIGHT
	THERMOSTAT
	SURVEILLANCE CAMERA
	FIRE DETECTOR
	FIRE ALARM / STROBE
	PULL BOX
	ELECTRICAL PANEL AMP
	FIRE EXTINGUISHER

#### ENERGY REQUIREMENTS

REF: 2009 INTERNATIONAL ENERGY CODE,  
2009 INTERNATIONAL RESIDENTIAL CODE WITH  
780 CMR MASSACHUSETTS AMENDMENTS

- 302.1 DESIGN CRITERIA:  
INTERIOR HEATING TEMPERATURE 72°F/22°C COOLING TEMPERATURE 75°F/24°C
- 303.1.1 SPF INSTALLER SHALL POST THE R VALUE OF INSULATION ON THE JOB SITE. BLOWN IN GLASS & CELLULOSE INSTALLERS SHALL PROVIDE A WRITTEN CERTIFICATION OF THE R VALUE WHEN SETTLED. PROVIDE 1 TAG FOR EVERY 300 SQ FT IN ATTICS AND CEILINGS. LIST R VALUES ON ALL CERTIFICATIONS.
- 303.2.1 FOUNDATION INSTALLATION SHALL BE COVERED WITH WEATHER RESISTANT PROTECTIVE COVERING 6" BELOW GRADE.
- 4.03.1.1 PROVIDE PROGRAMMABLE T STAT.
- 403.2 INSULATE SUPPLY DUCTS w/MIN R8 IN ATTICS. INSULATE ALL OTHER DUCTS WITH MIN R 6.
- 403.2.2 ALL DUCTS & EQUIPMENT TO BE SEALED w/MASTIC TAPE OR EQUAL. POST CONSTRUCTION TEST VERIFY LEAKAGE. NO MORE THAN:  
1. 8CFM/100 SF OF CONDITIONED F.A.  
OR LESS THAN 12 CFM/100 SF OF UNCONDITIONED F.A.  
TEST w/PRESSURE DIFFERENTIAL OF 1 INCH ACROSS SYSTEM, INCLUDING DUCTS AND AIR HANDLERS.  
2. TAPE ALL REGISTER BOOTS.
- II ROUGH TEST LEAKAGE  
1. LESS THAN OR EQUAL TO 6 CFM/100 SF PRESSURE DIFFERENTIAL .1" ACROSS ROUGH ENCLOSURE INCLUDING AIR HANDLER. TAPE ALL REGISTER BOOTS.  
2. WITH NO AIR HANDLER, LESS THAN OR EQUAL TO 4 CFM/100 SF CONDITIONED SPACE.  
DUCT TIGHTNESS NOT REQUIRED WITHIN CONDITIONED SPACE.
- 403.2.3 DO NOT USE BLDG CAVITIES AS SUPPLIES OR RETURNS.
- 403.3.3 ALL HEATING AND REFRIGERATION PIPING TO BE INSULATED w/A MIN R2 INSULATION.
- 403.3.4 CIRCULATION PUMPS/VALVES TO HAVE AUTOMATIC OR MANUAL SHUTOFF.
- 403.3.5 ALL AIR INTAKES & EXHAUSTS TO HAVE A GRAVITY DAMPER.
- 403.3.6 HEATING & COOLING EQUIP LOADS NEED TO BE CALCULATED ACCORDING TO ACCA MANUAL J.
- 404.1 50% OF ALL LIGHTS INSTALLED SHALL BE HIGH EFFICIENCY.

CERTIFICATE BUILDER/DESIGNER SHALL LIST ALL R VALUES ON ELECTRICAL PANEL ON THE OUTSIDE OF THE DOOR FOR THE FOLLOWING:	
CEILING/ROOF	R VALUE
WALLS	_____
FOUNDATION	_____
SLAB ON GRADE WALL	_____
FLOOR	_____
CRAWL SPACE VENTED	_____
CRAWL SPACE UNVENTED	_____
DUCTS OUTSIDE	_____
CONDITIONED SPACE	_____

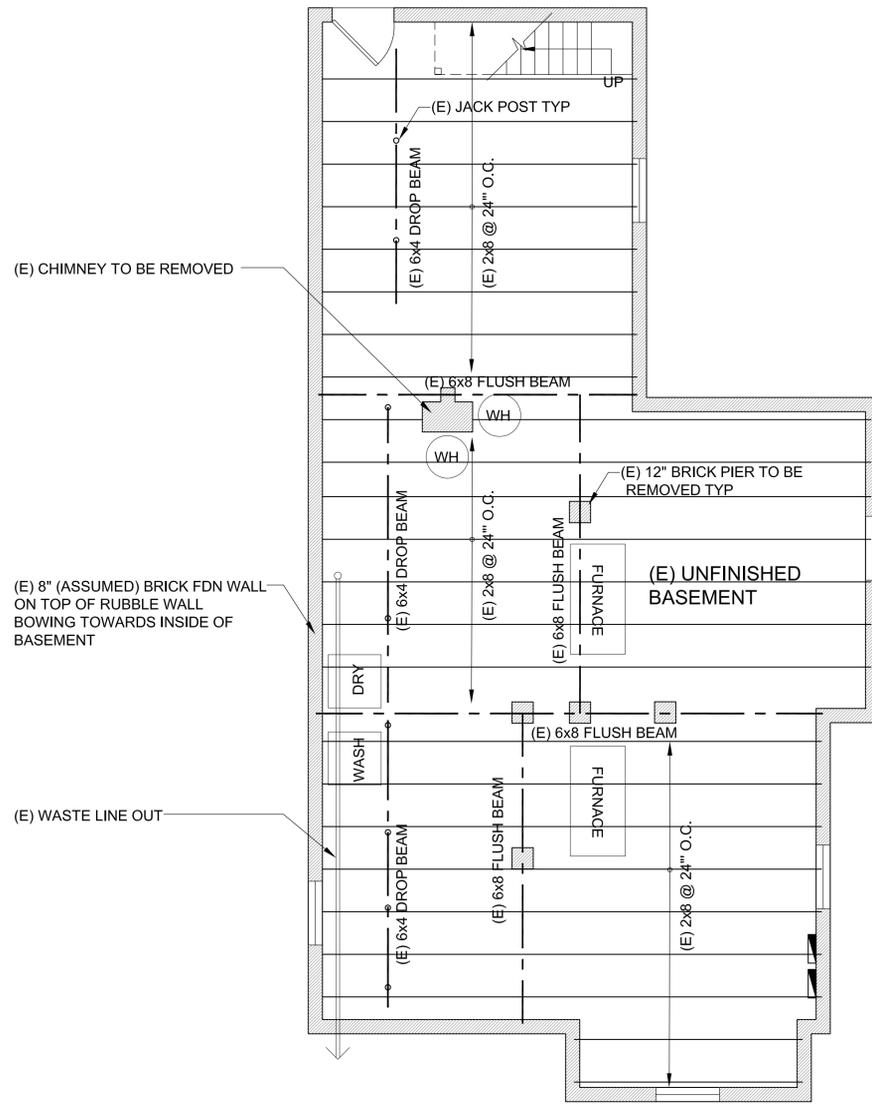
WINDOWS		R VALUE	U VALUE	SHGC
DOORS		_____	_____	_____
303.3 TITLE OF EQUIPMENT, MODEL #		MANUAL NAME		
FURNACE 1		_____		
FURNACE 2		_____		
BOILER		_____		
WATER HEATER		_____		

REVISED: \_\_\_\_\_ DATE: \_\_\_\_\_

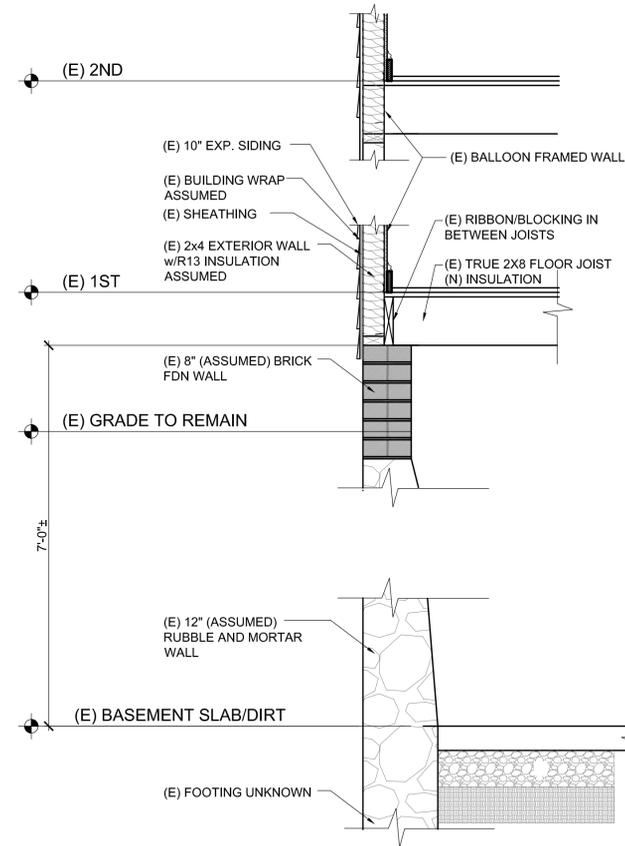
CLIENT: MURPHY RESIDENCE  
3 CAMERON AVE  
SOMERVILLE, MA 02144

SHEET TITLE: COVER SHEET

DWN. BY: NMM DWG. NO. \_\_\_\_\_  
CHK. BY: DK \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: 6/11/14  
**A0.0**



1 BASEMENT PLAN



2 EXISTING FDN/BASEMENT WALL DETAIL  
SCALE = 1" = 1'-0"

SEQUENCE OF CONSTRUCTION

1. INSTALL LEDGER BD ON EXTERIOR. LAG STUDS AND JOISTS TO LEDGER.
2. SHORE FLOOR UNDER EXISTING BEAMS.
3. INSTALL STEEL BEAMS UNDER (E) BEAMS TO BE ABLE TO RAISE STRUCTURE.

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REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT:  
MURPHY RESIDENCE  
3 CAMERON AVE  
SOMERVILLE, MA 02144

SHEET TITLE:  
EXISTING BASEMENT PLAN

DWN. BY:	NMM	DWG. NO.	EC1.0
CHK. BY:	DK		
SCALE:	AS NOTED		
DATE:	6/12/14		



**NOTES:**

ALL EXTERIOR WALLS TO BE REPLACED WITH 5/8" TYPE X GWB TO ACHIEVE A 1 HR RATING.

ALL INTERIOR WALLS TO BE 2x4 @ 16 O.C. w/ 5/8" TYPE X GWB

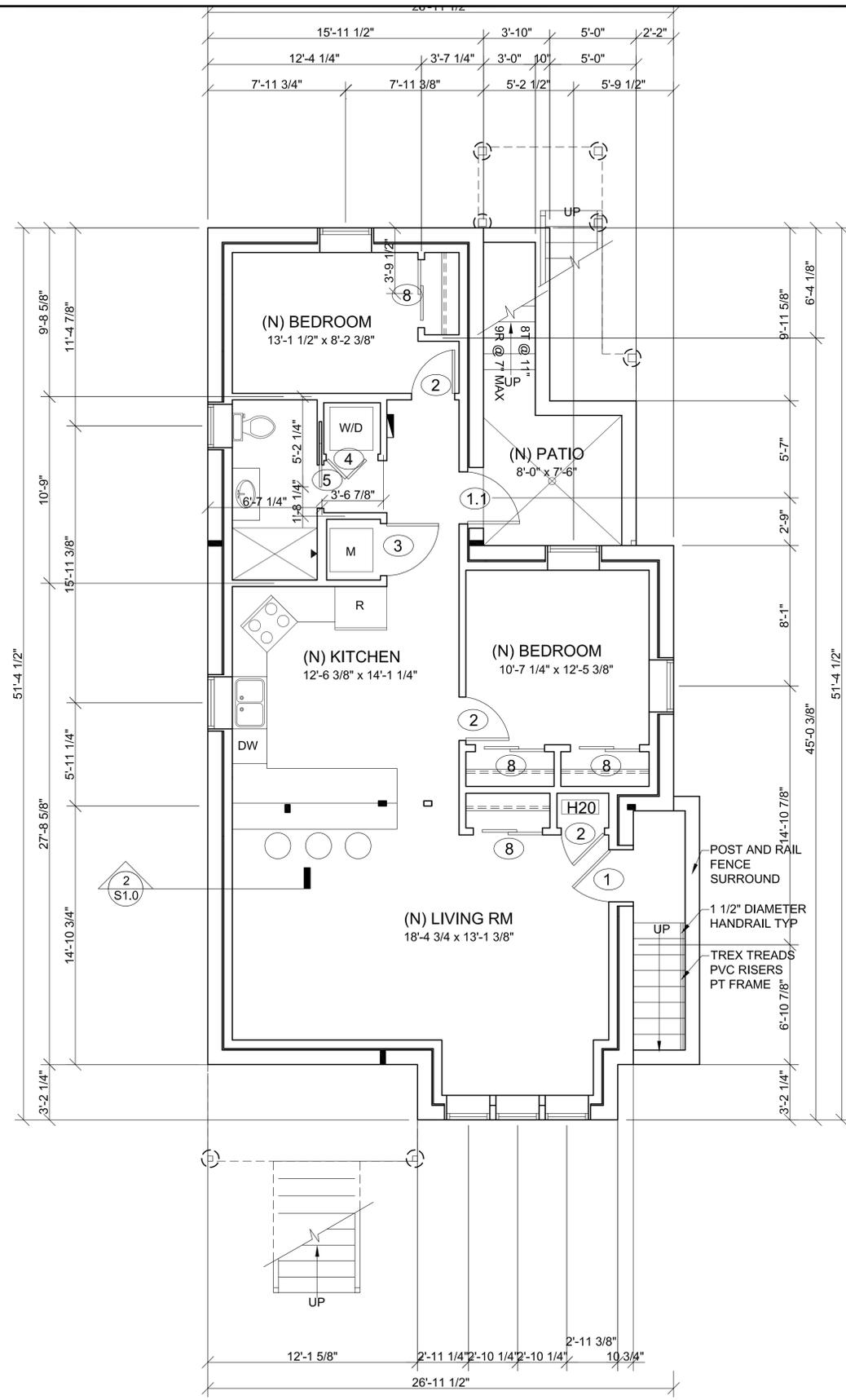
BASEMENT, 1ST AND 2ND STORY CEILINGS TO HAVE 2 LAYERS 5/8" TYPE X GWB TO ACHIEVE A 1 HR RATING.

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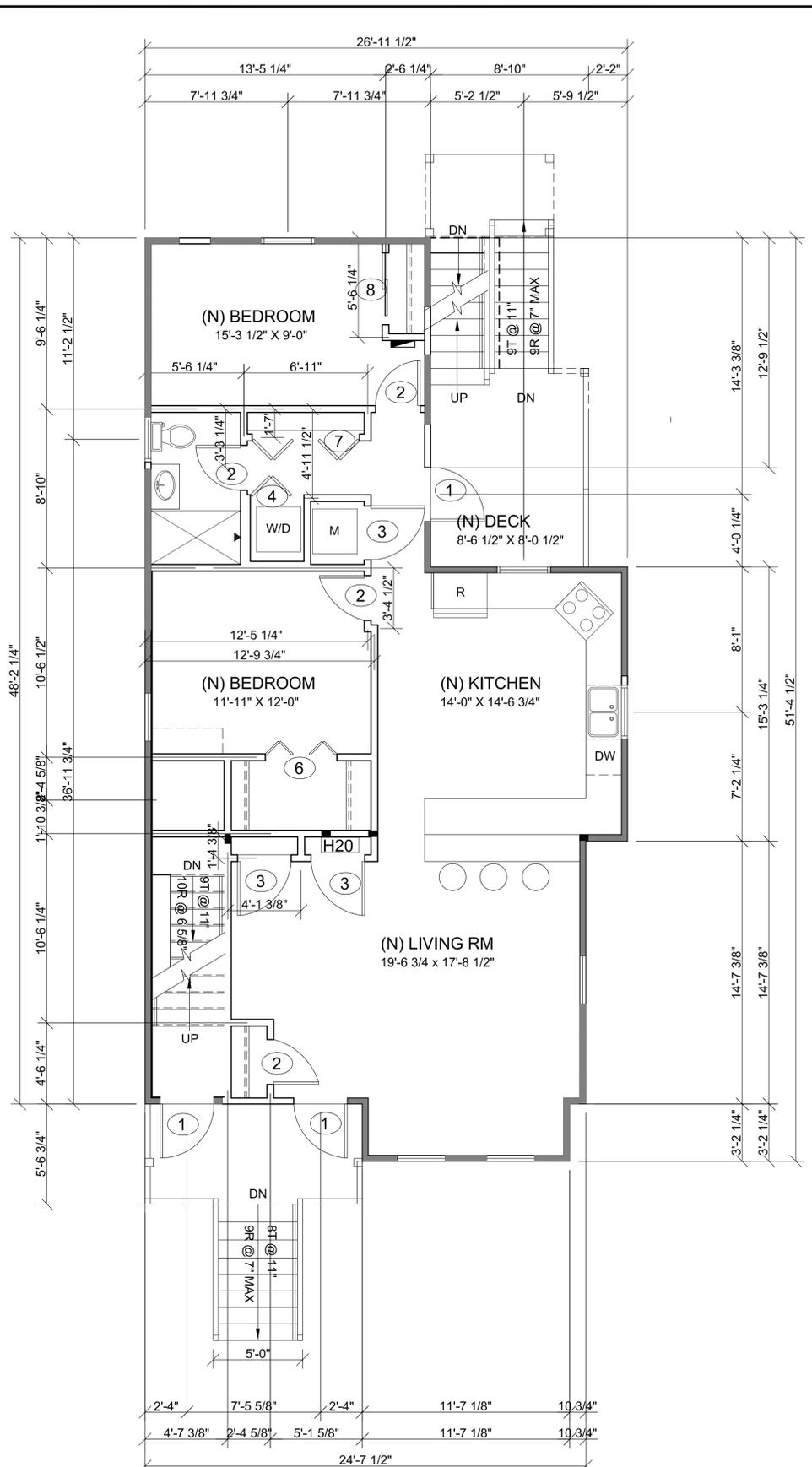
REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_  
CLIENT: MURPHY RESIDENCE  
3 CAMERON AVE  
SOMERVILLE, MA 02144

SHEET TITLE: PROPOSED PLANS

DWN. BY: NMM  
CHK. BY: DK  
SCALE: 1/4" = 1'-0"  
DATE: 6/11/14  
**A1.0**

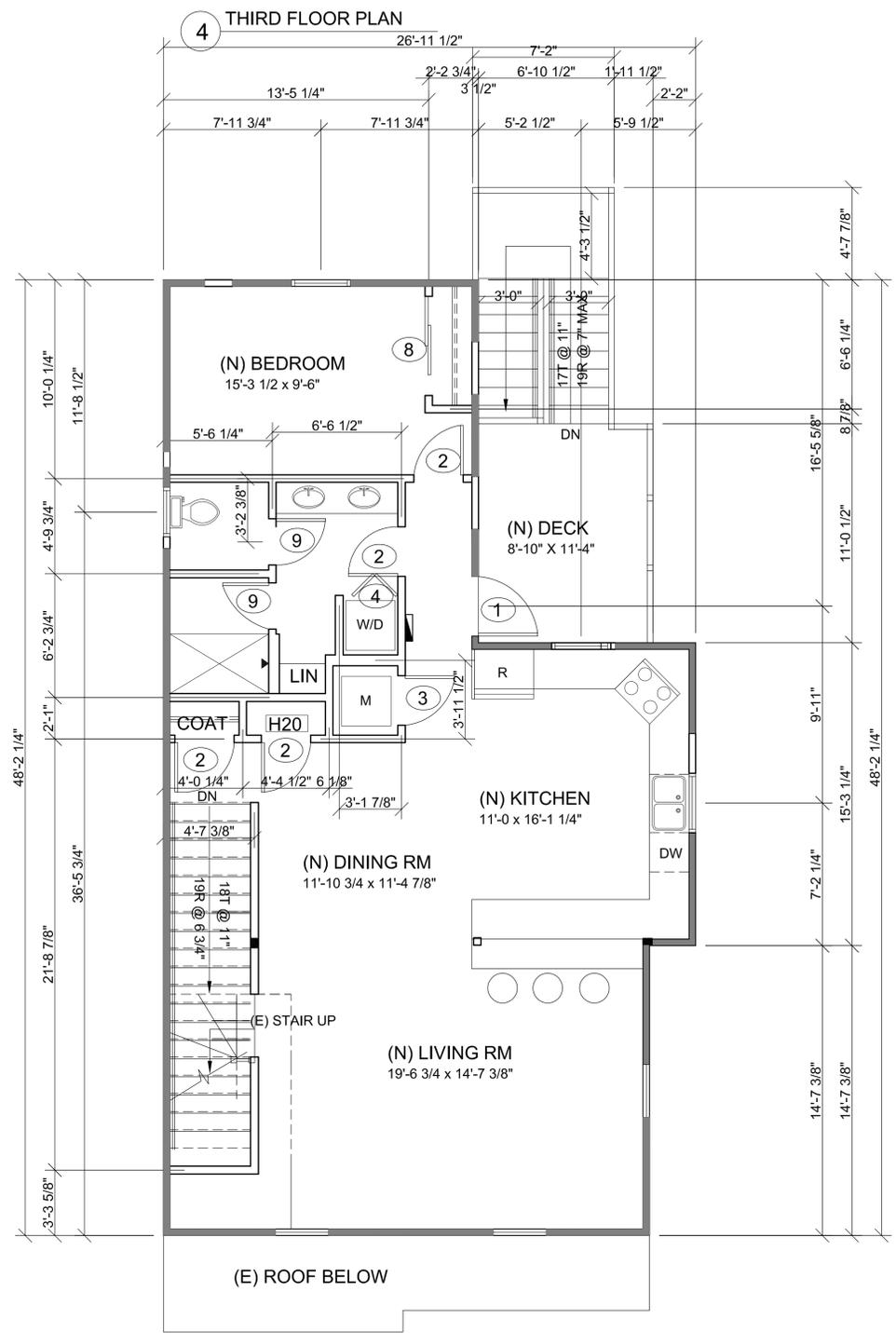


**1** BASEMENT PLAN  
1101 GSF

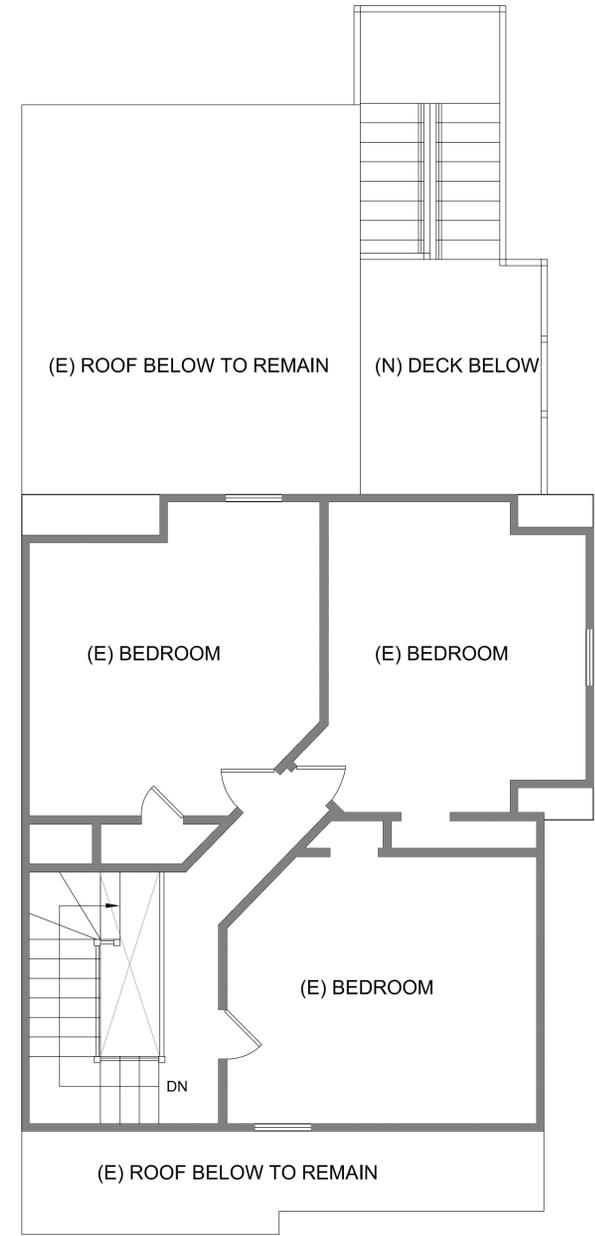


**2** FIRST FLOOR PLAN  
1101 GSF

**NOTES:**  
ALL EXTERIOR WALLS TO BE REPLACED WITH 5/8" TYPE X GWB TO ACHIEVE A 1 HR RATING.  
ALL INTERIOR WALLS TO BE 2x4 @ 16 O.C. w/ 5/8" TYPE X GWB  
BASEMENT, 1ST AND 2ND STORY CEILINGS TO HAVE 2 LAYERS 5/8" TYPE X GWB TO ACHIEVE A 1 HR RATING.



**1** SECOND FLOOR PLAN  
1064 GSF



**2** THIRD FLOOR PLAN  
748 GSF

DOOR NO.	DOOR SIZE	EXT.	INT.	JAMB	REMARK
1	3'-0"x6'-8"	X		4 7/8"	
1.1	3'-0"x6'-8"	X		6 9/16"	
2	2'-6"x6'-8"		X	4 7/8"	6 PANEL SOLID CORE
3	3'-0"x6'-8"		X	4 7/8"	MECHANICAL ROOM DOOR
4	3'-0"x6'-8"		X	4 7/8"	BIFOLD DOOR
5	2'-6"x6'-8"		X	4 7/8"	POCKET DOOR
6	4'-0"x6'-8"		X	4 7/8"	BIFOLD DOOR
7	6'-0"x6'-8"		X	4 7/8"	BIFOLD
8	4'-0"x6'-8"		X	4 7/8"	SLIDER
9	2'-4"x6'-8"		X	4 7/8"	6 PANEL SOLID CORE

INTERIOR DOORS TO BE SOLID CORE, 6 PANEL MOLDED PREHUNG, JAMB TO FIT WALLS WITH 3/8" GWB  
EXTERIOR DOORS TO BE INSULATED FIBERGLASS

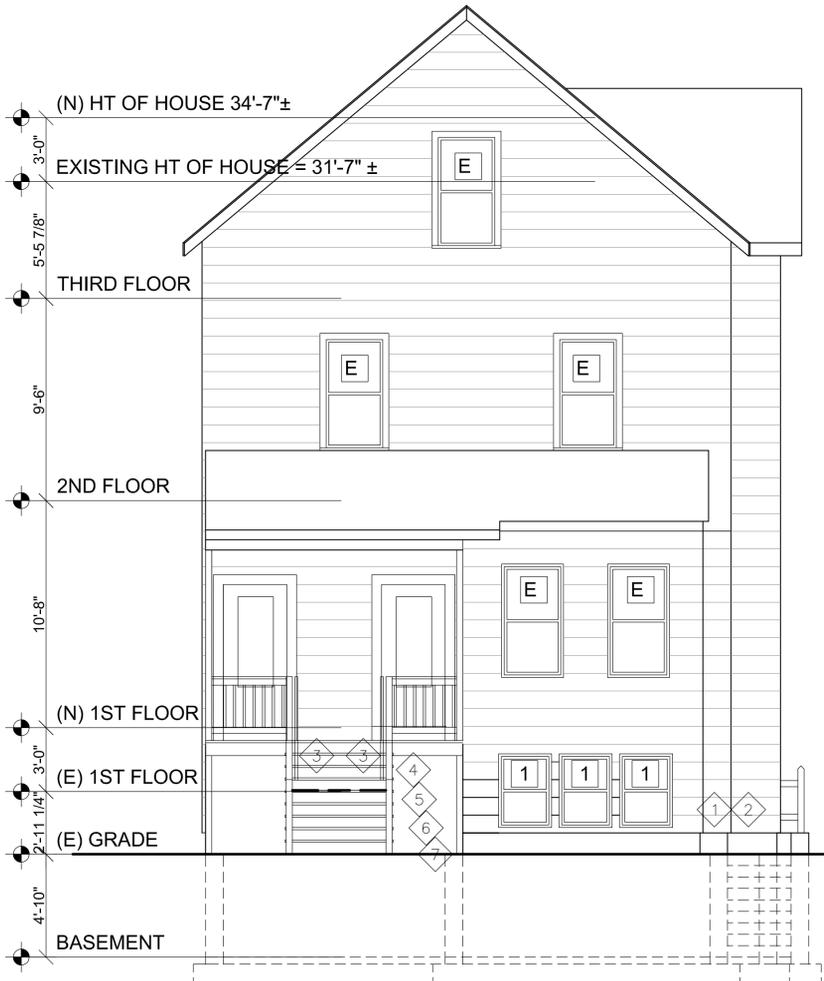
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REVISED	DATE

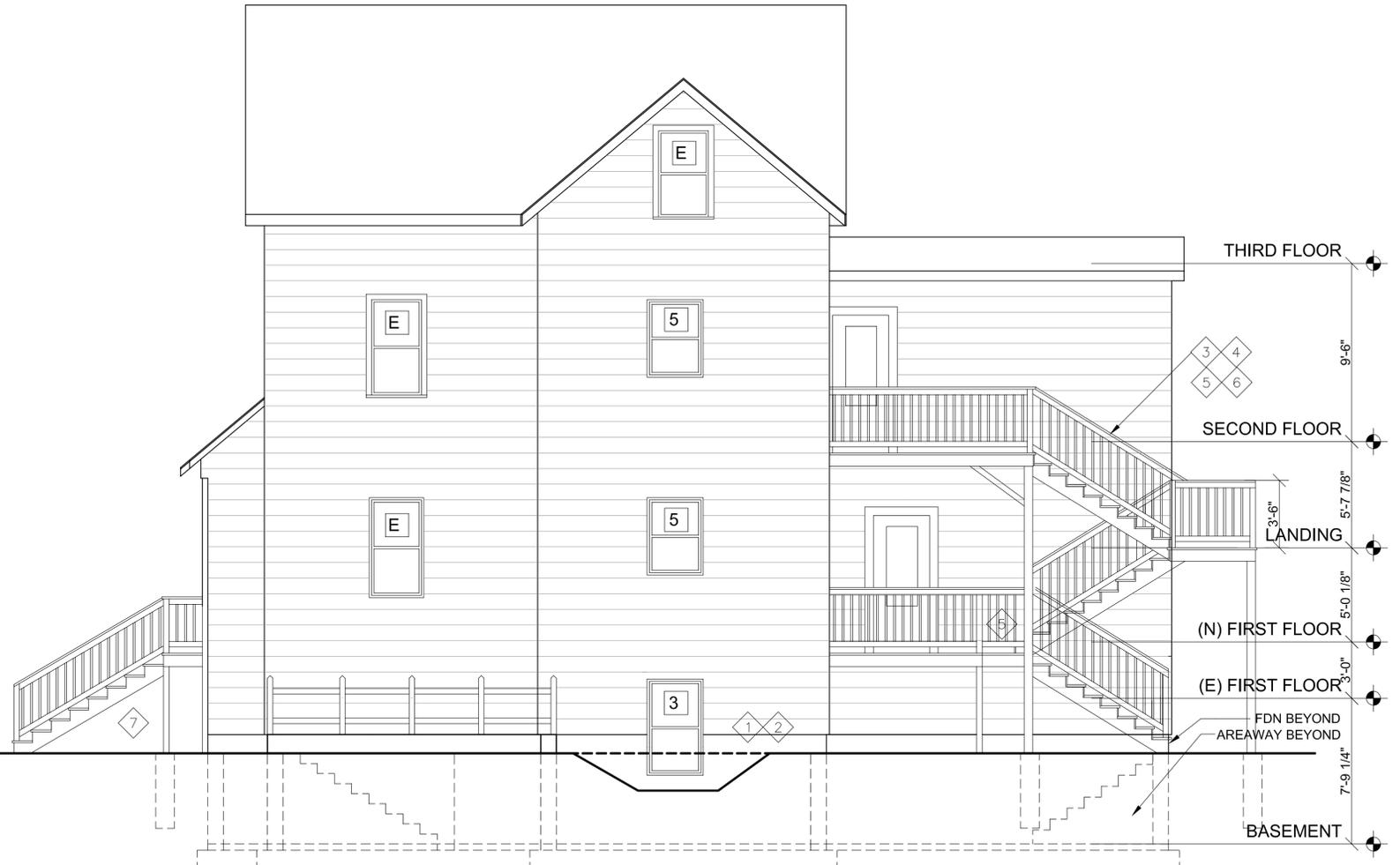
CLIENT:  
MURPHY RESIDENCE  
3 CAMERON AVE  
SOMERVILLE, MA 02144

SHEET TITLE:  
PROPOSED PLANS  
& DOOR SCHEDULE

DWN. BY:	NMM	DWG. NO.	<b>A1.1</b>
CHK. BY:	DK		
SCALE:	1/4" = 1'-0"		
DATE:	6/11/14		



1 FRONT ELEVATION



2 RIGHT ELEVATION

NUMBER	OPERATION	R.O.	JAMB	SCREEN	NOTES
1	DBL. HUNG	2'-6" X 3'-5 1/2"	6 9/16" 10" FDN	Y	BASEMENT WINDOW 9'-6 1/2" HEAD HT
2	DBL. HUNG	2'-11 1/2" X 3'-5 1/2"	6 9/16" 10" FDN	Y	BASEMENT WINDOW 9'-6 1/2" HEAD HT
3	DBL. HUNG	2'-11 1/2" X 5'-1 1/2"	6 9/16" 10" FDN	Y	BASEMENT WINDOW BEDROOM EGRESS 8'-9 1/2" HEAD HT
4	DBL. HUNG	2'-6" X 3'-5 1/2"	6 9/16" 10" FDN	Y	BASEMENT WINDOW 9'-6 1/2" HEAD HT
5	DBL. HUNG	2'-11 1/2" X 3'-5 1/2"	4 9/16"	Y	
6	DBL. HUNG	2'-11 1/2" X 5'-1 1/2"	4 9/16"	Y	BEDROOM EGRESS WINDOW. CLEAR OPENING 5.4 SF 29 3/4" X 26 1/16"
7	DBL. HUNG	2'-6" X 4'-1 1/2"	4 9/16"	Y	

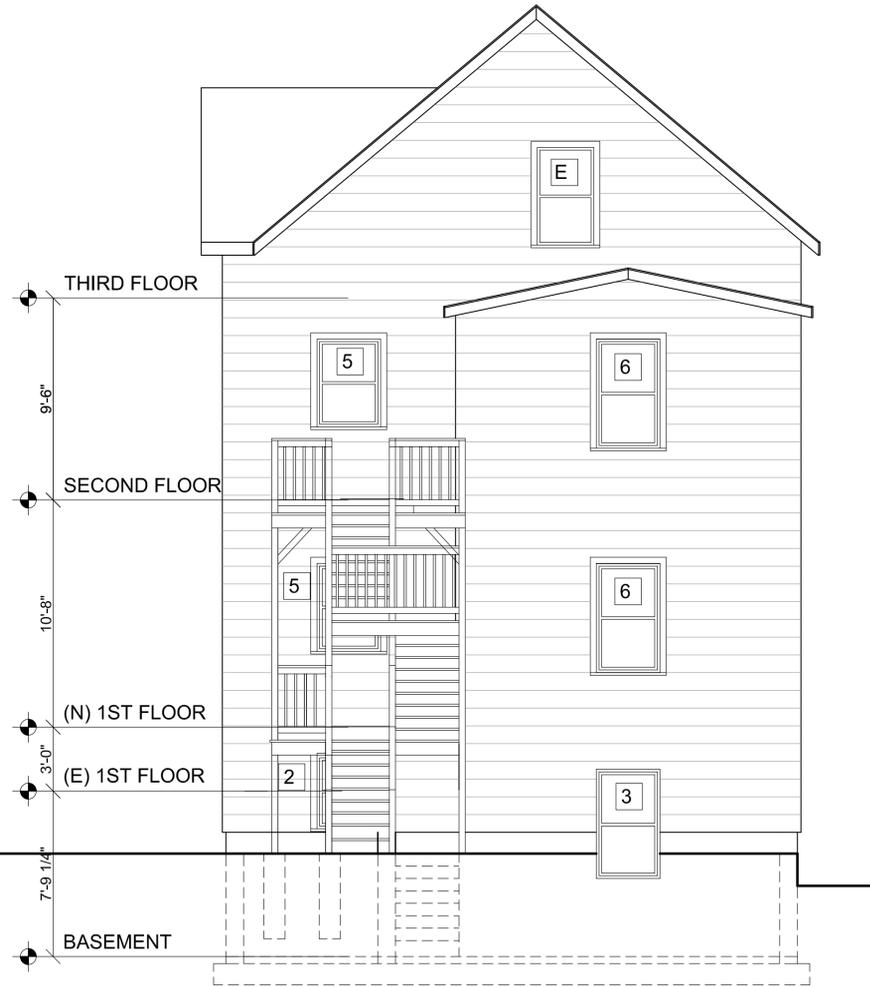
RO'S PROVIDED BASED ON HARVEY NEW CONSTRUCTION VINYL WINDOWS  
 BEDROOM WINDOWS TO MEET 2009 IBC CODE W/MASS AMENDMENTS. CLEAR OPENING 3.3 SF, 20" x 24" SILL  
 TO BE NO MORE THAN 44" AFF  
 U VALUE = 0.30

**ELEVATION NOTES**

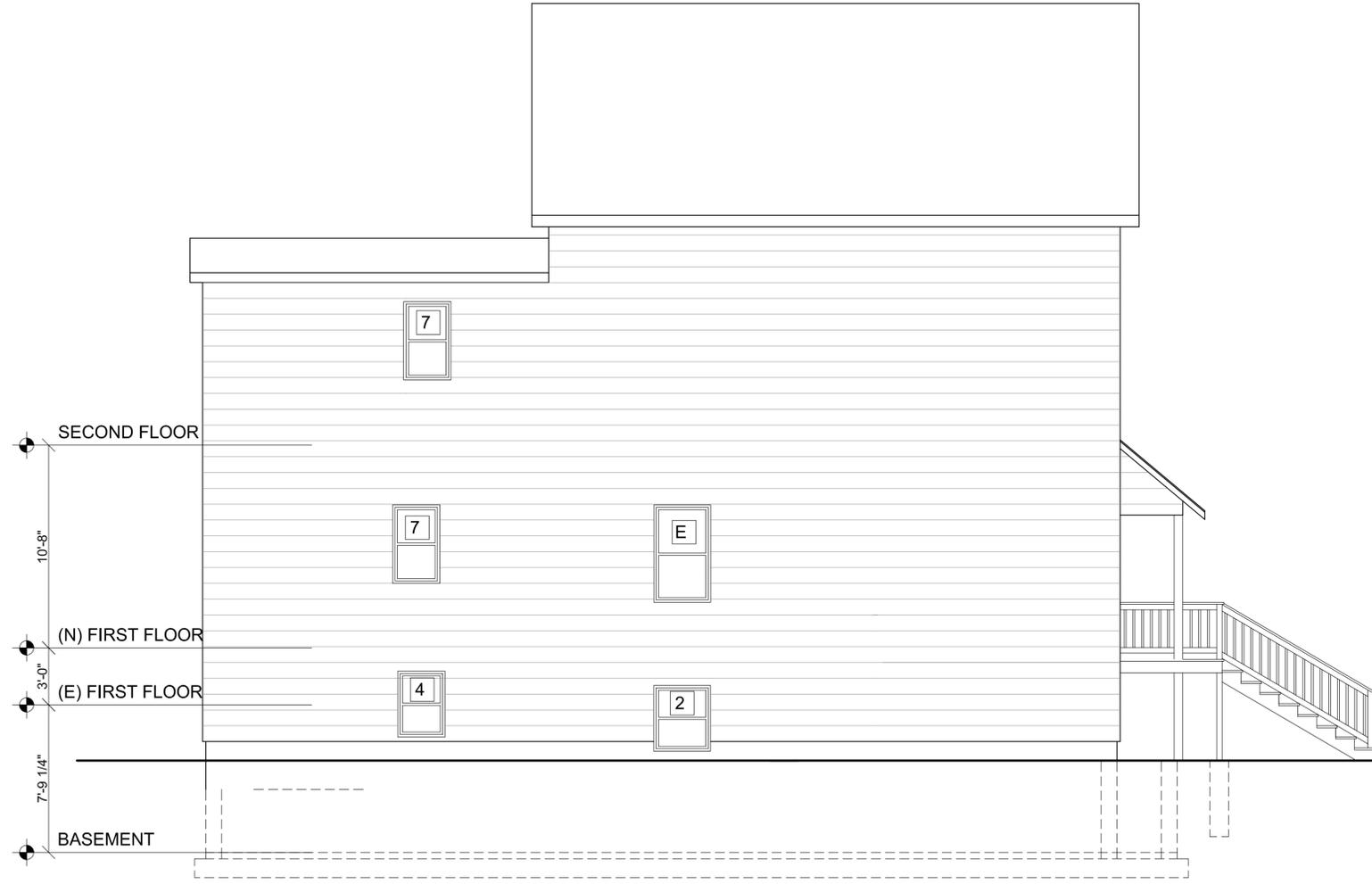
- 1 (N) CEMENT FIBER SHINGLE T.M.E. ASBESTOS SIDING TO COVER NEW KNEE WALLS
- 2 OVERLAP SHEATHING 2'-0" AT PERIMETER
- 3 1 1/2" Ø HANDRAIL w/BACKET EVERY 4'-0" MIN
- 4 42" GUARD. 1x6 PT TOP RAIL, 2x4 PT SUBRAIL, 1x4 PT SUBRAIL EA SIDE, 4" ABOVE DECKING, 2x2 PT BALUSTERS MAX 4" SPACE IN BETWEEN.
- 5 5/4" x6 PT DECKING. DECK LEVELS TO BE 7"± BELOW FLOORS
- 6 STAIR RAILS TO BE 34" - 38" ABOVE TREADS. PT SKIRTS, TREADS, RISERS.
- 7 PT LATTICE OPTIONAL

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REVISED	DATE
CLIENT:	
MURPHY RESIDENCE 3 CAMERON AVE SOMERVILLE, MA 02144	
SHEET TITLE:	
PROPOSED ELEVATIONS & WINDOW SCHEDULE	
DWN. BY:	DWG. NO.
NMM	A2.0
CHK. BY:	
DK	
SCALE:	
1/4" = 1'-0"	
DATE:	
6/11/14	



1 REAR ELEVATION



2 LEFT ELEVATION

**ELEVATION NOTES**

- 1 (N) CEMENT FIBER SHINGLE T.M.E. ASBESTOS SIDING TO COVER NEW KNEE WALLS
- 2 OVERLAP SHEATHING 2'-0" AT PERIMETER
- 3 1 1/2" Ø HANDRAIL w/BRACKET EVERY 4'-0" MIN
- 4 42" GUARD. 1x6 PT TOP RAIL, 2x4 PT SUBRAIL, 1x4 PT SUBRAIL EA SIDE, 4" ABOVE DECKING, 2x2 PT BALUSTERS MAX 4" SPACE IN BETWEEN.
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REVISED	DATE

CLIENT:  
**MURPHY RESIDENCE  
3 CAMERON AVE  
SOMERVILLE, MA 02144**

SHEET TITLE:  
**PROPOSED ELEVATIONS**

DWN. BY: <b>NMM</b>	DWG. NO.
CHK. BY: <b>DK</b>	<b>A2.1</b>
SCALE: <b>1/4" = 1'-0"</b>	
DATE: <b>6/11/14</b>	