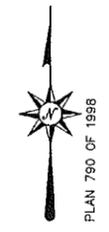


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PLANNING DEPT.

2012 MAR 27 PM 6:32



RESIDENTIAL PARKING SCHEDULE	
UNIT #	SPACE #
1	1 & 7
2	2
3	3
4	4
5	5
6	6

COMMERCIAL PARKING SCHEDULE	
UNIT #	SPACE #
7	8, 9, 10 11 & 12
8	12, 13, 14 15 & 16

DEED REFERENCE:
BOOK 42837 PAGE 180

ABUTTER'S DEED REFERENCE:
BOOK 25745 PG 071
BOOK 53459 PG 511
BOOK 42837 PG 180

PLAN REFERENCE:
PLAN BOOK 38 PLAN 37

PLAN 790 OF 1998
PLAN 913 OF 1971
PLAN BOOK 176 PLAN 9
PLAN BOOK 18A PLAN 21

LOT COVERAGE:
BUILDING #280 = 2,247±S.F.
BUILDING #280 REAR = 1,292±S.F.
TOTAL = 3,539±S.F. OR 27.3%

AREA AND DIMENSIONS SHOWN
ARE A COMPOSITE OF DEEDS OF
RECORD, PLANS OF RECORD, AND
A FIELD SURVEY.

SHOWN IN THE SOMERVILLE ATLAS
AS MAP 71 BLOCK B LOT 2.

PROPERTY SHOWN IS LOCATED IN BA ZONE.

ALL AREAS SHOWN BASED ON EXTERIOR MEASUREMENTS.

THE BUILDINGS HAVE NO NAMES.

I HEREBY CERTIFY THAT THE PROPERTY LINES
SHOWN ON THIS PLAN ARE THE LINES DIVIDING
EXISTING OWNERSHIPS, AND THE LINES OF THE
STREETS AND WAYS SHOWN ARE THOSE OF
PUBLIC OR PRIVATE STREETS OR WAYS
ALREADY ESTABLISHED AND THAT NO NEW
LINES FOR DIVISION OF EXISTING OWNERSHIP
OR FOR NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT THIS PLAN
FULLY AND ACCURATELY DEPICTS THE
LAYOUT, LOCATION, UNIT NUMBERS
AND DIMENSIONS OF THE UNITS, UNITS
1, 2, 3, 4, 5, 6, UNIT A & UNIT B OF THE
280 BROADWAY CONDOMINIUMS, AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN HAS
BEEN PREPARED IN ACCORDANCE WITH THE
RULES AND REGULATIONS OF THE REGISTER
OF DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

DATE: June 28, 2010

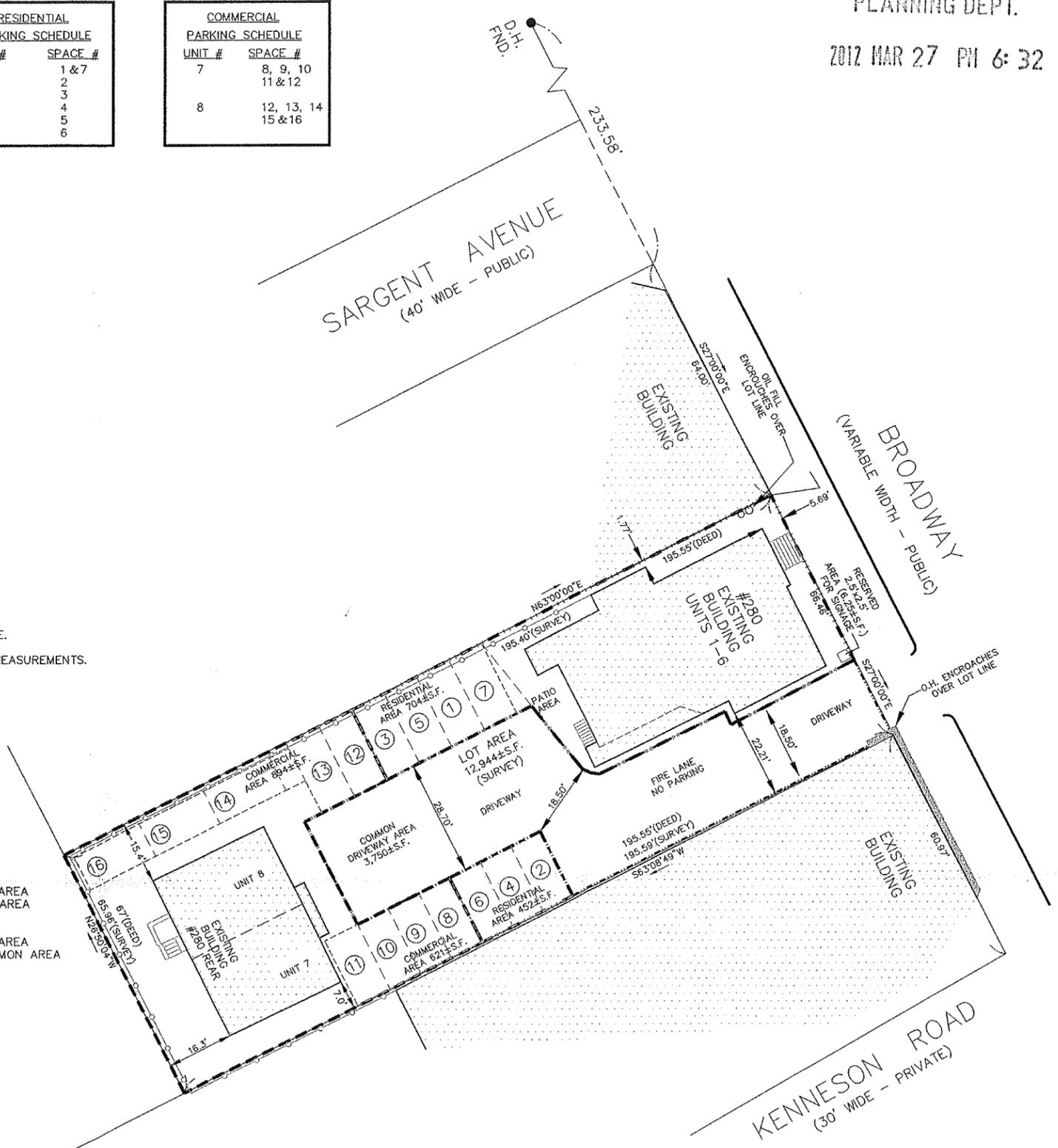
P.L.S. [Signature]



SCHEDULE

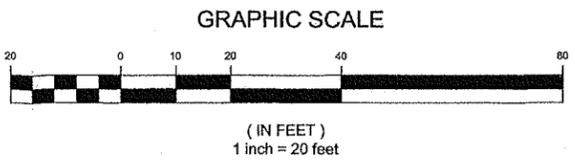
--- RESIDENTIAL EXCLUSIVE USE COMMON AREA
--- COMMERCIAL EXCLUSIVE USE COMMON AREA

--- DIVISION LINE BETWEEN
RESIDENTIAL EXCLUSIVE USE COMMON AREA
AND COMMERCIAL EXCLUSIVE USE COMMON AREA



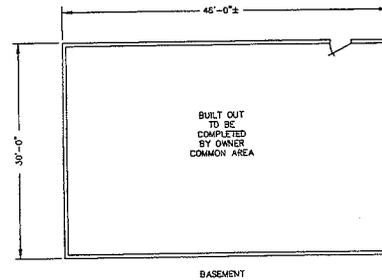
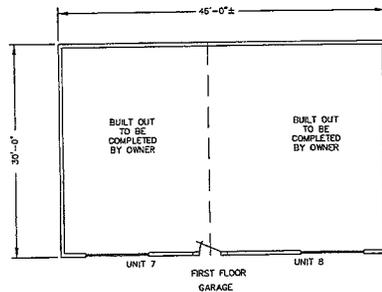
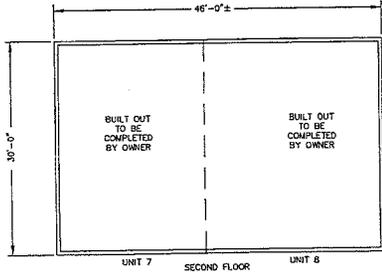
**AMENDED
SITE PLAN**
280 BROADWAY CONDOMINIUM

UNITS 1, 2, 3, 4, 5, 6, 7 & 8
280 BROADWAY
SOMERVILLE, MASSACHUSETTS
DATE: APRIL 20, 2010
REV. DATE: JUNE 23, 2010
PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
10 HAMMER STREET, WALTHAM, MA 02453
TEL: 781-891-0417 - bibbobrothers@comcast.net
RALPH J. BIBBO, JR., MANAGER, OWNER
ROBERT J. BIBBO, P.L.S., OWNER

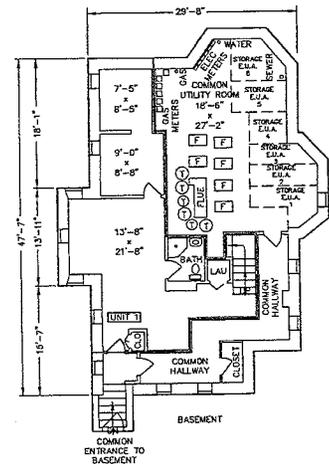
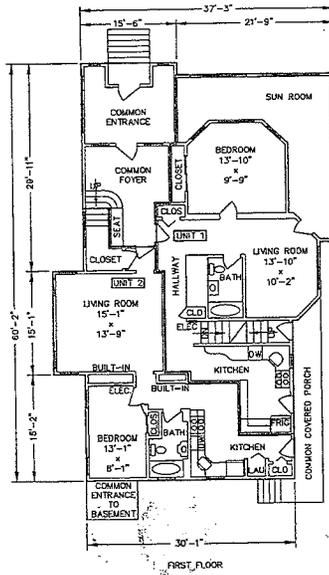


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S.P.C.D. AND
PLANNING DEPT.

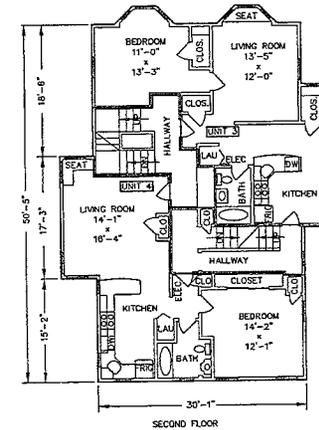
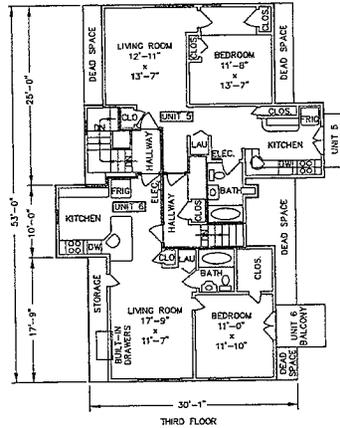
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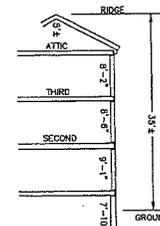
COMMERCIAL BUILDING



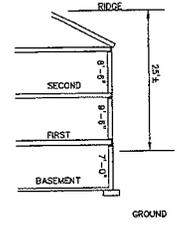
RESIDENTIAL BUILDING



LEGEND
TH = HOT WATER TANK
F = FLOOR FOR HEAT



BUILDING 280 HEIGHT
N.T.S.



COMMERCIAL BUILDING HEIGHT
N.T.S.

AREA OF UNITS BUILDING #280

UNIT 1 FIRST FLOOR = 1012±S.F. BASEMENT = 652±S.F.	UNIT 3 SECOND FLOOR = 690±S.F.	UNIT 5 THIRD FLOOR = 635±S.F.
UNIT 2 FIRST FLOOR = 656±S.F.	UNIT 4 SECOND FLOOR = 885±S.F.	UNIT 6 THIRD FLOOR = 652±S.F.
COMMON FIRST FLOOR = 301±S.F. COMMON SECOND FLOOR = 313±S.F. COMMON THIRD FLOOR = 182±S.F. COMMON BASEMENT = 910±S.F.		

AREA OF UNITS 7 & 8 COMMERCIAL BUILDING

UNIT 7 FIRST FLOOR = 641±S.F. SECOND FLOOR = 641±S.F.	UNIT 8 FIRST FLOOR = 765±S.F. SECOND FLOOR = 765±S.F.
BASEMENT (COMMON) = 1,408±S.F.	

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS, UNITS 1, 2, 3, 4, 5, 6, 7 & 8 OF THE 280 BROADWAY CONDOMINIUMS, AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
DATE: April 20, 2010
P.L.S.: Robert J. Bibbo



UNITS PLAN
280 BROADWAY CONDOMINIUM

UNITS 1, 2, 3, 4, 5, 6, 7 & 8
280 BROADWAY
SOMERVILLE, MASSACHUSETTS

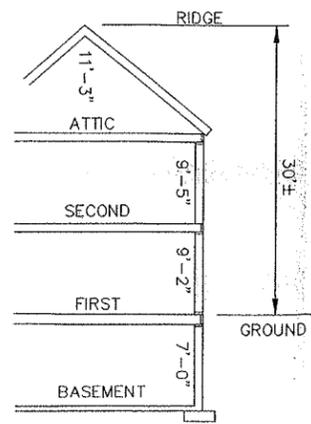
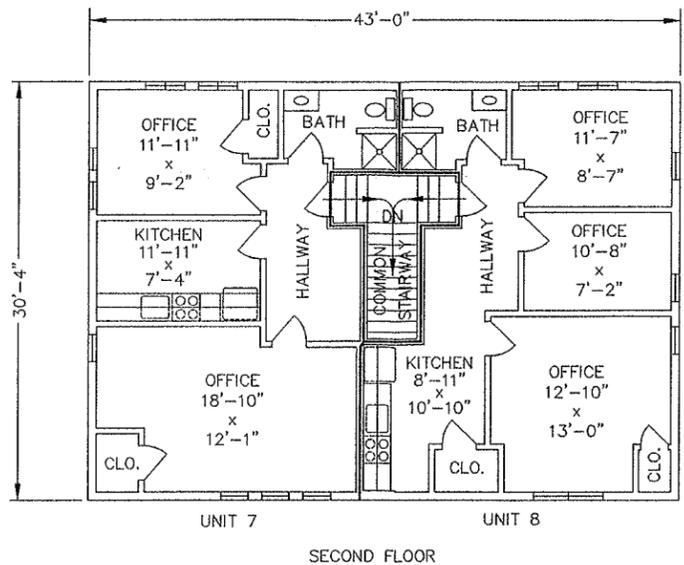
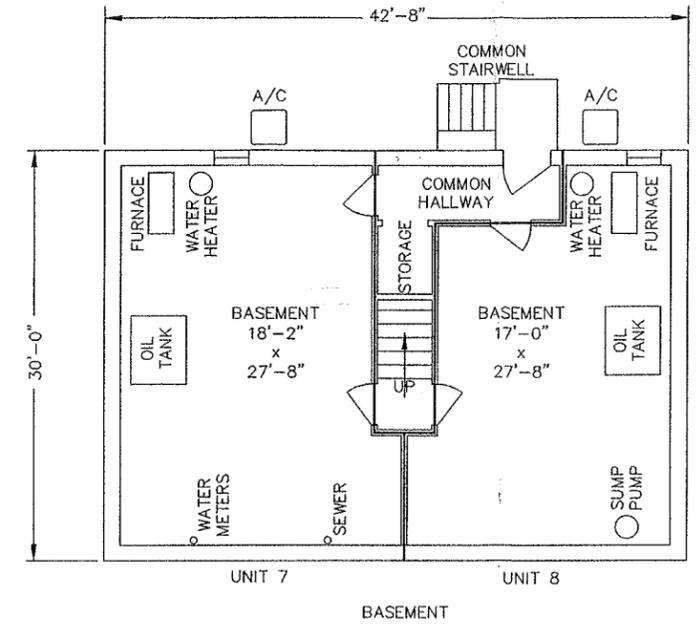
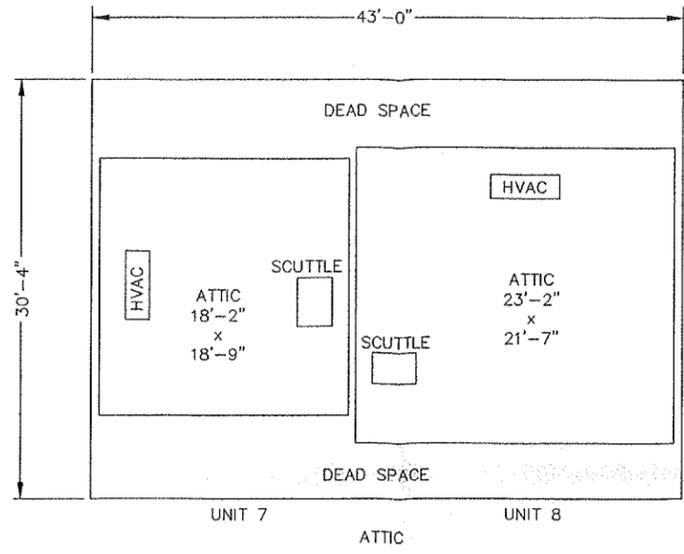
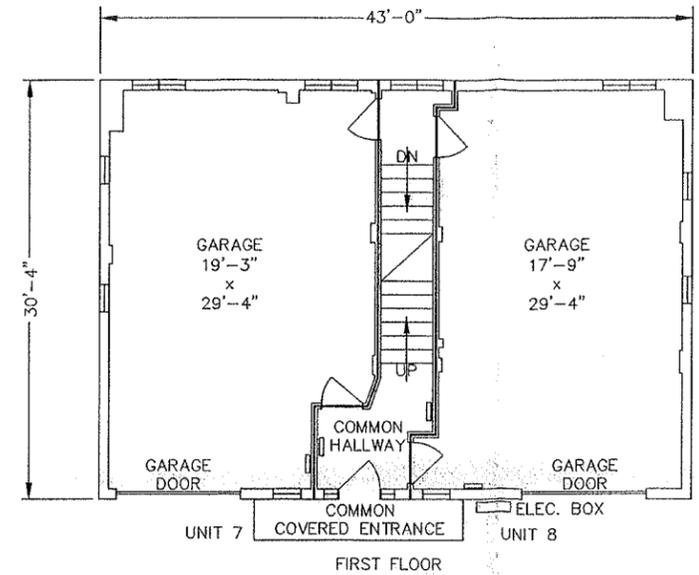
SCALE: 1/8" = 1'
DATE: APRIL 20, 2010

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
10 HAMMER STREET, WALTHAM, MA 02453
TEL: 781-891-0417 - bibbobrothers@comcast.net
RALPH J. BIBBO, JR., MANAGER, OWNER
ROBERT J. BIBBO, P.L.S., OWNER

PLAN NO. 280-2-2
SHEET 1 OF 2

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BUILDING HEIGHT
N.T.S.

UNIT AREAS SHOWN ARE BASED ON INTERIOR FACE OF WALL DIMENSIONS INCLUDING WALLS WITHIN THE UNIT.

THE BUILDING HAS NO NAME.

ALL AREAS NOT LABELED E.U.A. (EXCLUSIVE USE AREA) SHALL BE DEEMED COMMON.

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS, UNIT 7 AND UNIT 8 OF THE 280 BROADWAY CONDOMINIUM, AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS, UNIT 7 & UNIT 8 OF THE 280 BROADWAY CONDOMINIUM, AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS, AND THAT IT FULLY AND ACCURATELY DEPICTS THE LAYOUT OF THE UNIT, ITS LOCATION, DIMENSIONS, APPROXIMATE AREA, MAIN ENTRANCE AND IMMEDIATE COMMON AREA TO WHICH IT HAS ACCESS, AS BUILT.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

[Signature]
PROFESSIONAL LAND SURVEYOR
DATE *May 11, 2011*



UNITS PLAN
280 BROADWAY CONDOMINIUM
UNIT 7 & UNIT 8
280 BROADWAY
SOMERVILLE, MASSACHUSETTS

SCALE: 1/8" = 1'

DATE: MAY 11, 2011

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
10 HAMMER STREET, WALTHAM, MA 02453
TEL: 781-891-0417 - bibbobrothers@comcast.net
RALPH J. BIBBO, JR., MANAGER, OWNER
ROBERT J. BIBBO, P.L.S., OWNER

AREA OF UNITS		
	UNIT 7	UNIT 8
BASEMENT	= 523±S.F.	= 439±S.F.
FIRST FL.	= 536±S.F.	= 454±S.F.
SECOND FL.	= 566±S.F.	= 575±S.F.
ATTIC	= 341±S.F.	= 500±S.F.
TOTAL	= 1966±S.F.	= 1968±S.F.

COMMON AREA	
BASEMENT	= 118±S.F.
FIRST	= 131±S.F.
SECOND	= 63±S.F.

DEED REFERENCE:
BOOK 42837 PAGE 180

PLAN REFERENCE:
PLAN BOOK 38 PLAN 37
PLAN 244 OF 2010
PLAN 478 OF 2010

SHOWN IN THE SOMERVILLE ATLAS
AS MAP 71 BLOCK B LOT 2.

THE PROPERTY SHOWN IS LOCATED
IN THE BA ZONING DISTRICT.

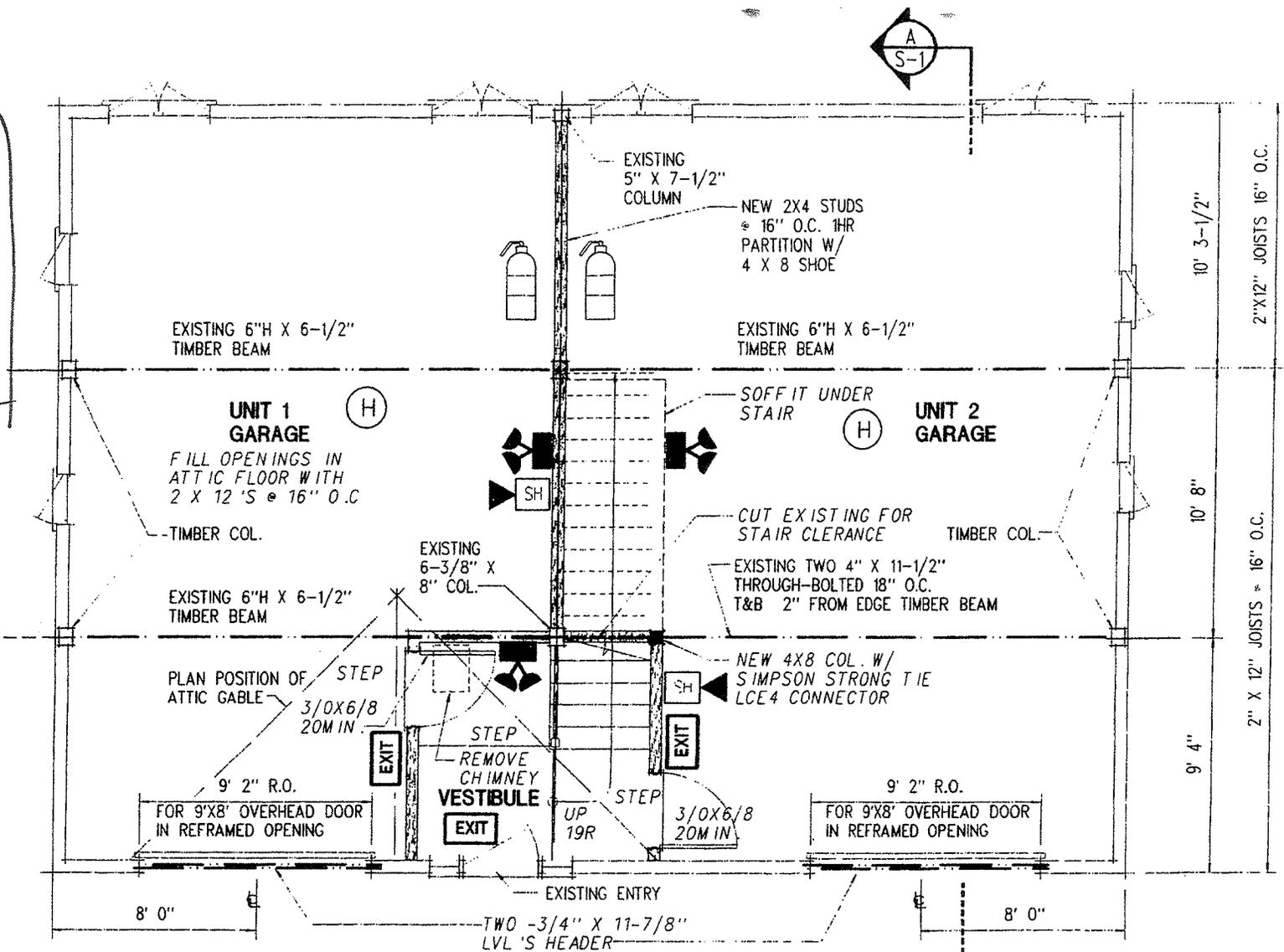
ALL AREAS SHOWN BASED ON
EXTERIOR MEASUREMENTS.

THE BUILDINGS HAVE NO NAME.

First floor
will remain
as-is

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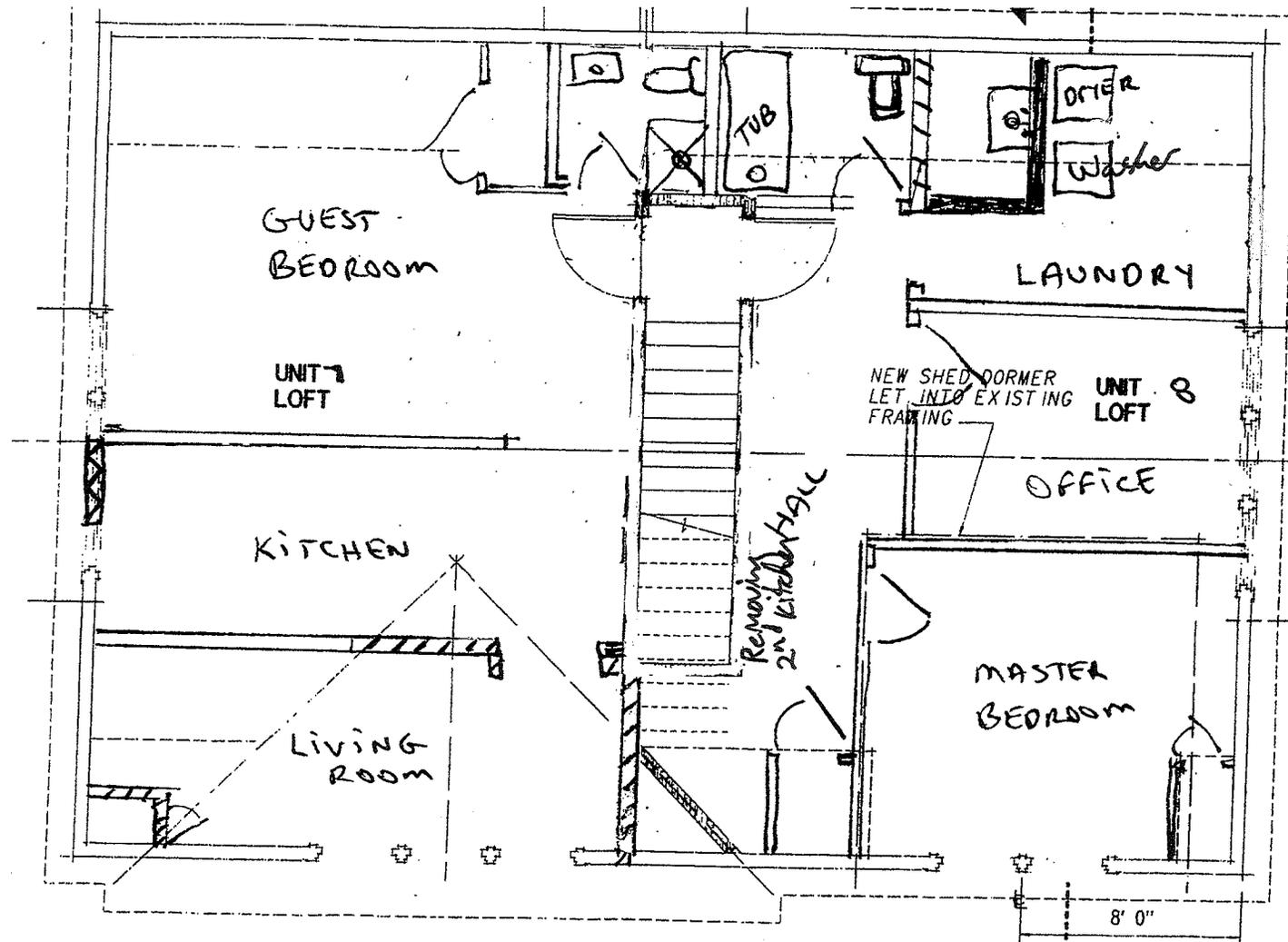
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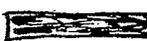
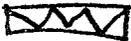


1ST FLOOR PLAN
SCALE: 1/4" = 1' 0"

TAVI AR 100001175

DEMO PLAN



-  Wall being removed
-  New wall added
-  New opening for doors

2ND FLOOR PLAN

1
S-2

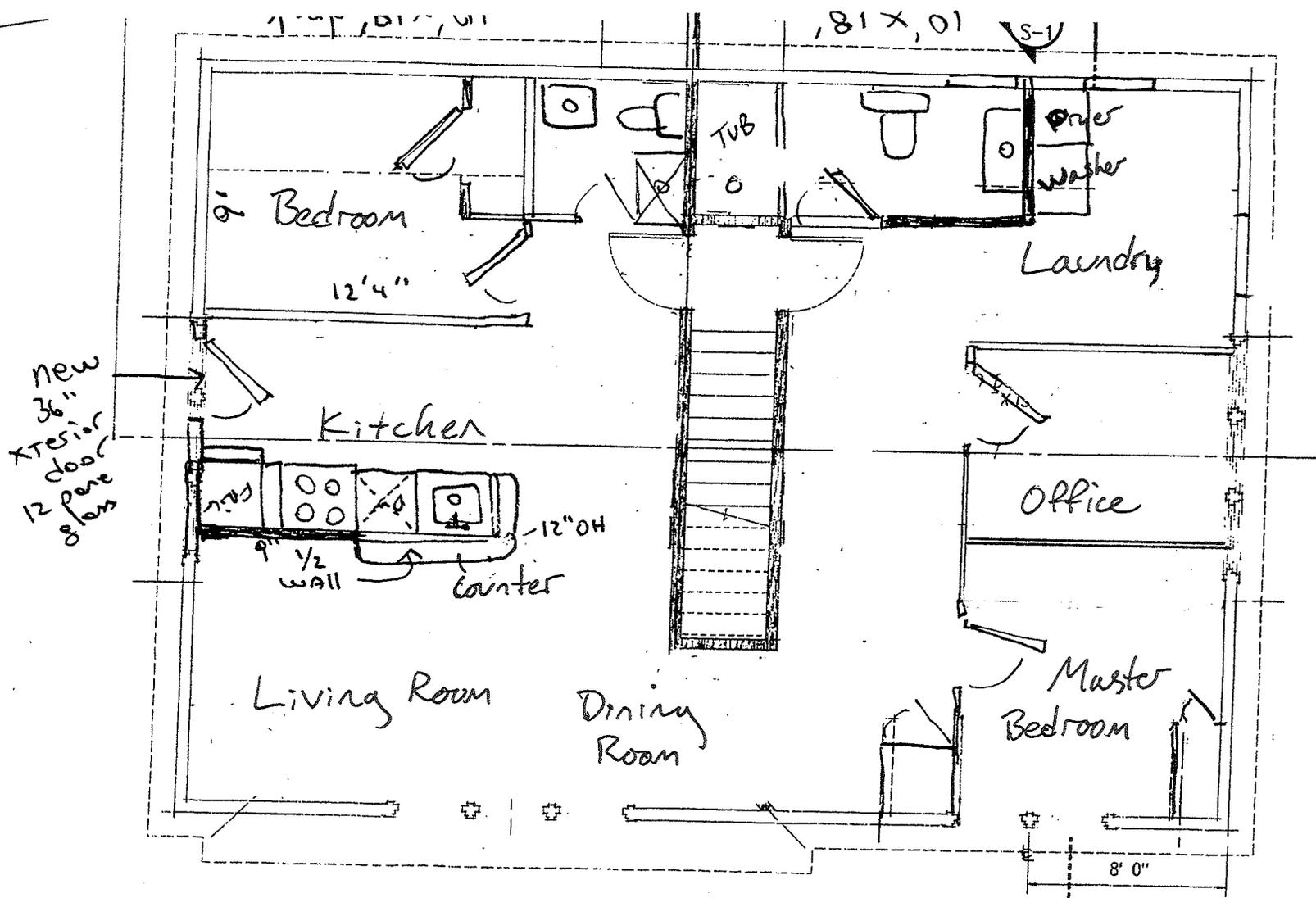


DRAWINGS NOT TO SCALE

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NEW FLOOR PLAN



2ND FLOOR PLAN



DRAWINGS NOT TO SCALE

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PLANNING DEPT.
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163'00" (SURVEY)
195'40" (DEED)

12'9" AFF. S.F. (SUB)
LOT AREA

(9'x20')
PARKING
SPACES

(9'x20')
PARKING
SPACES

①

③

④

⑤

⑥

⑧

⑨

⑩

⑪

⑦

⑥

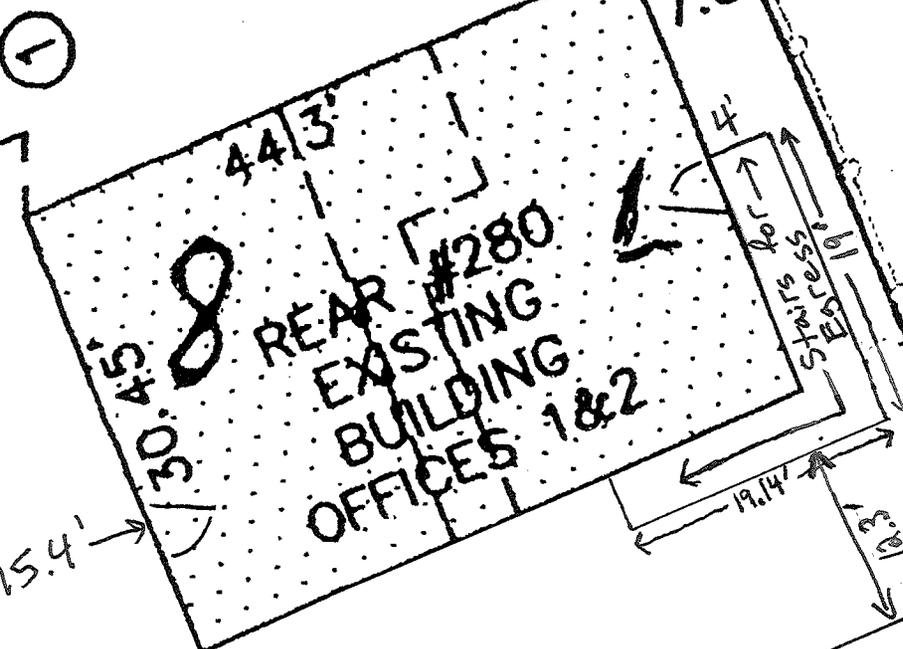
⑤

④

③

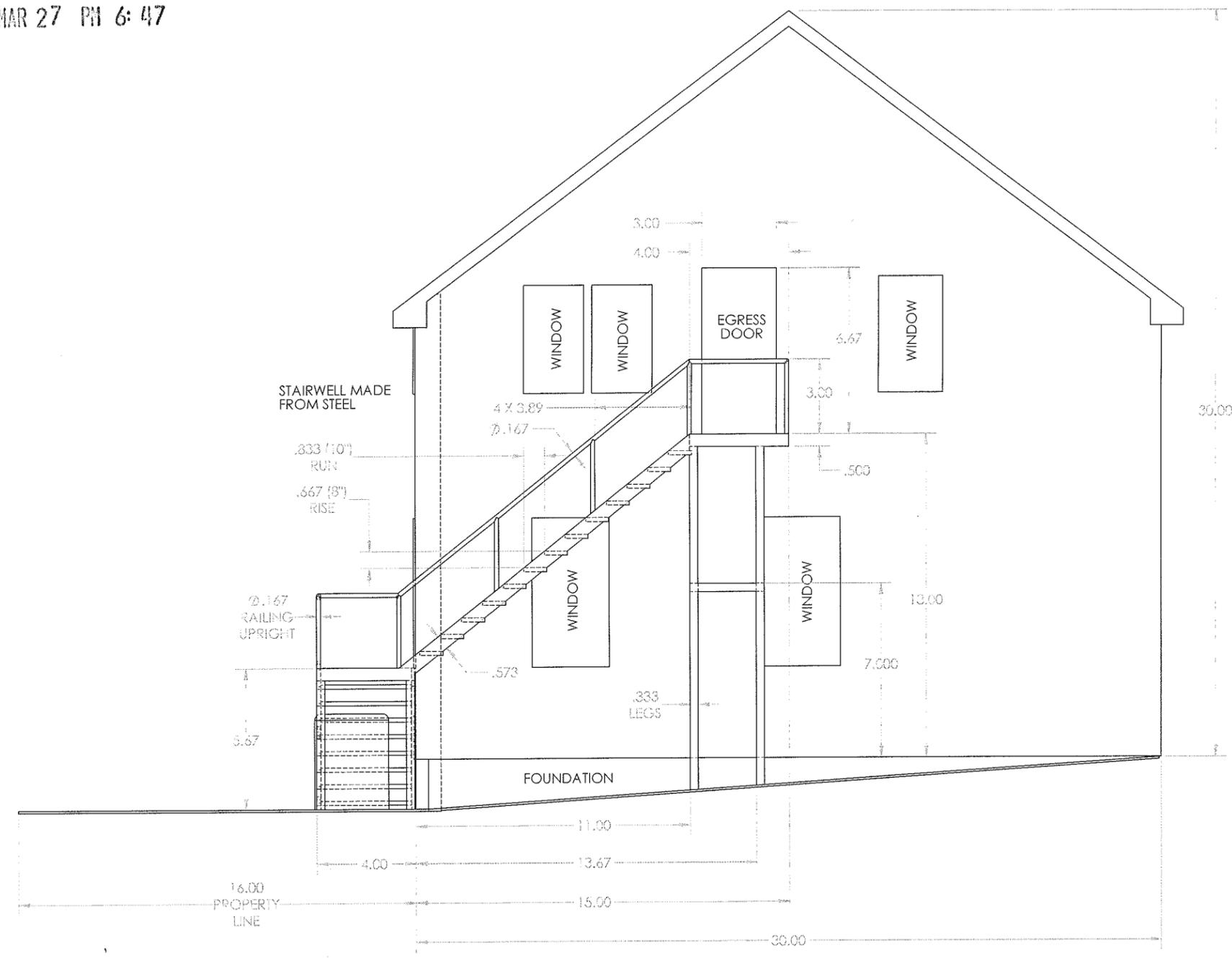
②

①



Egress
Plan

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ELEVATION VIEW (SCALE 1:40)
LEFT SIDE OF BUILDING

PROPRIETARY AND CONFIDENTIAL
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WITHOUT THE WRITTEN PERMISSION OF
<INSERT COMPANY NAME HERE> IS
PROHIBITED.

UNLESS OTHERWISE SPECIFIED:		NAME	DATE
DIMENSIONS ARE IN FEET	DRAWN	AGW	3/15/12
TOLERANCES:	CHECKED		
FRACTIONAL ±	ENG APPR.		
ANGULAR MATCH ± BEND ±	MFG APPR.		
TWO PLACE DECIMAL ±	C.A.		
THREE PLACE DECIMAL ±	COMMENTS:		
INTERPRET GEOMETRIC TOLERANCING PER MATERIAL			
FINISH			
DO NOT SCALE DRAWING			

TITLE:
280 BROADWAY, UNITS 7+8
LEFT SIDE ELEVATION
VIEW, EGRESS
SIZE DWG. NO.: REV
SCALE: 1:40 WEIGHT: SHEET 1 OF 3

RECEIVED
S.P.C.D. AND
PLANNING DEPT.

2012 MAR 27 PM 6:47

F

F

E

E

D

D

C

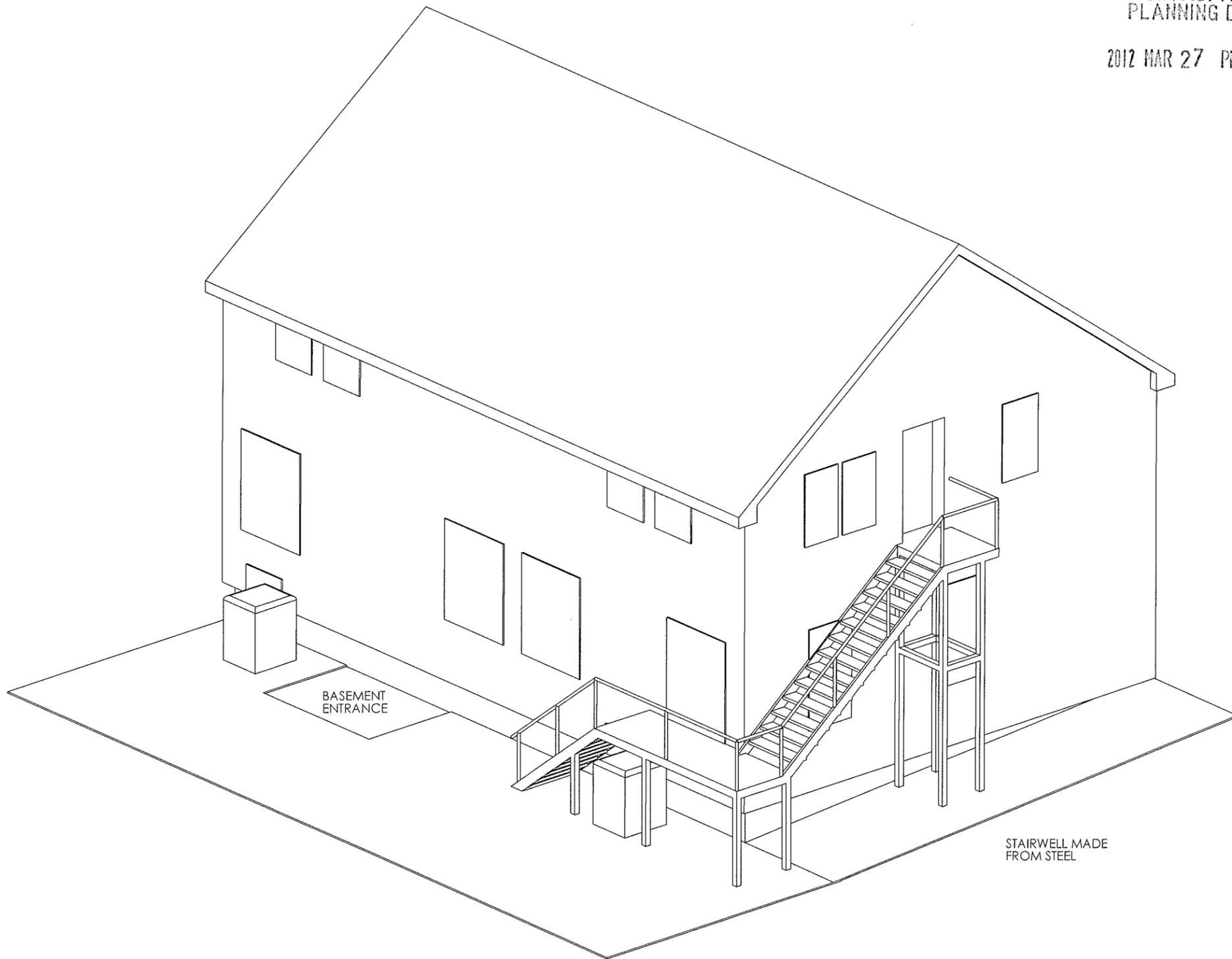
C

B

B

A

A



ISOMETRIC VIEW (SCALE 1:100)
LEFT AND REAR SIDE OF BUILDING

PROPRIETARY AND CONFIDENTIAL
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 DRAWING IS THE SOLE PROPERTY OF
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 "INSERT COMPANY NAME HERE" IS
 PROHIBITED.

UNLESS OTHERWISE SPECIFIED:		NAME	DATE
DIMENSIONS ARE IN FEET		AGW	3/15/12
TOLERANCES:			
FRACTIONAL: ±	CHECKED		
ANGULAR: MACH ±	ENG APPR.		
TWO PLACE DECIMAL ±	MFG APPR.		
THREE PLACE DECIMAL ±	Q.A.		
INTERPRET GEOMETRIC TOLERANCING PER: MATERIAL	COMMENTS:		
FINISH			
DO NOT SCALE DRAWING			

TITLE:
 280 BROADWAY UNITS 7+8,
 ISOMETRIC VIEW, EGRESS
 SIZE DWG. NO. REV
 C
 SCALE: 1:50 WEIGHT: SHEET 3 OF 3