

LEGEND

PROPERTY LINE

POST MOUNTED SIGN

PROPOSED CONCRETE WALKWAY

LAYOUT & MATERIALS NOTES

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING. DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SCREENED IMAGES SHOW EXISTING CONDITIONS. SEE REFERENCES FOR SOURCE OF EXISTING CONDITIONS INFORMATION.

STRIPING TO BE WHITE PAINT UNLESS OTHERWISE NOTED.

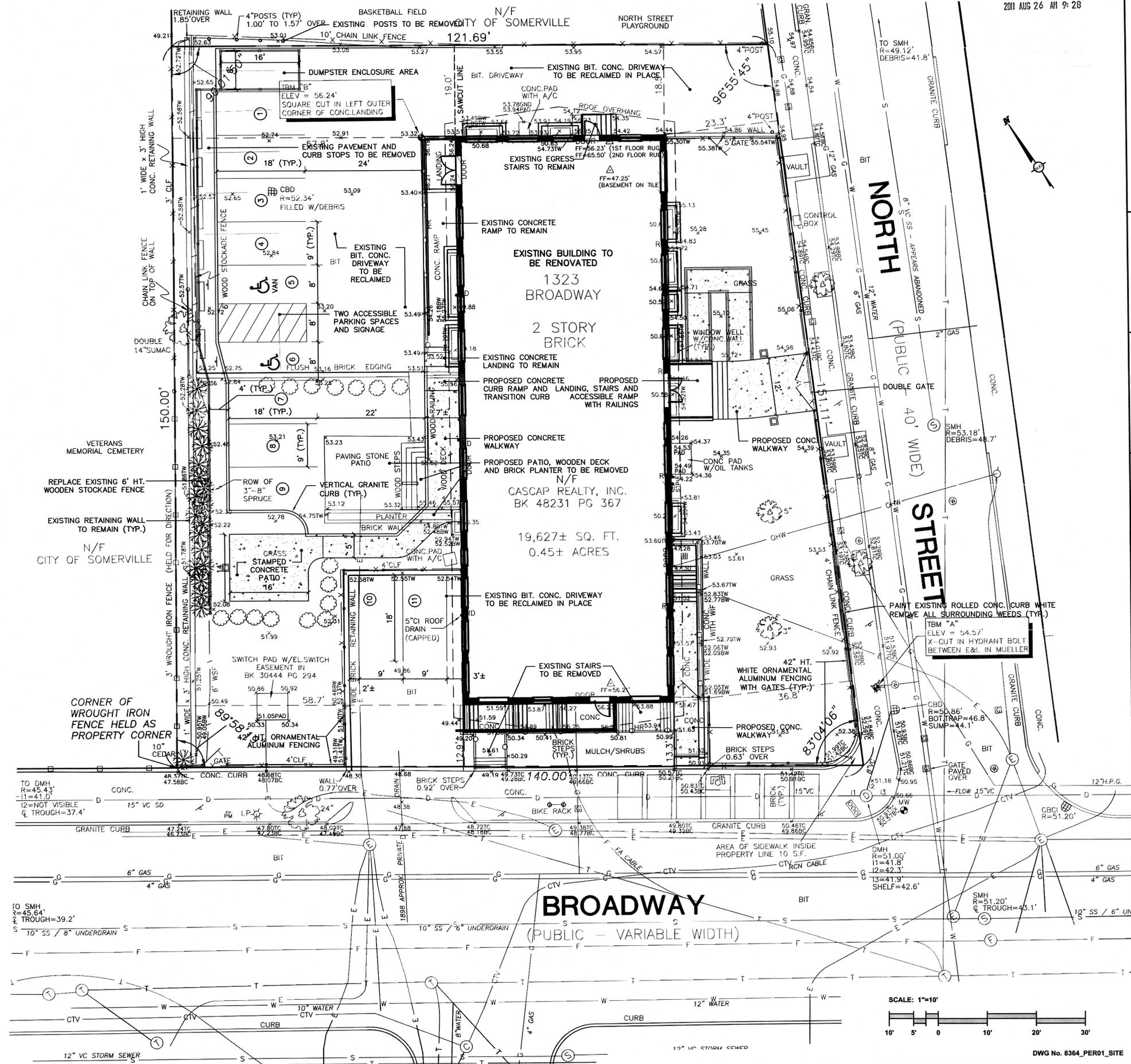
REFERENCES

EXISTING CONDITIONS BASE INFORMATION AND TOPOGRAPHY COMPILED FROM PLAN TITLED EXISTING CONDITIONS PLAN OF LAND "DRAFT" PREPARED FOR VOLUNTEERS OF AMERICA OF MASSACHUSETTS, INC. 1323 BROADWAY, SOMERVILLE, MASSACHUSETTS DATED MARCH 30, 2011 BY CULLINAN ENGINEERING CO. INC.

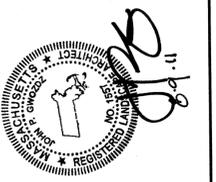
ASSESSOR'S MAP 5 LOT 3

CITY SURVEY NOTES: FIELD BOOK 11, PAGES 98-101

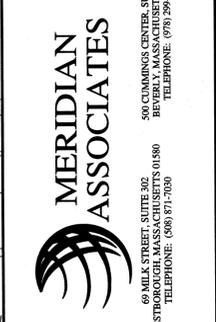
MIDDLESEX SOUTH REGISTRY OF DEEDS: BOOK 9359 PLAN 157 PLAN BOOK 118 PAGE 2 PLAN BOOK 132 PLAN 5



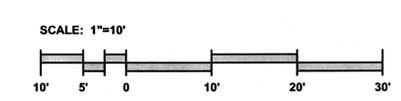
NO.	DATE	DESCRIPTION	BY	CHKD.



**Layout & Materials Plan**  
**1323 Broadway Veteran Housing**  
 Address:  
 1323 Broadway  
 Somerville, Massachusetts  
 Prepared For:  
 Volunteers of America Massachusetts



DATE:  
 August 9, 2011  
 SCALE:  
 1"=10'  
 PROJECT No.  
 8364  
 SHEET No.  
 1 of 5



DWG No. 8364\_PER01\_SITE

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE WALKWAY
- POST MOUNTED SIGN

REFERENCES

EXISTING CONDITIONS BASE INFORMATION AND TOPOGRAPHY COMPILED FROM PLAN TITLED EXISTING CONDITIONS PLAN OF LAND 'DRAFT' PREPARED FOR VOLUNTEERS OF AMERICA OF MASSACHUSETTS, INC. 1323 BROADWAY, SOMERVILLE, MASSACHUSETTS DATED MARCH 30, 2011 BY CULLINAN ENGINEERING CO. INC.

ASSESSOR'S MAP 5 LOT 3

CITY SURVEY NOTES:  
FIELD BOOK 11, PAGES 98-101

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BOOK 9359 PLAN 157  
PLAN BOOK 118 PAGE 2  
PLAN BOOK 132 PLAN 5

GRADING, DRAINAGE & UTILITIES NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW-CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS. PITCH EVENLY BETWEEN SPOT GRADES.

ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF AND IN COORDINATION WITH THE CITY DEPARTMENT OF PUBLIC WORKS.

THE CONTRACTOR SHALL PRESERVE FROM DAMAGE ALL VEGETATION DESIGNATED TO REMAIN AS SHOWN ON THE DRAWINGS, FLAGGED IN THE FIELD OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

ALL ON-SITE DRAIN LINES SHALL BE 12" SMOOTH WALLED HPDE PIPE UNLESS OTHERWISE NOTED.

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSTRUCTION SHALL COMPLY WITH ALL CITY OF SOMERVILLE DEPARTMENT OF PUBLIC WORKS FOR PAVING, PAVEMENT CUTTING, EXCAVATION, UTILITY CONNECTIONS, BACKFILLING, AND PATCHING.

EXCAVATION REQUIRED PROXIMATE TO EXISTING UTILITIES SHALL BE DONE BY HAND. ANY DAMAGE TO THE EXISTING UTILITIES OR STRUCTURES INCURRED DURING CONSTRUCTION SHALL BE REPAIRED AT NO COST TO THE OWNER.

BARRICADE OPEN DEPRESSIONS AND EXCAVATIONS OCCURRING AS PART OF THE WORK, IN ACCORDANCE WITH OSHA REQUIREMENTS AND POST WARNING LIGHTS ON AREAS WITH PUBLIC ACCESS. SECURE THE SITE AS REQUIRED BY THE OWNER AND THE CITY.

ALL ACCESSIBLE ROUTES, RAMPS, AND PARKING SPACES TO COMPLY WITH ADA AND MASSACHUSETTS AAB REGULATIONS (TYP.)

RECLAIMED PAVEMENT CONSTRUCTION NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.

EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE PULVERIZED AND MIXED WITH EXISTING AND ADDED GRANULAR BASE MATERIAL TO PROVIDE A RECLAIMED PAVEMENT BASE COURSE MATERIAL TO THE LINES AND GRADES SHOWN ON THE PLAN.

THE RECLAIMED PAVEMENT BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	PERCENTAGE FINER BY WEIGHT
4 INCH	100
1/2 INCH	50-85
NO. 4	40-75
NO. 10	30-60
NO. 40	10-35
NO. 100	5-20
NO. 200	0-10

WORK SHOULD NOT BE PERFORMED WHEN THE SUBGRADE SOILS ARE FROZEN OR EXCESSIVELY WET.

THE PREPARED PAVEMENT BASE COURSE LAYER SHALL BE COMPACTED WITH A MINIMUM OF SIX (6) PASSES OF A VIBRATORY DRUM ROLLER WITH A MINIMUM DRUM WEIGHT OF 10,000 POUNDS. SOFT OR UNSTABLE AREAS SHALL BE OVEREXCAVATED AND BACKFILLED IN A CONTROLLED MANNER WITH SUITABLE OFF-SITE SAND AND GRAVEL.

WATER SHALL BE APPLIED TO THE PAVEMENT BASE AS REQUIRED TO FACILITATE ITS COMPACTION.

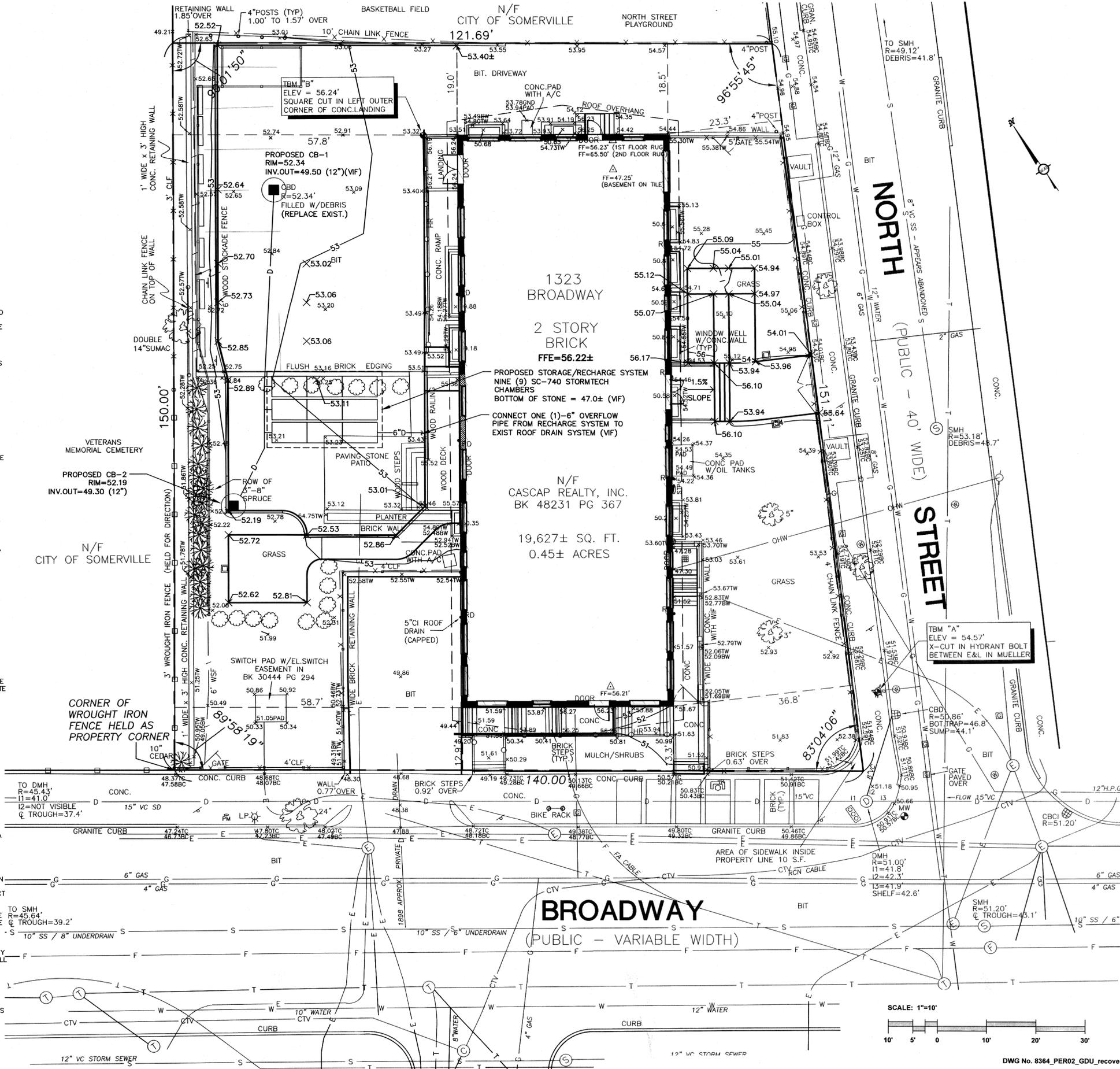
SHOULD THE RECLAIMED BASE COURSE MATERIAL BECOME CHURNED UP OR MIXED WITH SOILS THAT RESULT IN AN UNACCEPTABLE GRADATION AT ANY TIME, THE CONTRACTOR SHALL, WITHOUT ADDITIONAL COMPENSATION, REMOVE THE CONTAMINATED MIXTURE. THE CONTRACTOR SHALL ADD NEW BASE MATERIAL, AND RESHAPE AND RECOMPACT THE SUBGRADE. BASE COURSE MATERIAL SHALL BE REPLACED AND COMPACTED TO PROPOSED GRADES.

THE FINAL SURFACE OF THE RECLAIMED BASE COURSE SHALL BE FINE GRADED TO PRODUCE A FINISHED SURFACE ELEVATION NOT WITHIN MORE THAN ONE-QUARTER INCH IN 10 FEET TOLERANCE. IF, AFTER APPROVAL, THE BASE COURSE BECOMES DISPLACED OR DISTURBED, THE CONTRACTOR SHALL REPAIR THE DAMAGE THEN REGRADE THE BASE. ALL REPAIRED SECTIONS SHALL BE RECOMPACTED TO THE REQUIRED DENSITY.

ROCKS GREATER THAN THREE INCHES (3") IN DIAMETER IN THE RECLAMATION MATERIAL SHALL BE REMOVED. ANY OTHER MATERIAL ENCOUNTERED, SUCH AS CONCRETE, SHALL BE CONSIDERED AS UNSUITABLE MATERIAL AND SHALL BE REMOVED FROM THE SITE.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF EXISTING CURB OR PAVEMENT SHALL BE SAW-CUT TO A CLEAN SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS, AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES, AND JOINTS.

GRADE TO PROPOSED ELEVATIONS. REMOVE EXCESS MATERIAL FROM SITE. PITCH EVENLY BETWEEN SPOT GRADES AND GRADE ALL AREAS TO DRAIN.

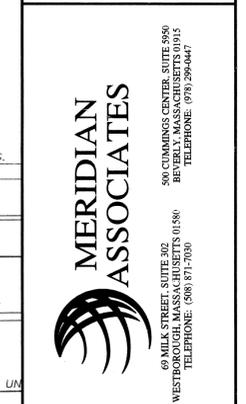


NO.	DATE	DESCRIPTION	BY	CHKD.
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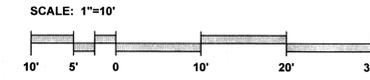


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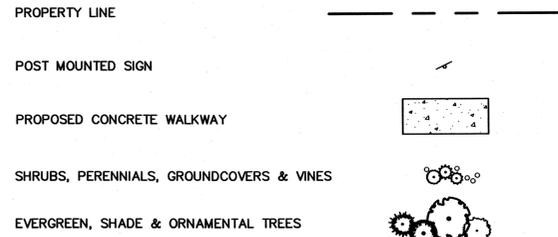
**Grading, Drainage & Utilities Plan**  
**1323 Broadway Veteran Housing**  
Address:  
1323 Broadway  
Somerville, Massachusetts  
Prepared For:  
Volunteers of America Massachusetts



DATE:  
August 9, 2011  
(See Revisions)  
SCALE:  
1"=10'  
PROJECT No.  
8364  
SHEET No.  
2 of 5



**LEGEND**

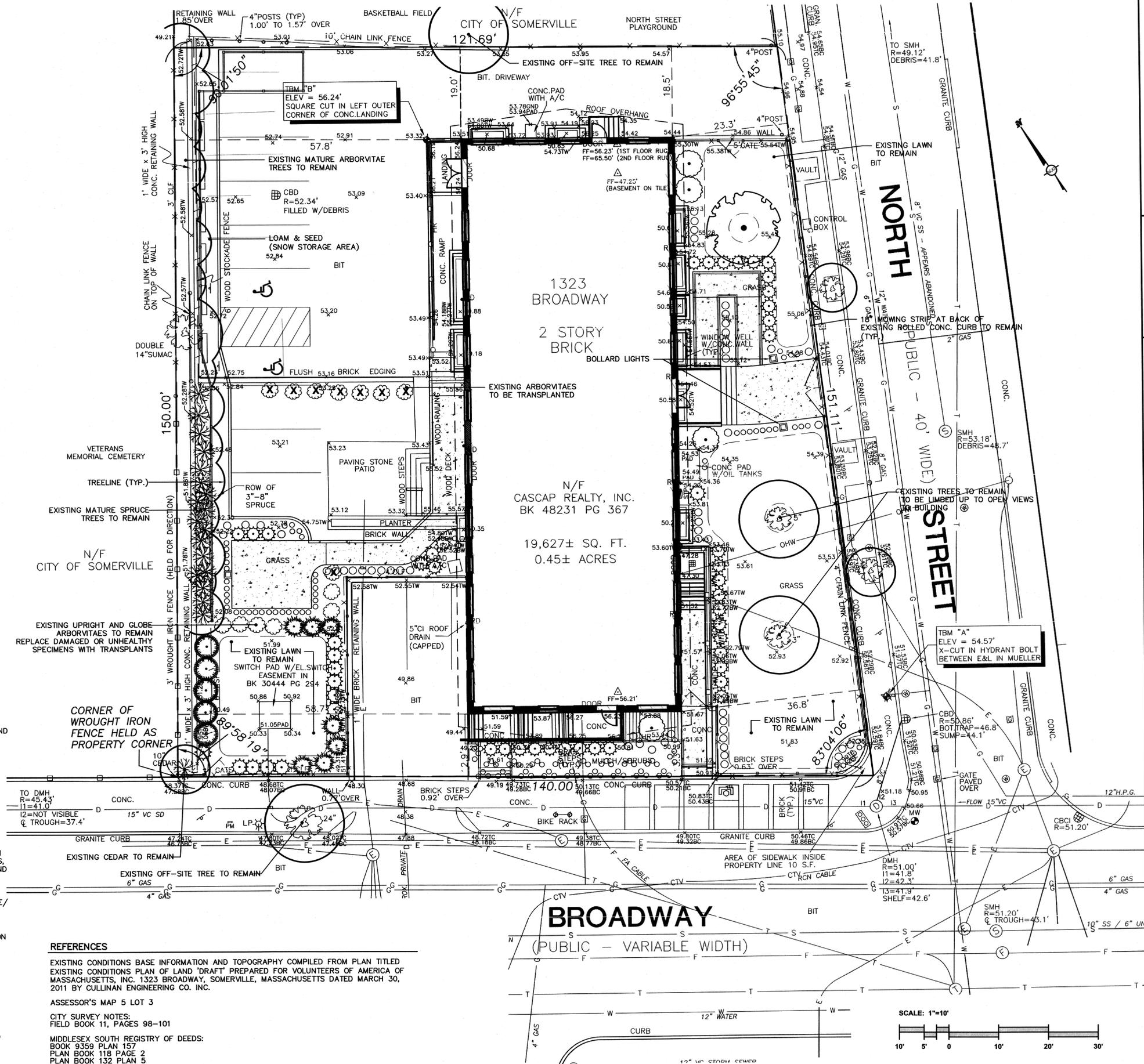


**CONCEPTUAL PLANT SCHEDULE**

TREES	LATIN NAME	NOTES
AMERICAN HORNBEEAM	CARPINUS CAROLINIANA	2-2 1/2" CAL
CRABAPPLE, CHERRY, PEAR	MALUS, PRUNUS, PYRUS VAR.	2-2 1/2" CAL
EASTERN WHITE PINE	PINUS STROBUS	7-8' HT
PIN OAK	QUERCUS PALUSTRIS	3-3 1/2" CAL
DARK GREEN ARBORVITAE	THUJA NIGRA	5-6' HT
EASTERN HEMLOCK	TSUGA CANADENSIS	7-8' HT
<b>SHRUBS</b>		
SUMMERSWEET	CLETHRA ALNIFOLIA	2'-3' HT
BOXWOOD HEDGE	BUXUS SEMPERVIRENS	2'-3' HT
INKBERRY	ILEX GLABRA	3-4' HT
RHODODENDRON	RHODODENDRON 'NOVA ZEMBLA'	2'-3' HT
ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	3-4' HT
<b>GROUNDCOVERS, PERENNIALS &amp; VINES</b>		
PURPLE CONEFLOWER	ECHINACEA PURPEA	2 GAL.
DAYLILY	HEMEROCALLIS SPP.	2 GAL.
PLANTAIN LILY	HOSTA SPP.	2 GAL.
CREeping JUNIPER	JUNIPERUS HORIZONTALIS	2 GAL.
SARGENT JUNIPER	JUNIPERUS SARGENTII	2 GAL.
DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	3 GAL.
BLACK EYED SUSAN	RUDBECKIA FULGIDA	1 GAL.
FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA	3 GAL.
STONECROP	SEDUM 'AUTUMN JOY'	1 GAL.

**LANDSCAPE & LIGHTING NOTES**

- SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.
- ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
- ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES.
- PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
- PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
- ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE IS PROVIDED TO CONTRACTOR BY OWNER OR HIS REPRESENTATIVE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.
- REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO BELOW PARAMETERS. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.
- PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS: 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.
- PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL TURFGRASS LAWN AREAS AND PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE.
- SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
- BOLLARD LIGHTS TO BE 6" DIAMETER 'ANNAPOLIS SMART BOLLARD' SOLAR POWERED LIGHT BOLLARD WITH BLACK FINISH.
- ALL PRUNING OPERATIONS TO BE COMPLETED UNDER THE SUPERVISION OF A MASS. CERTIFIED ARBORIST (MCA).
- PLANT MATERIAL SPECIFICATION TO BE DETERMINED.

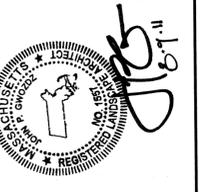


**REFERENCES**

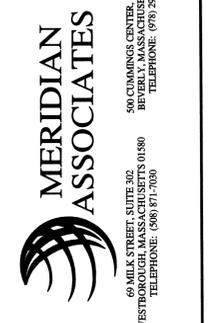
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- CITY SURVEY NOTES: FIELD BOOK 11, PAGES 98-101
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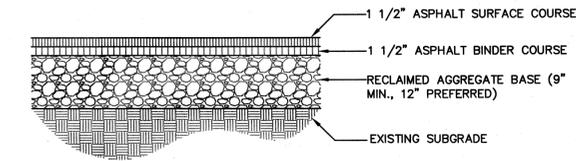
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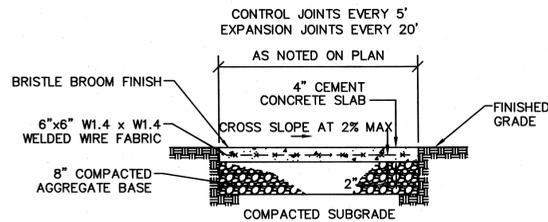
**Landscape & Lighting Plan**  
**1323 Broadway Veteran Housing**  
 Address:  
 1323 Broadway  
 Somerville, Massachusetts  
 Prepared For:  
 Volunteers of America Massachusetts



**DATE:**  
 August 9, 2011  
**SCALE:**  
 1" = 10'  
**PROJECT No.**  
 8364  
**SHEET No.**  
 3 of 5

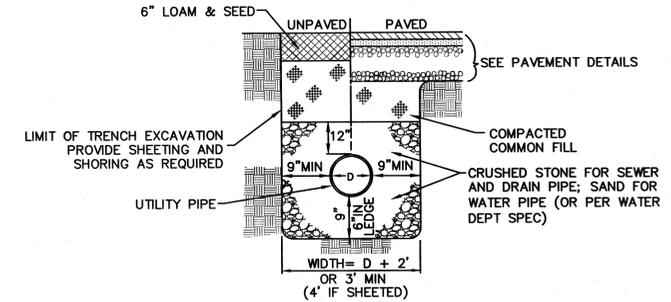


**RECLAIMED BITUMINOUS CONCRETE PAVEMENT**  
(NOT TO SCALE)

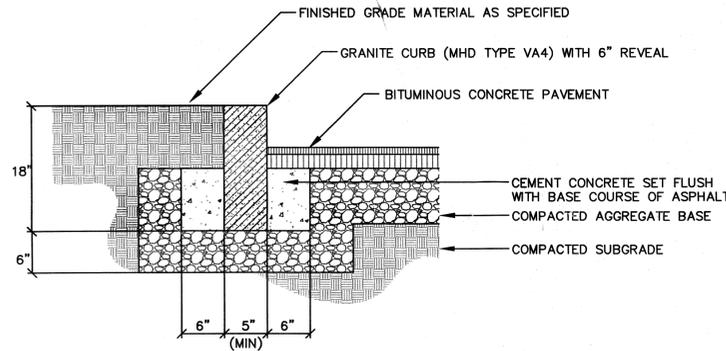


**CEMENT CONCRETE WALKWAY**  
(NOT TO SCALE)

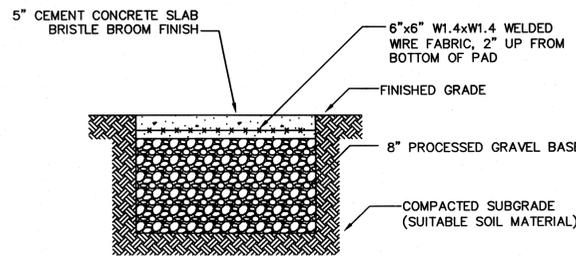
TRENCH WIDTH (W)		
D	W	W
DIAMETER OF PIPE UNSHEETED	UN-SHEETED	SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



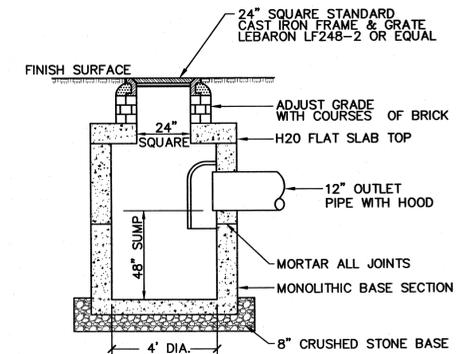
**TYPICAL TRENCH SECTION**  
(NOT TO SCALE)



**VERTICAL GRANITE CURB**  
(NOT TO SCALE)

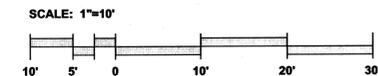


**CEMENT CONCRETE DUMPSTER PAD**  
(NOT TO SCALE)



- NOTES:
- STRUCTURE DESIGN TO LATEST ASTM C478.
  - REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
  - CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
  - FLAT SLAB TOP AASHTO H-20
  - ONE POUR MONOLITHIC BASE.

**PRECAST CONCRETE CATCH BASIN W/ TRAP**  
(NOT TO SCALE)



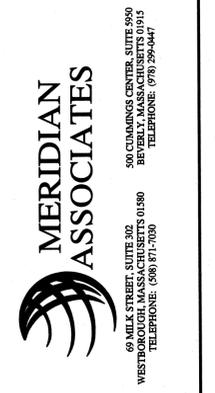
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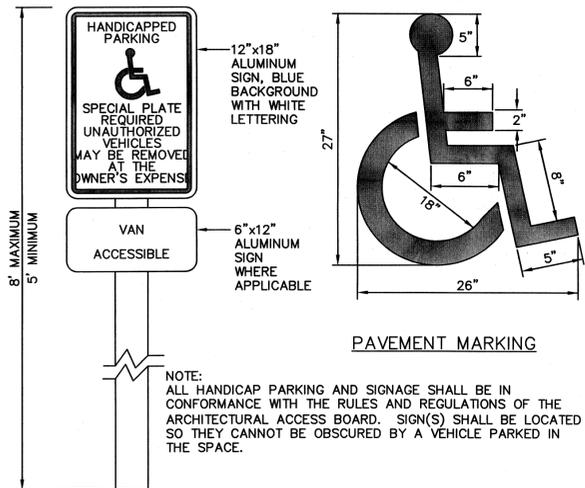


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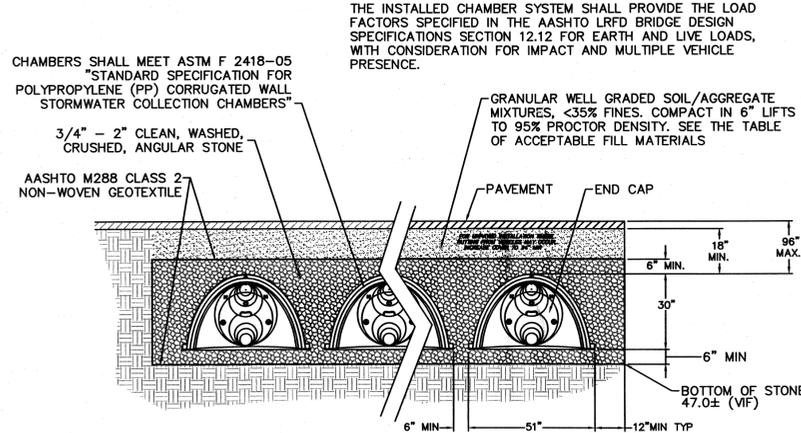
**Site Details**  
**1323 Broadway Veteran Housing**  
Address:  
1323 Broadway  
Somerville, Massachusetts  
Prepared For:  
Volunteers of America Massachusetts



DATE:  
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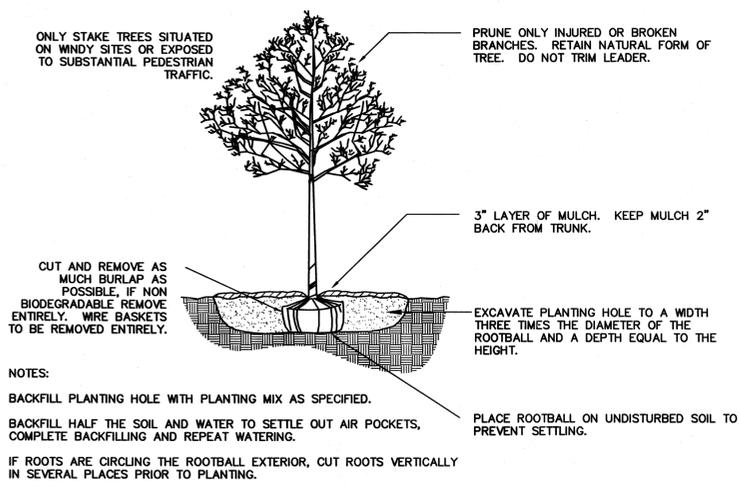


**HANDICAP SIGN AND PAVEMENT MARKING**  
(NOT TO SCALE)

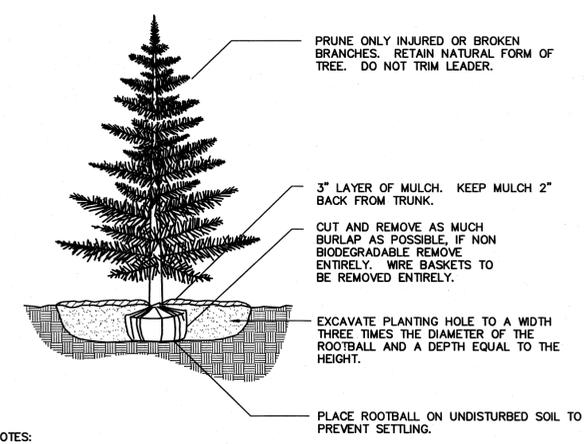


THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS

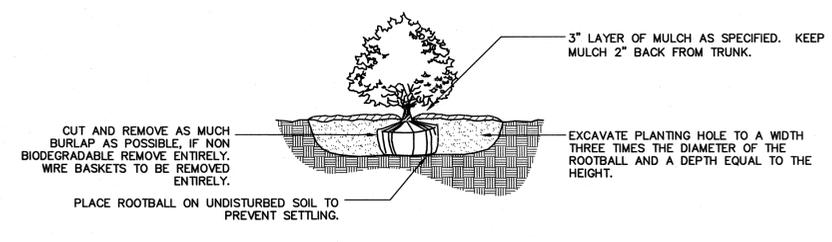
**TYPICAL UNDERGROUND INFILTRATION SYSTEM**  
(NOT TO SCALE)



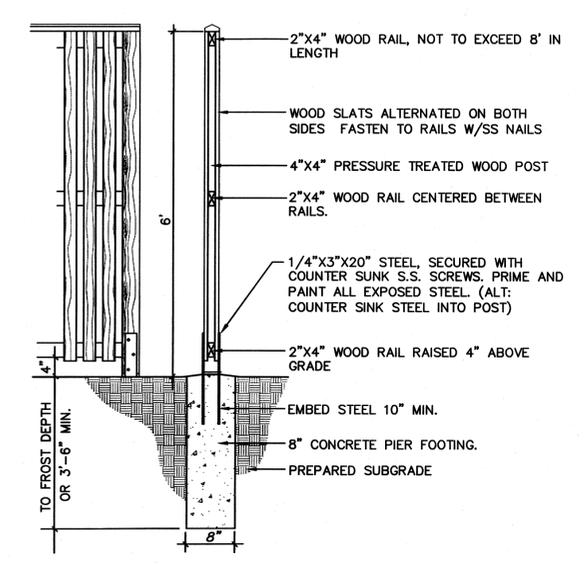
**TREE PLANTING**  
(NOT TO SCALE)



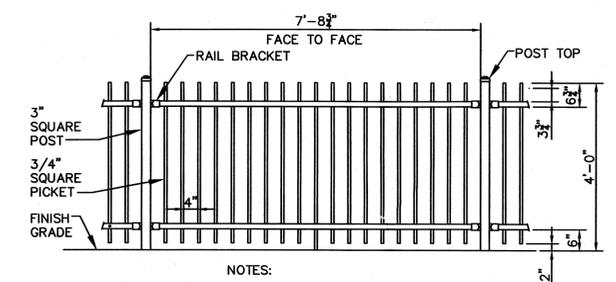
**EVERGREEN TREE PLANTING**  
(NOT TO SCALE)



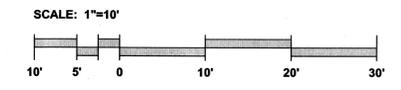
**SHRUB PLANTING DETAIL**  
(NOT TO SCALE)



**WOOD STOCKADE FENCE**  
(NOT TO SCALE)



**ORNAMENTAL ALUMINUM FENCE**  
(NOT TO SCALE)



DWG No. 8364\_PER01\_DET

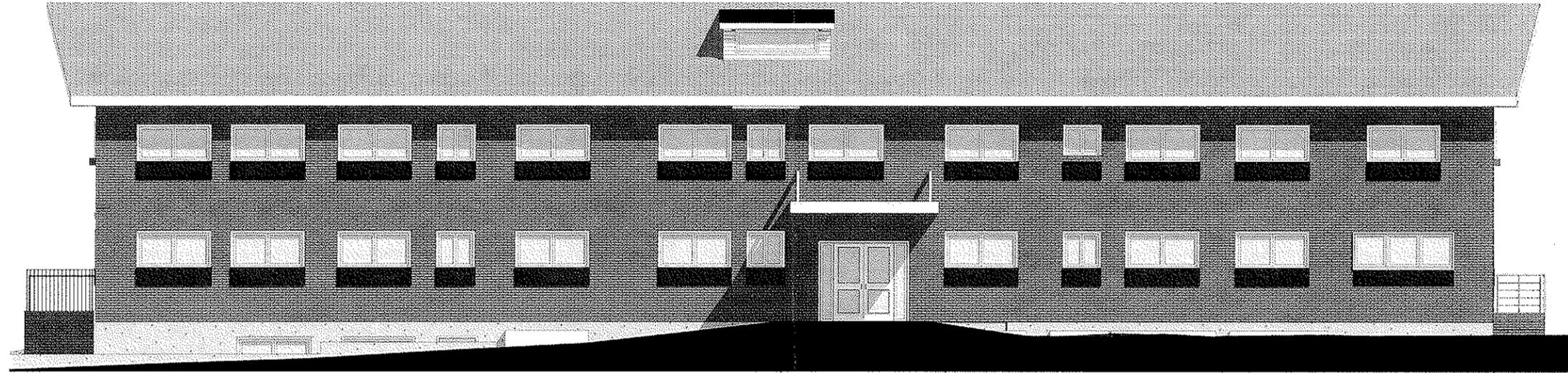
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1-11-11

**Site Details**  
1323 Broadway Veteran Housing  
Address:  
1323 Broadway  
Somerville, Massachusetts  
Prepared For:  
Volunteers of America Massachusetts

**MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER, SUITE 900  
BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 254-4441  
69 MILK STREET, SUITE 302  
WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 911-7036

DATE:  
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1" = 10'  
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8364  
SHEET No.  
5 of 5



# 1323 BROADWAY

Somerville, Massachusetts

## CODE SUMMARY

Massachusetts State Building Code (Eighth Edition)  
Mass. Architectural Access Board

## OCCUPANCY

GROUP HOME, 22 BED Permitted  
APARTMENTS, 7 APS = 4 - 1BR, 3 - STUDIO Permitted  
All units are affordable

## ZONING DISTRICT

RB Residence B Map 5 Block B Lot 3

## PARKING

\*\*Special Permit to reduce 20%

ITEM	REQ'D BY ZONING	PROVIDED
4- 1 BR	= 6 spaces	
3 STUDIOS	= 3 spaces	
22 BED GP HOME	= 2 spaces	
VISITOR PARKING	= 2 spaces	
Total	= 13 spaces	
** 13 spaces less 20%	= 10.4 spaces	11

## PROJECT DATA

Square Footage:

	EXISTING	NEW
Ground Floor	5075 sf	5075 sf
First Floor	5075 sf	5075 sf
Second Floor	5075 sf	5075 sf
Totals	15,225 sf	15,225 sf

## OWNER / DEVELOPER:

Volunteers of America  
Boston, MA

## REAL ESTATE CONSULTANT:

ASZ Associates  
Cambridge, MA

## ARCHITECT:

Chia-Ming Sze Architect Inc.  
Boston, MA

## ZONING DATA

Dimensional Regulations - RB District

Land SF 19,627±  
Building SF 15,225 ±

ITEM	REQ'D BY ZONING	PROVIDED
1. Min Lot Area	7,500 SF	exist. 19,627 SF
2. Min. Lot/du	1,500 SF/Unit = 13 du	8 du
3. Max. Ground Cover	50%	26% ±
4. Min Landscape Area	25%	35% ±
5. FAR	1.0	exist. .52 ±
6. Max. Height	3 stories / 40ft	exist. 2 1/2 stories
7. Min Front Yard	15ft	exist. 22 ft
8. Min Side Yard	8ft	exist. 14 ft
9. Min Rear Yard	20ft	exist. 56 ft
10. Min Frontage	50ft	exist. 140.0 ft

## Drawing List

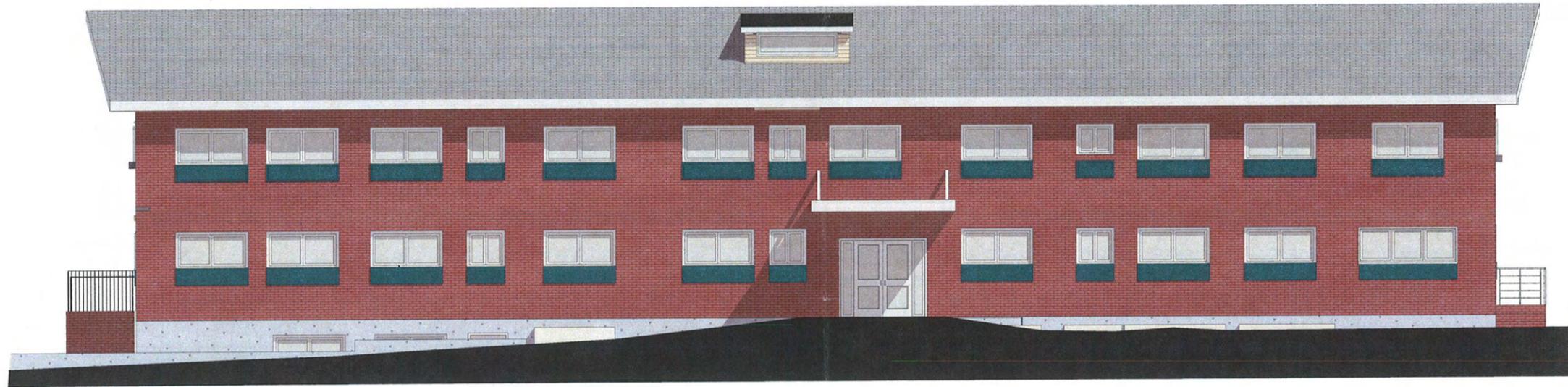
A2.03 Site Plan/First Floor  
A2.04 Basement Floor Plan  
A2.05 First Floor Plan  
A2.06 Second Floor Plan  
A3.01 Building Elevations  
A3.02 Building Elevations North St. Perspective

RECEIVED  
S.P.C.D. AND  
PLANNING DEPT.  
2011 AUG 26 AM 9:21

Main Entrance changed to North Street. May need new street address.  
Pending site plan and design review by Somerville Planning Department

August 9, 2011





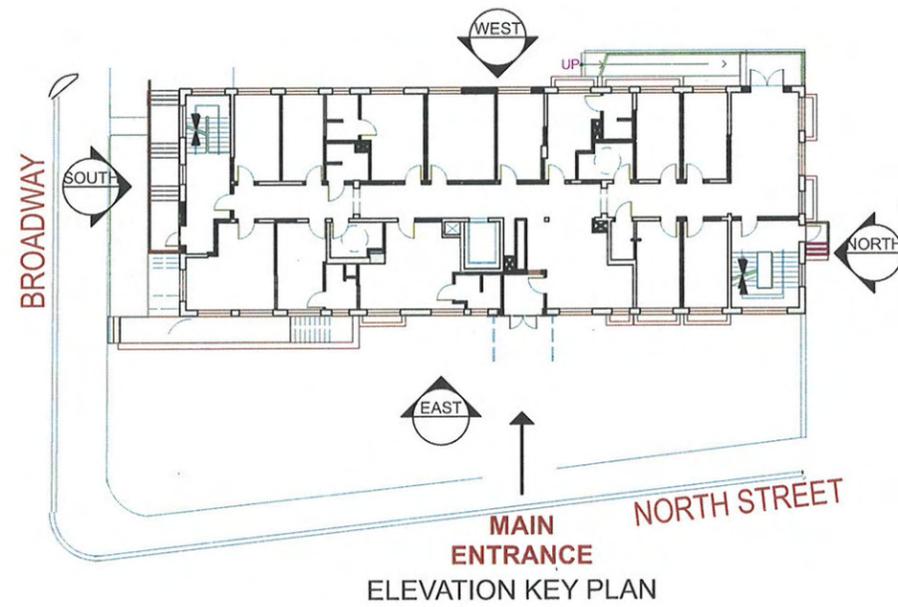
EAST ELEVATION  
NOT TO SCALE

1



NORTH ELEVATION  
NOT TO SCALE

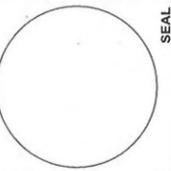
2



MAIN  
ENTRANCE  
ELEVATION KEY PLAN

RECEIVED  
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PLANNING DEPT.  
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Chia-Ming Size Architect Inc.  
Architects and Planners  
326 A Street, Boston, MA 02210  
(tel) 617-451-2727 / (fax) 617-451-6350



SEAL

Volunteers of America  
1323 Broadway  
Somerville, MA

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE

Date: 8/5/11  
Scale: AS NOTED  
Drawn:  
Job:  
Sheet:

A3.02

Plotted On: 8/5/11

BUILDING ELEVATIONS (CONT)







