

UNION SQUARE HOUSING

181 + 197 Washington Street
Somerville, MA 02143

CPI SCC LLC

181 + 197 Washington Street
Somerville, MA 02143

LANDSCAPE
Terraink
P. O. Box 261
Arlington, MA 02476
(617) 650-7398

MEFPF
R W Sullivan Engineering
529 Main Street
Boston, MA 02129
(617) 523-8227

CIVIL ENGINEER
Design Consultants, Inc.
120 Middlesex Avenue
Somerville, MA 02145
(617) 776-3350

STRUCTURAL
L A Fuess Partners, Inc.
101 Federal Street
Boston, MA 02110
(617) 948-5700

**DiMella
Shaffer**

Architecture | Interior Design | Planning
281 Summer Street Tel: 617.428.5004
Boston, MA 02210 Fax: 617.428.0046
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PLANNING BOARD SUBMISSION

January 13, 2014



Client
Cathartes Private Investments 774-255-0157

Somerville Community Corporation 617-776-5931
Civil Engineer
Design Consultants, Inc. 617-776-3350

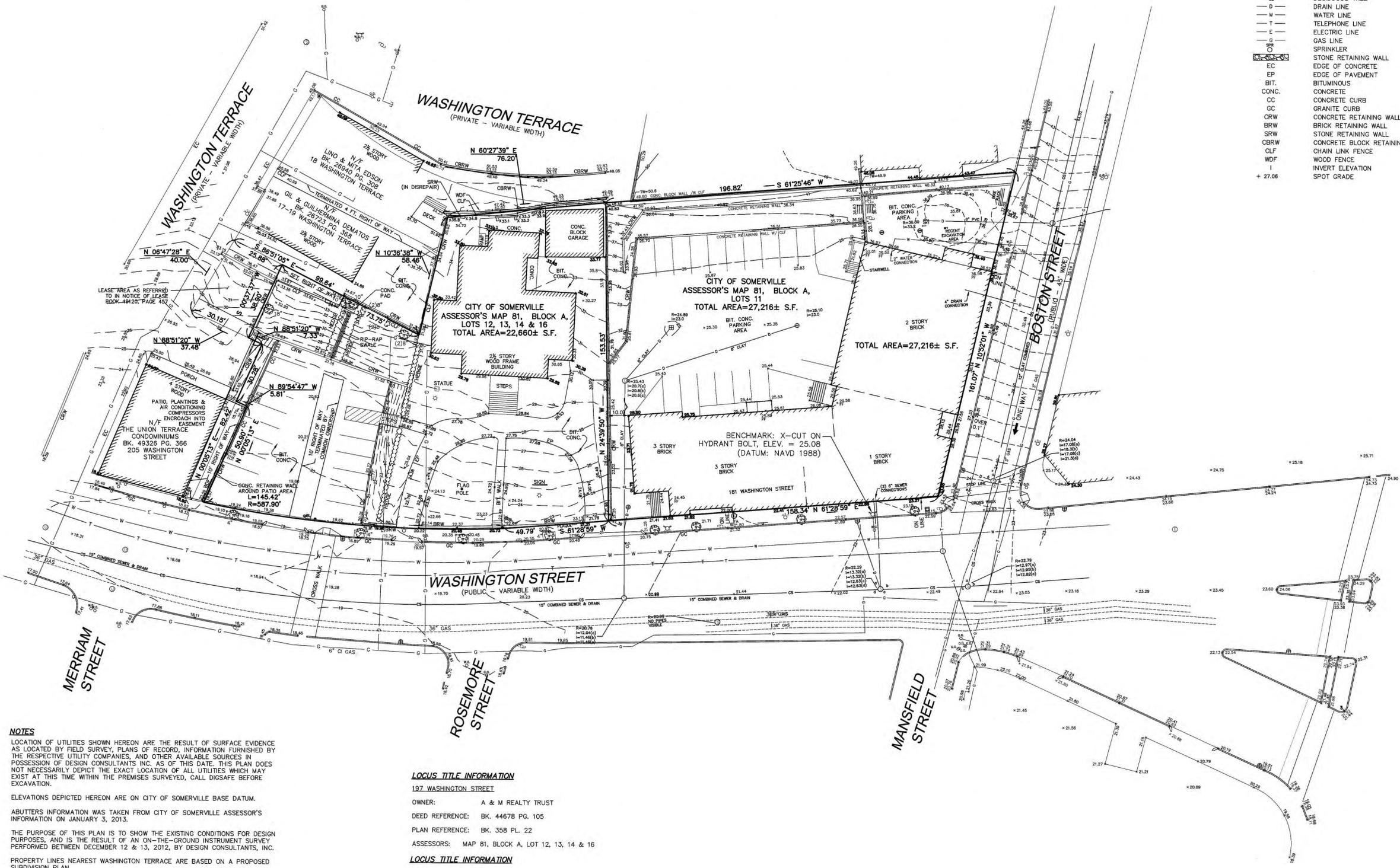
Structural
LA Fless Partners Inc. 617-948-5700

MEP
RW Sullivan Engineering 617-523-8227

Landscape
Terrainc 617-650-7398

LEGEND

- UTILITY POLE
- GUY
- LIGHT
- WATER SHUT OFF
- WATER GATE
- HYDRANT
- LIGHT
- CATCH BASIN (CB)
- DRAIN MANHOLE (DMH)
- SEWER MANHOLE (SMH)
- UNKNOWN MANHOLE
- BOLLARD
- GAS GATE
- DECIDUOUS TREE
- DRAIN LINE
- WATER LINE
- TELEPHONE LINE
- ELECTRIC LINE
- GAS LINE
- SPRINKLER
- STONE RETAINING WALL
- EC EDGE OF CONCRETE
- EP EDGE OF PAVEMENT
- BIT. BITUMINOUS
- CONC. CONCRETE CURB
- CC GRANITE CURB
- CRW CONCRETE RETAINING WALL
- BRW BRICK RETAINING WALL
- SRW STONE RETAINING WALL
- CBRW CONCRETE BLOCK RETAINING WALL
- CLF CHAIN LINK FENCE
- WDF WOOD FENCE
- I INVERT ELEVATION
- + 27.06 SPOT GRADE



SCHEMATIC DESIGN

Planning Board	1/13/14
Issue Description	Date
Scale:	1"=20'
Drawn By:	AJR
Checked By:	EJC
Reviewed By:	EJC
Project No.	12-124

UNION SQUARE HOUSING

181-197 WASHINGTON STREET

EXISTING CONDITIONS

NOTES
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF SOMERVILLE BASE DATUM.
ABUTTERS INFORMATION WAS TAKEN FROM CITY OF SOMERVILLE ASSESSOR'S INFORMATION ON JANUARY 3, 2013.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN DECEMBER 12 & 13, 2012, BY DESIGN CONSULTANTS, INC.

PROPERTY LINES NEAREST WASHINGTON TERRACE ARE BASED ON A PROPOSED SUBDIVISION PLAN.



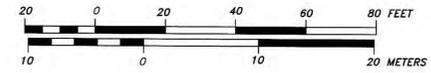
P.L.S. Everett J. Chandler
EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
DATE 1/13/14

LOCUS TITLE INFORMATION

197 WASHINGTON STREET
OWNER: A & M REALTY TRUST
DEED REFERENCE: BK. 44678 PG. 105
PLAN REFERENCE: BK. 358 PL. 22
ASSESSORS: MAP 81, BLOCK A, LOT 12, 13, 14 & 16

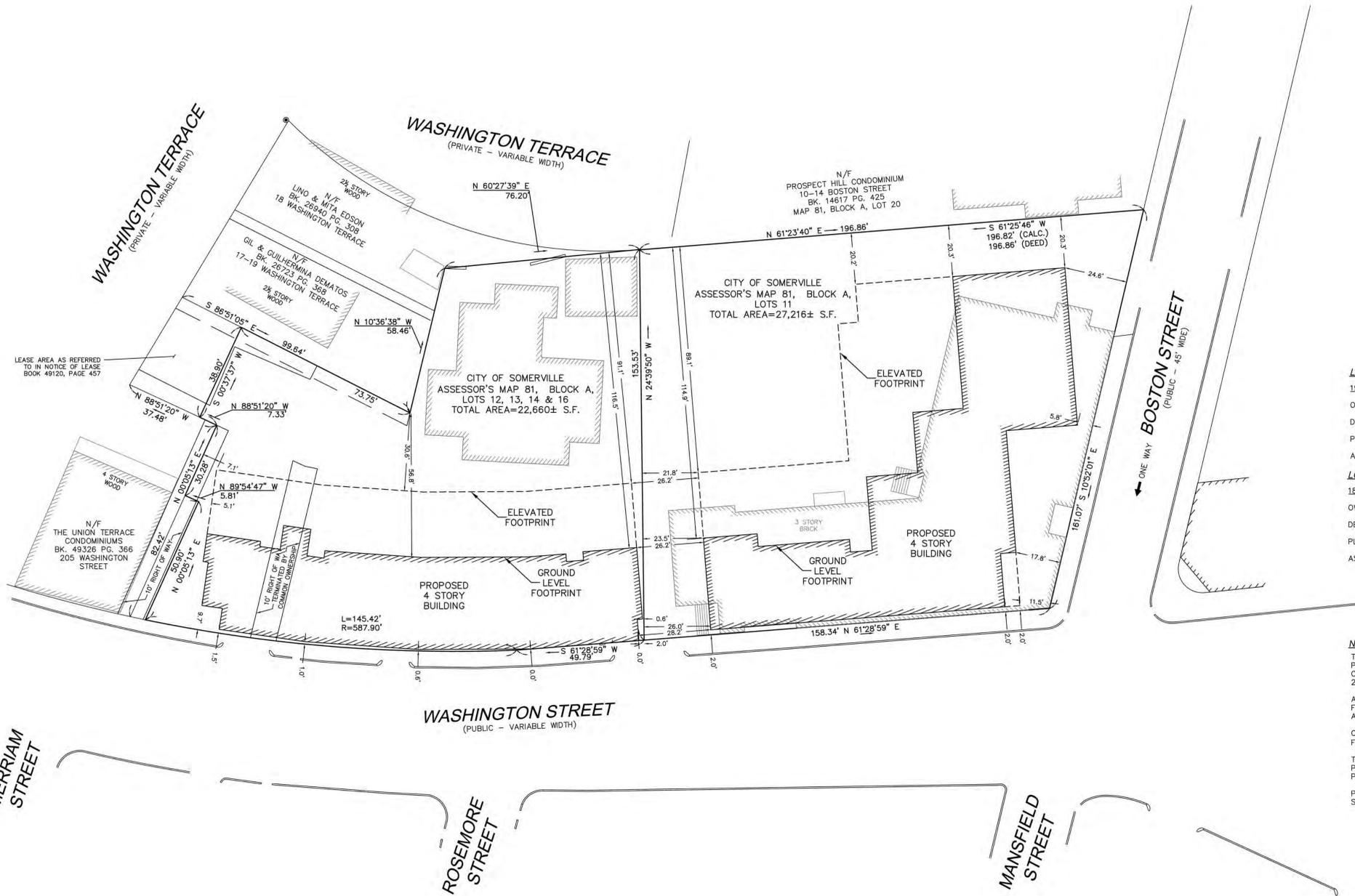
LOCUS TITLE INFORMATION

181 WASHINGTON STREET
OWNER: SOMERVILLE COMMUNITY CORPORATION, INC.
DEED REFERENCE: BK. 58492 PG. 505
PLAN REFERENCE: PLAN No. 85 OF 1890
ASSESSORS: MAP 81, BLOCK A, LOT 11



C-1.00

Client Cathartes Private Investments	774-255-0157
Somerville Community Corporation	617-776-5931
Civil Engineer Design Consultants, Inc.	617-776-3350
Structural LA Fuess Partners Inc.	617-948-5700
MEP KW Sullivan Engineering	617-523-8227
Landscape Terrank	617-650-7398



LOCUS TITLE INFORMATION

197 WASHINGTON STREET
 OWNER: A & M REALTY TRUST
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LOCUS TITLE INFORMATION

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 OWNER: SOMERVILLE COMMUNITY CORPORATION, INC.
 DEED REFERENCE: BK. 58492 PG. 505
 PLAN REFERENCE: PLAN No. 85 OF 1890
 ASSESSORS: MAP 81, BLOCK A, LOT 11

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED BUILDING ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN DECEMBER 12 & 13, 2012 BY DESIGN CONSULTANTS, INC.

ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING SIZE AND LOCATION. FAR HAS BEEN CALCULATED BASED ON FLOOR AREAS PROVIDED BY THE ARCHITECT.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMERVILLE ASSESSOR'S OFFICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROPERTY LINES NEAREST WASHINGTON TERRACE ARE BASED ON A PROPOSED SUBDIVISION PLAN



P.L.S. Everett J. Chandler
 EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
 DATE 1/13/14

SCHEMATIC DESIGN

Planning Board	1/13/14
Issue Description	Date

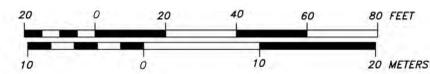
Scale: 1"=20'
 Drawn By: AJR
 Checked By: EJC
 Reviewed By: EJC

Project No. 12-124

UNION SQUARE HOUSING

181-197 WASHINGTON STREET

CERTIFIED PLOT PLAN



C-2.00

GENERAL NOTES

REQUIRED ZONING AND SETBACK REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION.

HANDICAP ACCESSIBILITY SHALL BE PER MASSACHUSETTS STATE CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES (WHICHEVER IS MORE STRINGENT).

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE.

ALL PLANTING BEDS TO BE FILLED WITH SOIL TO A MINIMUM DEPTH OF 18" AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. PLANTING BEDS SHALL BE MULCHED WITH AGED PINE BARK MULCH, TO A DEPTH OF TWO (2) INCHES. PROVIDE CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE.

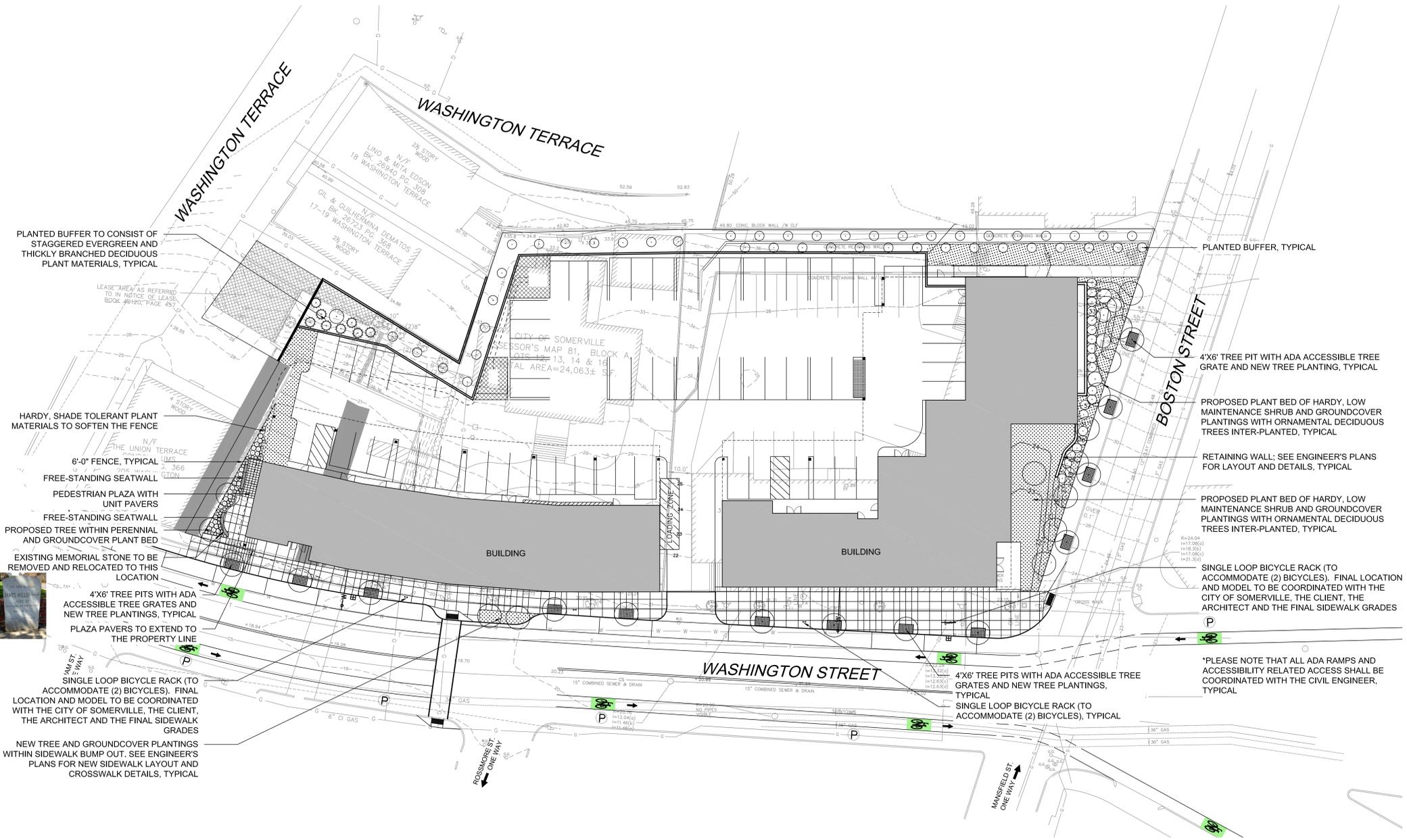
THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.

PLANT MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.

PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.

LEGEND

- PROPERTY LINE
- PROPOSED WALL
- EXISTING DECIDUOUS TREE TO REMAIN
- ⊙ EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED DECIDUOUS TREE
- ⊙ PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS SHRUBS
- ⊙ PROPOSED EVERGREEN SHRUBS
- ▨ GROUNDCOVER | PERENNIALS HATCH - 1
- ▨ PEDESTRIAN PLAZA (UNIT PAVERS)



PLANT SCHEDULE - SHEET L1.00

TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
15	AC	ACER CAMPESTRE 'EVELYN'	QUEEN ELIZABETH HEDGE MAPLE	2"-2.5" CAL.	BALL & BURLAP	15' O.C.
4	CK	CORNUS KOUSA - SINGLE STEM	SINGLE STEM KOUSA DOGWOOD	2"-2.5" CAL.	B&B	15' O.C.
4	GT	GLEDITSIA TRIA. INERMIS SKYLINE	SKYLINE HONEY LOCUST	2"-2.5" CAL.	B&B	15' O.C.
7	PC	PYRUS CALLREYANA 'CHANTICLEER'	CHANTICLEER CALLERY PEAR	2"-2.5" CAL.	B&B	15' O.C.

EVERGREEN SHRUBS

7	IMF	ILEX MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS BLUE HOLLY	36"-40" HT.	#7 CONT.	4' O.C.
1	IMM	ILEX MESERVEAE 'BLUE PRINCE'	BLUE PRINCE BLUE HOLLY	36"-40" HT.	#7 CONT.	4' O.C.

DECIDUOUS SHRUBS

21	CA	CLETHRA ALINIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	15"-18" HT.	#3 CONT.	4' O.C. (N)
28	FG	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	15"-18" HT.	#3 CONT.	3' O.C. (N)
1	MP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	36"-40" HT.	#7 CONT.	6' O.C. (N)
45	PQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	NA	#3 CONT.	6' O.C. (N)
45	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	18"-24" SP.	#3 CONT.	3' O.C. (N)
5	VD	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3'-4" HT.	#7 CONT.	5' O.C. (N)

GROUNDCOVER

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
9,950	VM	VINCA MINOR 'BOWLES VARIETY'	BOWLES VARIETY PERIWINKLE	NA	#2 CONT.	8" O.C.

NOTE: ALL PERMITTING DOCUMENT PLANT QUANTITIES ARE APPROXIMATE WILL BE FURTHER REFINED IN THE CONSTRUCTION DOCUMENTS

O.C. = ON-CENTER SPACING
(N) = NATIVE SPECIES

- CLIENT**
CPI SCC LLC (774) 255-0157
- STRUCTURAL**
L A Fuess Partners, Inc. (617) 948-5700
- CIVIL ENGINEER**
Design Consultants, Inc. (617) 776-3350
- MEPFP**
R W Sullivan Engineering (617) 523-8227
- LANDSCAPE**
terrak (781) 316-1595



PERMITTING SUBMISSION

Issue Description	Date
PLANNING BOARD COMMENTS	JAN 10, 2014
PLANNING BOARD COMMENTS	JULY 18, 2013
PERMITTING SUBMISSION	APRIL 15, 2013

Scale: 1" = 20'-0"
Drawn By: PH
Checked By: JC | KAC
Reviewed By: JC | KAC

Project No. 11069.02

UNION SQUARE HOUSING

181 + 197 Washington Street
Somerville, MA 02143

LANDSCAPE PLAN

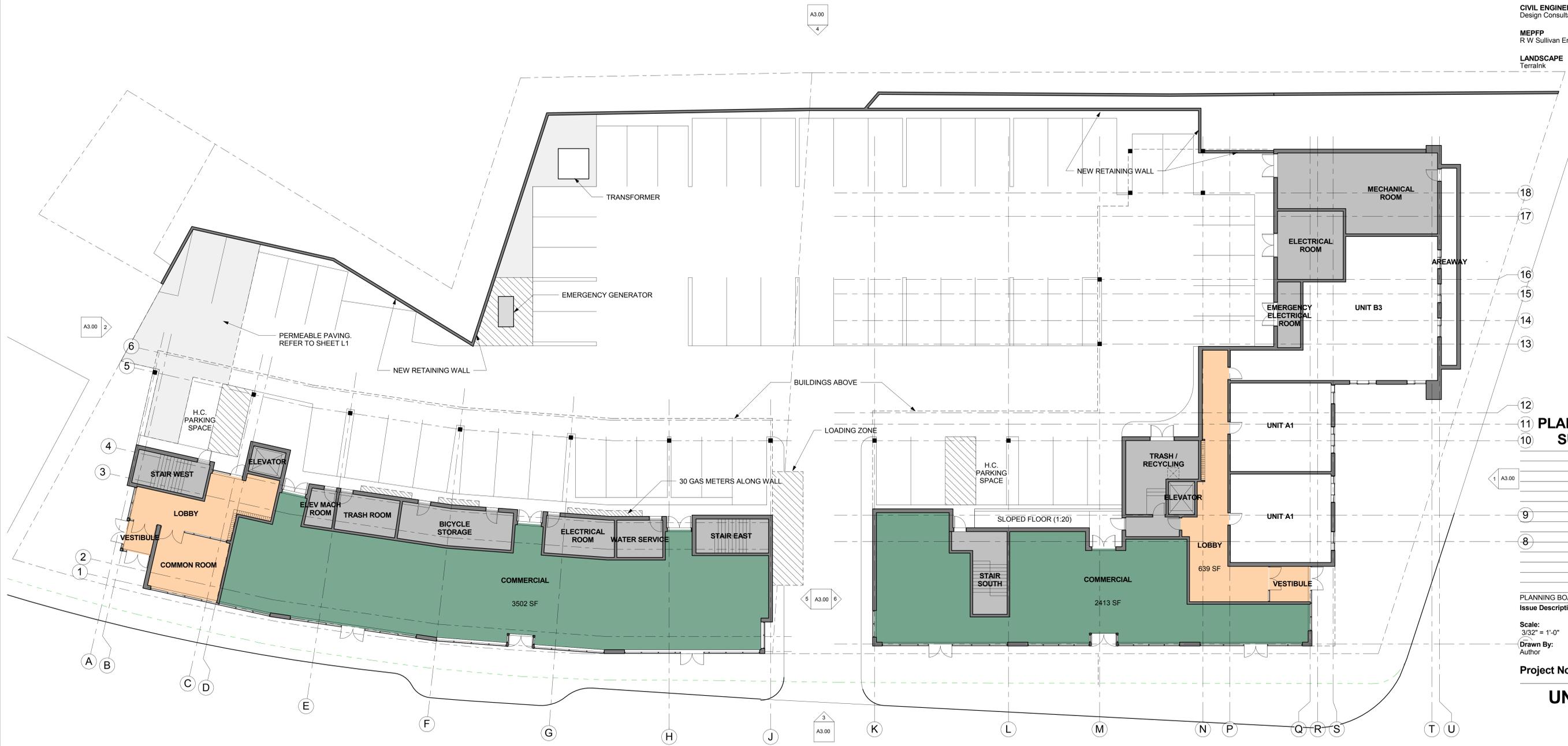
NOT FOR CONSTRUCTION

THESE PLANS WERE PREPARED FOR THE PURPOSE OF OBTAINING CLIENT APPROVAL, PRICING AND/OR SUBMITTAL TO STATE AND LOCAL AGENCIES FOR PERMITTING PURPOSES. THESE PLANS ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS.



L1.00

Client CPI SCC LLC	(774) 255-0157
STRUCTURAL L A Fuess Partners, Inc.	(617) 948-5700
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MEPP R W Sullivan Engineering	(617) 523-8227
LANDSCAPE Terralink	(617) 650-7398



PLANNING BOARD SUBMISSION

PLANNING BOARD JANUARY 13, 2014
 Issue Description Date

Scale: 3/32" = 1'-0"
 Drawn By: Author
 Checked By: Checker
 Reviewed By: --

Project No. 2011069.02

UNION SQUARE HOUSING

181 + 197 Washington Street
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FIRST FLOOR PLAN



A1.00

Client
 CPI SCC LLC (774) 255-0157

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 L A Fuess Partners, Inc. (617) 948-5700

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MEFP
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LANDSCAPE
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PLANNING BOARD SUBMISSION

PLANNING BOARD JANUARY 13, 2014
 Issue Description Date

Scale:
 3/32" = 1'-0"

Drawn By: Author
 Checked By: Checker
 Reviewed By:

Project No. 2011069.02

UNION SQUARE HOUSING

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 Somerville, MA 02143

SECOND FLOOR PLAN



A1.01

Client
 CPI SCC LLC (774) 255-0157

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 L A Fuess Partners, Inc. (617) 948-5700

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MEPPP
 R W Sullivan Engineering (617) 523-8227

LANDSCAPE
 Terrank (617) 650-7398



PLANNING BOARD SUBMISSION

PLANNING BOARD	JANUARY 13, 2014
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Scale:	3/32" = 1'-0"
Drawn By:	Checked By:
Author	Checker
Reviewed By:	
Project No.	2011069.02

UNION SQUARE HOUSING

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 Somerville, MA 02143

EXTERIOR ELEVATIONS

A3.00



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**PLANNING BOARD
SUBMISSION**

PLANNING BOARD JANUARY 13, 2014
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**UNION SQUARE
HOUSING**

181 + 197 Washington Street
Somerville, MA 02143

PERSPECTIVE VIEW

