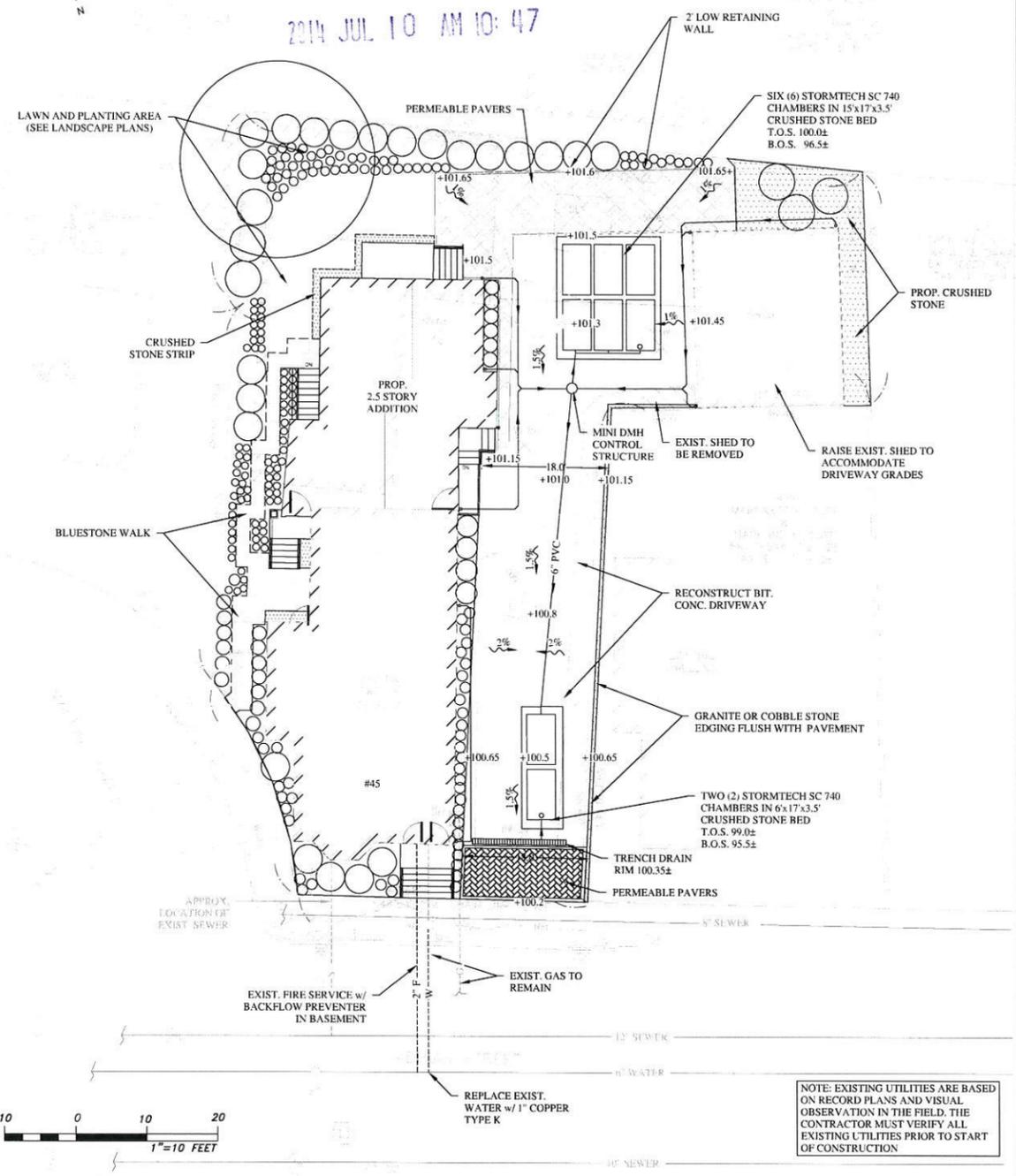


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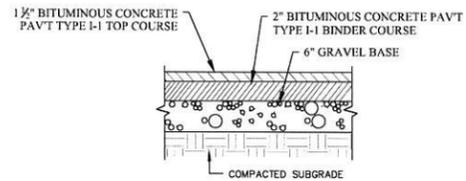


NOTE: EXISTING UTILITIES ARE BASED ON RECORD PLANS AND VISUAL OBSERVATION IN THE FIELD. THE CONTRACTOR MUST VERIFY ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION

INFILTRATION SYSTEMS:

51.0' Wide + 6.0' Spacing = 57.0' C-C Row Spacing
3 Chambers/Row x 7.12' Long +0.44' Row Adjustment = 21.80'
Row Length +12.0' End Stone x 2 = 23.80' Base Length
2 Rows x 51.0' Wide + 6.0' Spacing x 1 + 12.0' Side Stone x 2 = 11.00' Base Width
6.0' Base + 30.0' Chamber Height + 6.0' Cover = 3.50' Field Height
6 Chambers x 45.9 cf +0.44' Row Adjustment x 6.45 sf x 2 Rows = 281.3 cf Chamber Storage
916.3 cf Field - 281.3 cf Chambers = 635.0 cf Stone x 40.0% Voids = 254.0 cf Stone Storage
Stone + Chamber Storage = **535.3 CF**

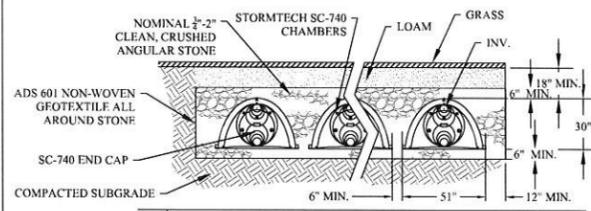
51.0' Wide + 6.0' Spacing = 57.0' C-C Row Spacing
2 Chambers/Row x 7.12' Long +0.44' Row Adjustment = 14.68'
Row Length +12.0' End Stone x 2 = 16.68' Base Length
1 Rows x 51.0' Wide + 12.0' Side Stone x 2 = 6.25' Base Width
6.0' Base + 30.0' Chamber Height + 6.0' Cover = 3.50' Field Height
2 Chambers x 45.9 cf +0.44' Row Adjustment x 6.45 sf x 1 Rows = 94.7 cf Chamber Storage
164.9 cf Field - 94.7 cf Chambers = 270.2 cf Stone x 40.0% Voids = 108.1 cf Stone Storage
Stone + Chamber Storage = **202.8 CF**



NOTE: GRAVEL PARKING AREA SHALL BE 10" (d) 3/4" STONE ON COMPACTED SUBGRADE

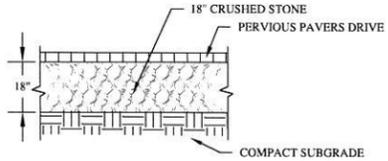
BITUMINOUS CONCRETE PAVEMENT FOR PARKING LOT CONSTRUCTION

NOT TO SCALE



STORMTECH SC 740 SECTION

NOT TO SCALE

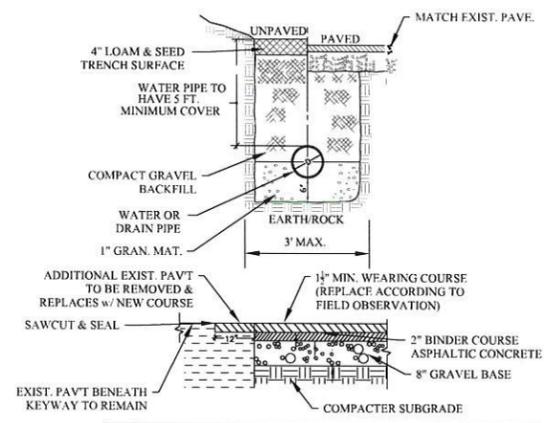


NOTE: SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION

PERVIOUS PAVERS DRIVEWAY w/ CRUSHED STONE

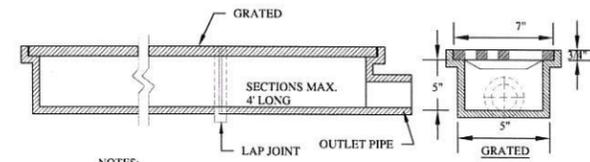
NOT TO SCALE

- GENERAL NOTES**
- THE PURPOSE OF THIS SITE PLAN IS TO DEPICT THE DESIGN AND LAYOUT OF THE DRIVEWAY, PROP. ADDITION, UTILITIES AND STORM DRAINAGE SYSTEM. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS.
 - ROOF RUNOFF IS TO BE COLLECTED BY ROOF DRAINS AND DOWNSPOUTS AND PIPED TO THE INFILTRATION SYSTEM IN THE DRIVEWAY.
 - THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OR SIZE OF EXISTING UTILITIES ON THE SITE OR WITHIN THE STREET. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY AND RECORD THE LOCATION OF EACH UTILITY. THERE ARE SEVERAL EXISTING DRAIN AND SEWER STRUCTURES IN SOMERVILLE AVE WHERE THE INVERT DATA IS NOT KNOWN. THE CONTRACTOR SHALL DETERMINE THESE INVERTS AND PROVIDE INFORMATION TO THE ENGINEER PRIOR TO START OF WORK.
 - THE CONTRACTOR SHALL CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF EXISTING MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233, FAX 1-800-322-4844. DIGSAFE MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 - ALL WORK PERFORMED SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE CITY OF SOMERVILLE AND TO ALL APPLICABLE LOCAL AND STATE REGULATIONS.
 - THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO COMPLETE THE STORM DRAINAGE SYSTEMS AS INDICATED ON THE PLANS.
 - THE CITY RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
 - DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED TO PROTECT AGAINST CAVE-IN.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SOIL IS TRACKED FROM THE SITE ONTO CITY STREETS OR SIDEWALKS. NO VEHICLES MAY PARK ON CITY SIDEWALKS AT ANY TIME.
 - AN AS-BUILT DRAWING (CERTIFIED BY A P.E.) OF THE PROPOSED SITE WORK, INCLUDING BUILDING FOOTPRINT, UTILITIES ABANDONED AND INSTALLED, DRAINAGE IMPROVEMENTS AND FINAL GRADING MUST BE SUBMITTED TO THE DPW. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER AND SOMERVILLE DPW FOR INSPECTION PRIOR TO BACKFILLING.
 - SOIL TESTS MAY BE REQUIRED BY THE DPW AT THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE TESTS AND INSPECTIONS WITH THE DPW.
 - FIRE SERVICE SIZE IS PER THE OWNERS MECHANICAL ENGINEER/FIRE SUPPRESSION DESIGNER. THE CONTRACTOR SHALL VERIFY SIZE PRIOR TO CONSTRUCTION.



PIPE EXCAVATION & TRENCH PATCH

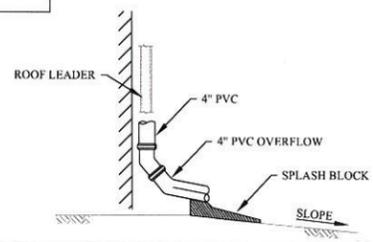
NOT TO SCALE



NOTES:
1. MEDIUM DUTY STANDARD 4" PVC SDR OUTLET AT END OF DRAIN
2. CLOSED ENDS NEENAH R-499-A2 SERIES OR APPROVED EQUIVALENT

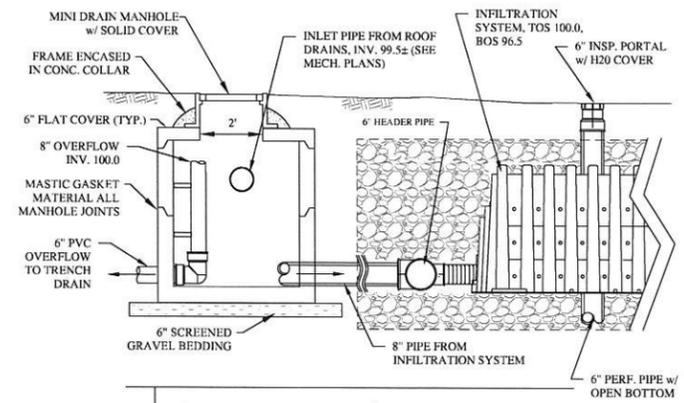
TRENCH DRAIN w/ GRATED FRAME

NOT TO SCALE



ROOF DOWNSPOUT w/ SPLASH-BLOCK

NOT TO SCALE



DRAIN MANHOLE w/ OVERFLOW

NOT TO SCALE, (H-20 LOADING)

Civil Site Plan

45 Adrian St.
Somerville, MA



REFERENCES:

SURVEY: PFS Land Surveying on 10/28/13
ARCHITECT: KDI, Somerville MA
LA: Blair Hines Design Associates, LLC

MATERIALS:

STORM DRAIN: 6" PVC ASTM D3034-SDR 35
SIZE AS NOTED ON PLANS
(1% MINIMUM SLOPE)
ROOF DRAINS: 4" PVC SCHED. 40 (TYP.) OR AS NOTED ON THE PLANS

OPERATIONS AND MAINTENANCE

1. STORMTECH: THE PROPOSED UNDERGROUND INFILTRATION SYSTEMS HAVE INSPECTION PORTS THAT CAN BE USED TO OBSERVE ANY EXCESSIVE BUILD UP OF SEDIMENTS OR STANDING WATER. INSPECTIONS ARE TO BE PERFORMED AFTER EVERY MAJOR STORM DURING FIRST THREE MONTHS AND TWICE PER YEAR THEREAFTER. REMOVAL OF SEDIMENT, IF REQUIRED, TO BE PERFORMED BY A MAINTENANCE COMPANY FAMILIAR WITH THE SYSTEM DESIGN.

No.	Date	Comment

Columbia Design Group, LLC
Consulting Engineers

14 Upham Avenue
Boston, MA 02125
(T) 617.506.1474 (F) 617.507.7740

45 Adrian St.
Somerville

Date: March 17, 2014 Scale: 1" = 10'

Project No.: 2014-106 Drawing by: NG/PG



C-1

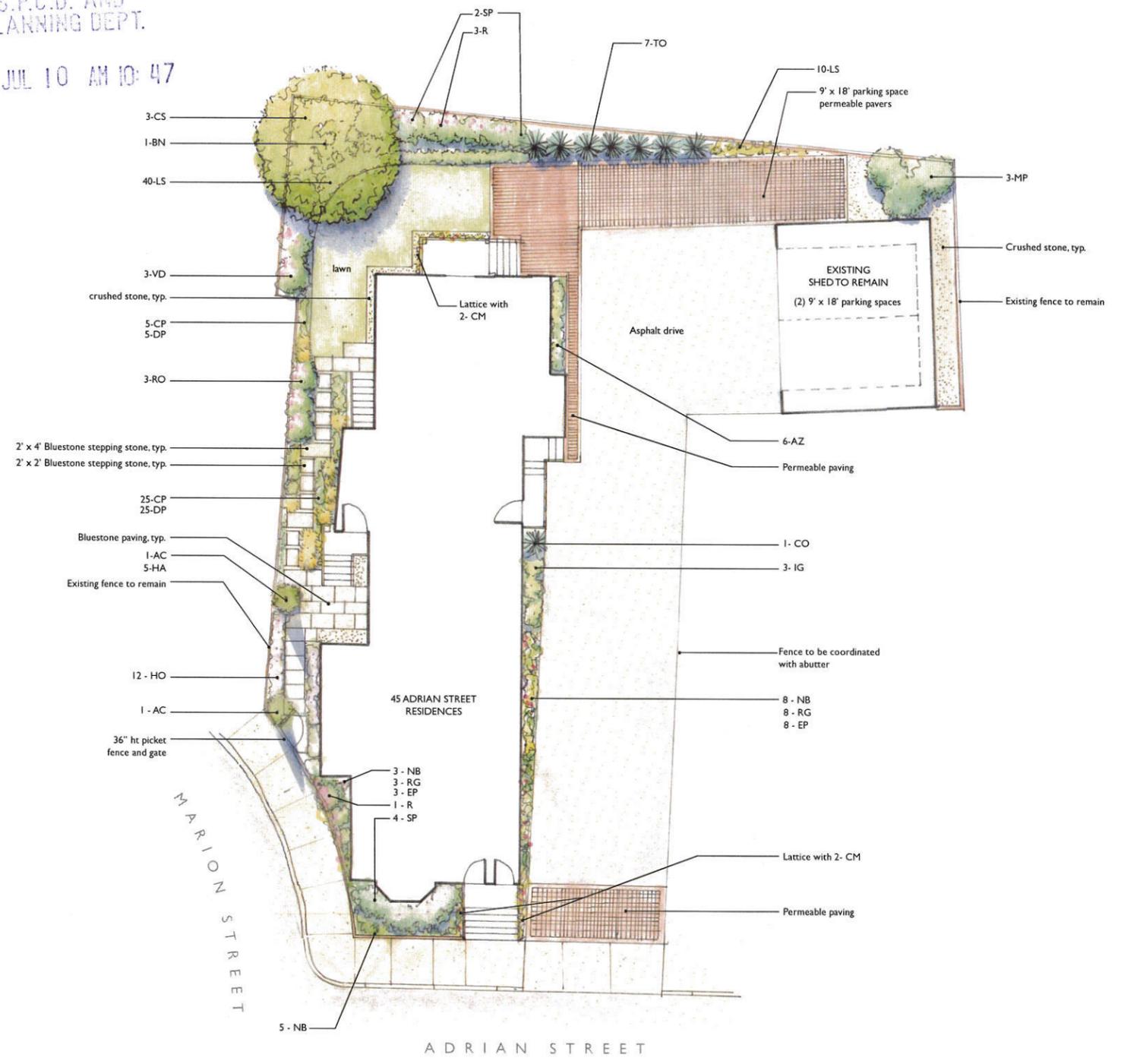
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PLANT LIST					
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AC*	2	Acer saccharum 'Newton Sentry'	Sugar Maple 'Newton Sentry'	2-2.5 cal	b&b
BN	1	Betula nigra 'Heritage'	Heritage River Birch	2.5"-3" cal	b&b
CO	1	Chamaecyparis obtusa 'Gracilis Compacta'	Compact Gracilis Hinoki	4-5' ht.	b&b
TO	7	Thuja occidentalis 'Emerald'	Emerald Arborvitae	7-8' ht.	b&b
SHRUBS/VINES					
AZ	6	Azalea Karen	Lavender Evergreen Azalea	24" ht.	
CM	4	Clematis montana rubens	Pink Anemone Clematis	2 gal.	
CS	3	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	30" ht.	
IG	3	Ilex glabra 'Shamrock'	Inkberry	24" ht.	
MP	3	Myrica pensylvanica	Northern Bayberry	3-4' ht.	
R	4	Rosa 'Radyod' Blushing Knockout	Pink Knockout Rose	30" ht.	
RO	3	Rhododendron 'Chionoides'	Chionoides Rhododendron	36" ht.	
SP	6	Syringa patula 'Miss Kim'	Miss Kim Lilac	36" ht.	
VD	3	Viburnum dentatum	Arrowwood Viburnum	30" ht.	
PERENNIALS/GRASSES					
CP	30	Carex pensylvanica	Sedge	1 gal.	
DP	30	Denstaeidia punctilobula	Hay-scented fern	1 gal.	
EP	11	Echinacea purpurea 'Kim's Knee High'	Low Purple Coneflower	2 gal.	
HA	5	Hakonechloa macra 'Aureola'	Hakone grass	1 gal.	
HO	12	Hosta 'Francee'	Francee Hosta	2 gal.	
LS	50	Liriope spicata	Creeping Lily Turf	1 qt.	
NB	16	Nepeta 'Blue Wonder'	Blue Wonder Catmint	2 gal.	
RG	11	Rudbeckia 'Goldstrum'	Black-eyed Susan	2 gal.	

*Or substitute with Liquidambar styraciflua 'Slender Silhouette' if unavailable.

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the approval of the Landscape Architect.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3" greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



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bluestone paving



permeable paving



permeable paving

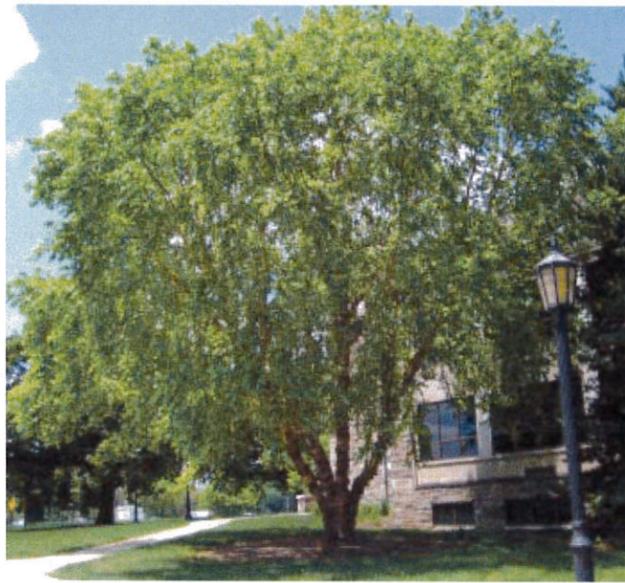


picket fence





Newton Sentry
Sugar Maple



River birch



Arborvitae



Rhododendron



Northern Bayberry

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Knockout Rose



Lilac



Redtwig dogwood



Azalea

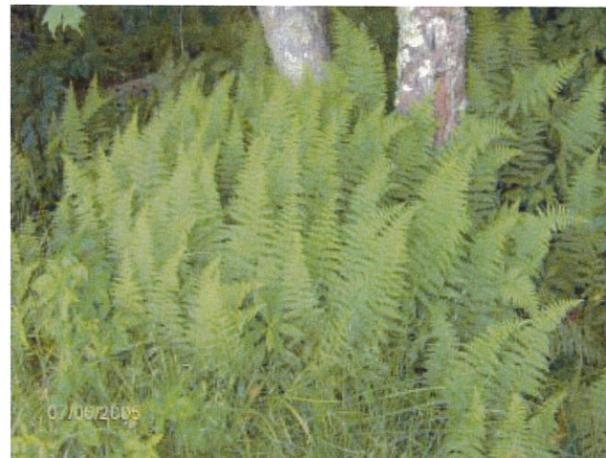


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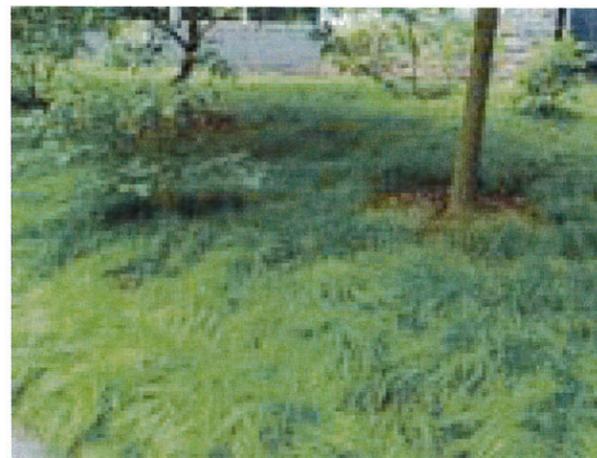
2014 JUL 10 AM 10: 47



Liriope



Hay-scented fern



Sedge



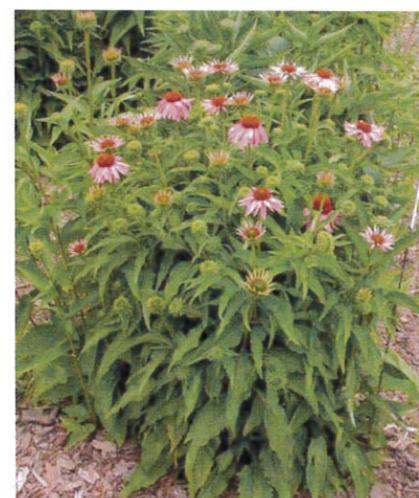
Hosta



Catmint



Black-eyed Susan

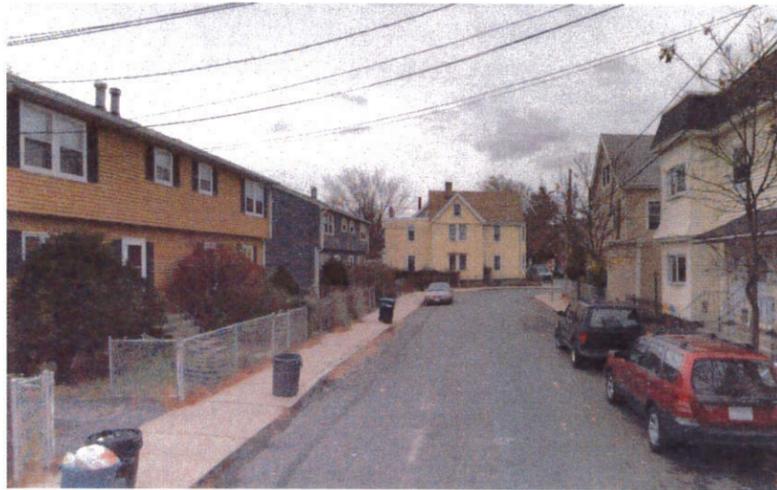


Purple coneflower

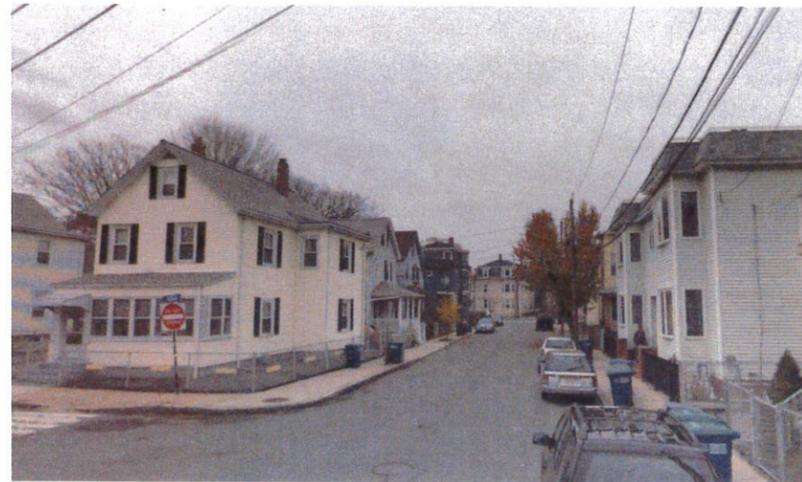


Hakonechloa

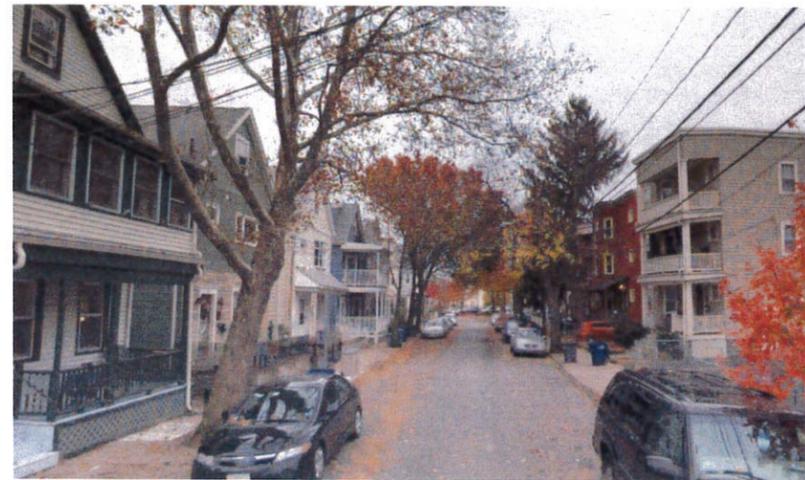




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2



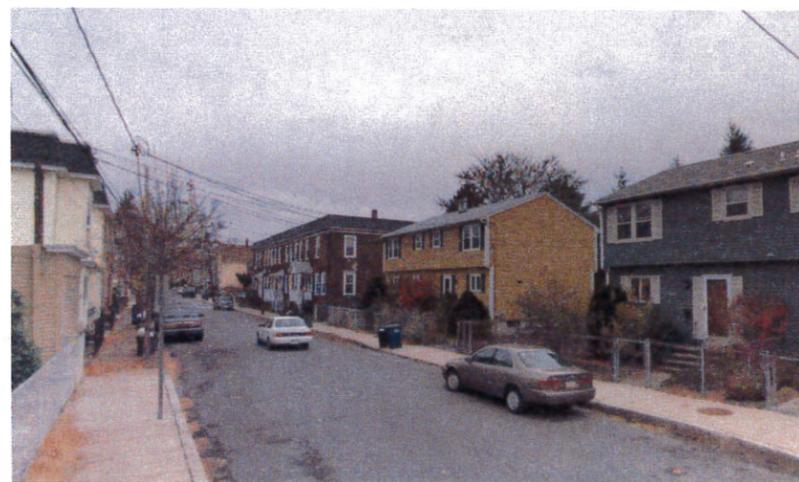
3



4



5



6



7



8

PROJECT NAME

ADRIAN ST RESIDENCES

PROJECT ADDRESS

45 Adrian St Somerville, MA

CLIENT

Nelson Oliverio

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 13075
Date 03-20-14
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Checked by KDI
Scale

No.	Description	Date

SITE CONTEXT

Z-003

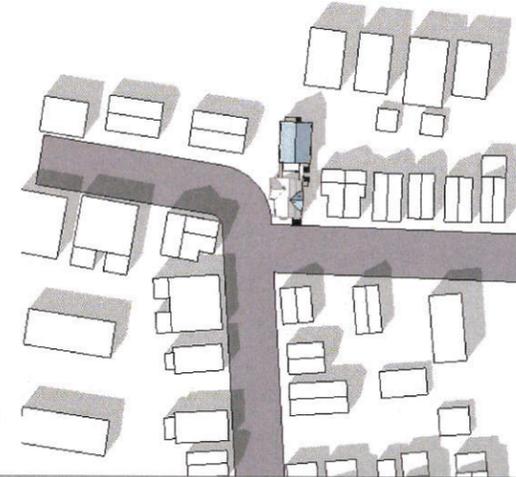
ADRIAN ST RESIDENCES

MORNING (9-10 AM)

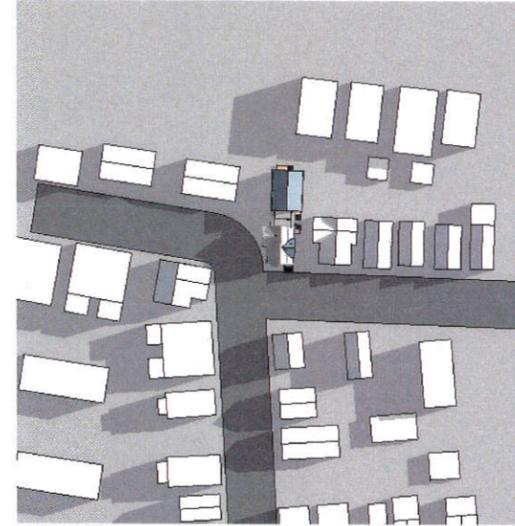
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

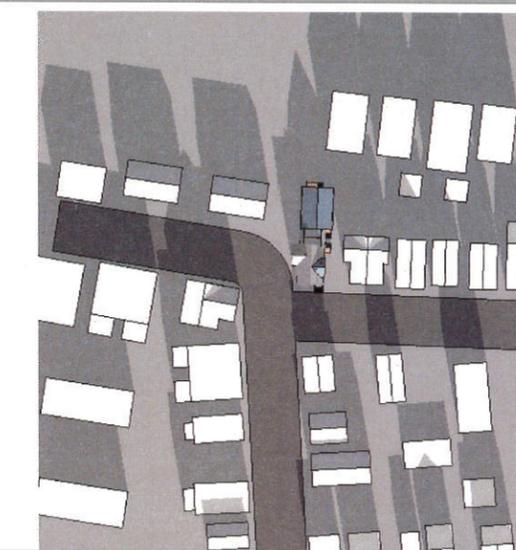
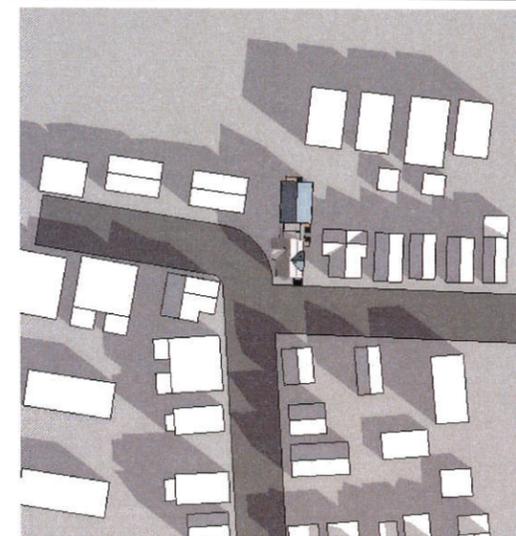
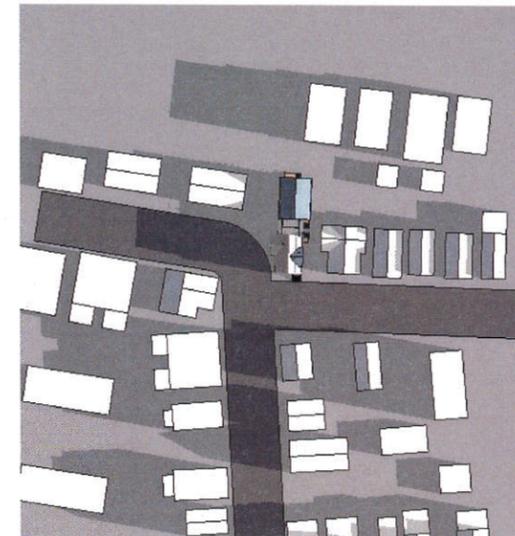
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME
Adrian Street Residences

PROJECT ADDRESS
 45 Adrian Street
 Somerville, MA

CLIENT
Nelson Oliverio

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8662 FAX: 617-591-2066

CONSULTANTS:

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Project number 13075
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 Checked by JSK
 Scale 1/2" = 1'-0"

REVISIONS

No.	Description	Date

SHADOW STUDY

SHD
 Adrian Street Residences

PROJECT NAME
Adrian Street
Residences

PROJECT ADDRESS
45 Adrian Street
Somerville, MA

CLIENT
Nelson Oliverio

ARCHITECT
KHALSA DESIGN INC.

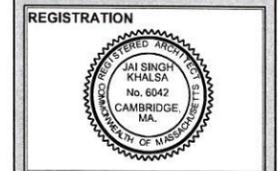


17 WALDOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-991-9682 FAX: 617-991-2086

CONSULTANTS:

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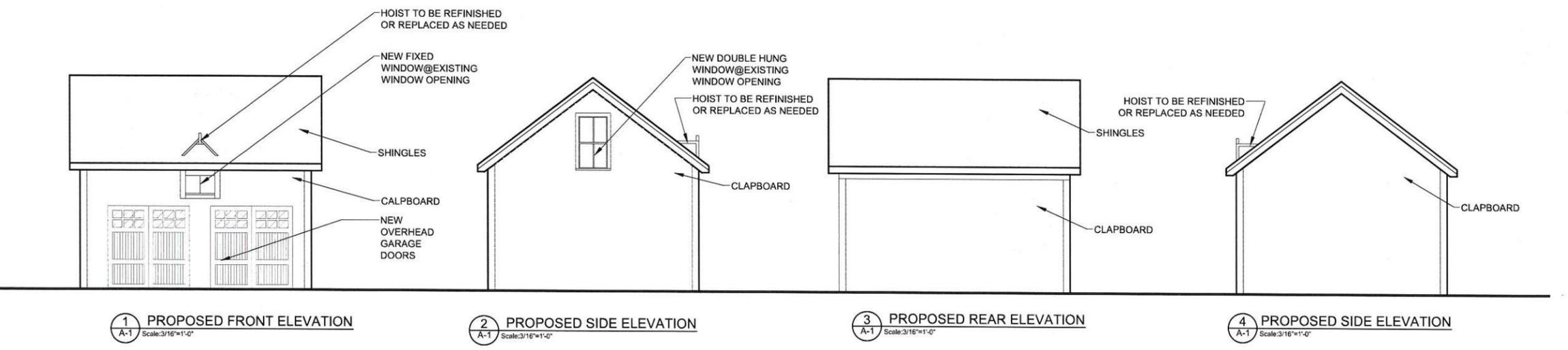
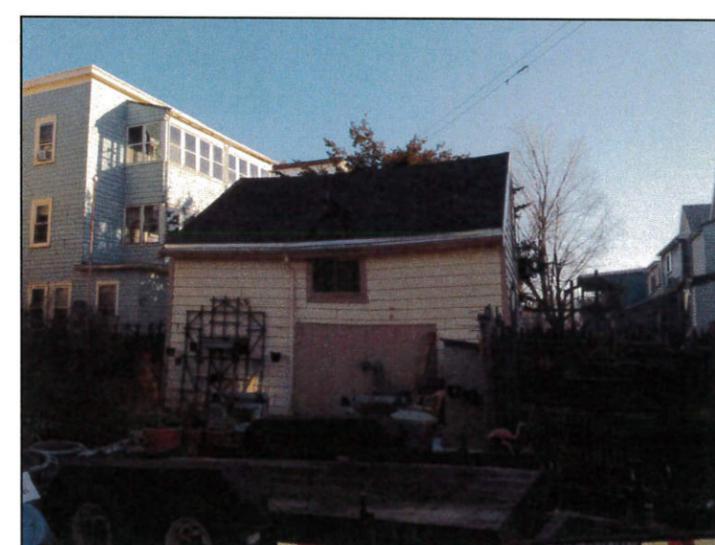
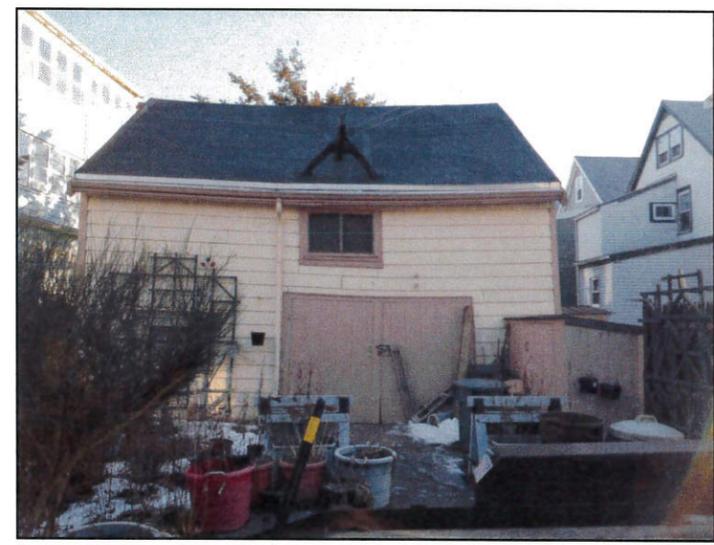
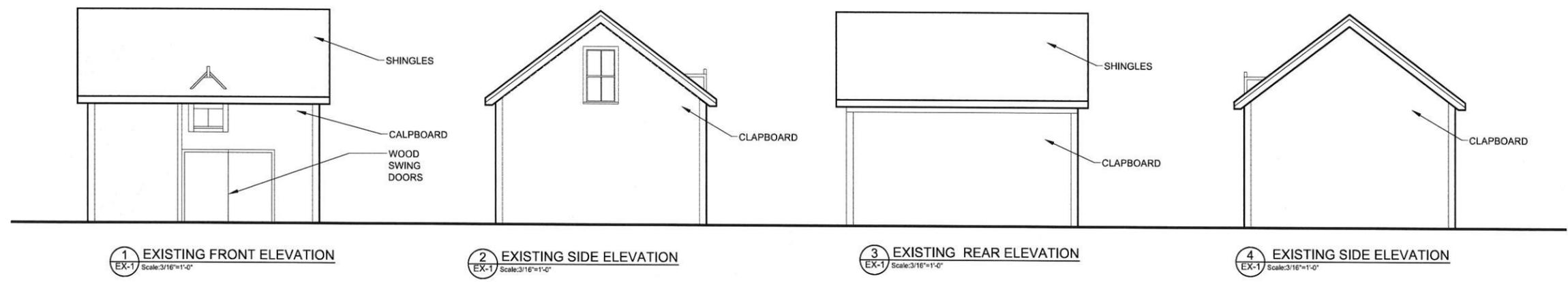
Project number 13075
Date 02-12-14
Drawn by MIT
Checked by JSK
Scale AS NOTED

REVISIONS

No.	Description	Date

**EXISTING&PROPOSED
BARN/GARAGE
ELEVATIONS**

A-1
13075_Adrian

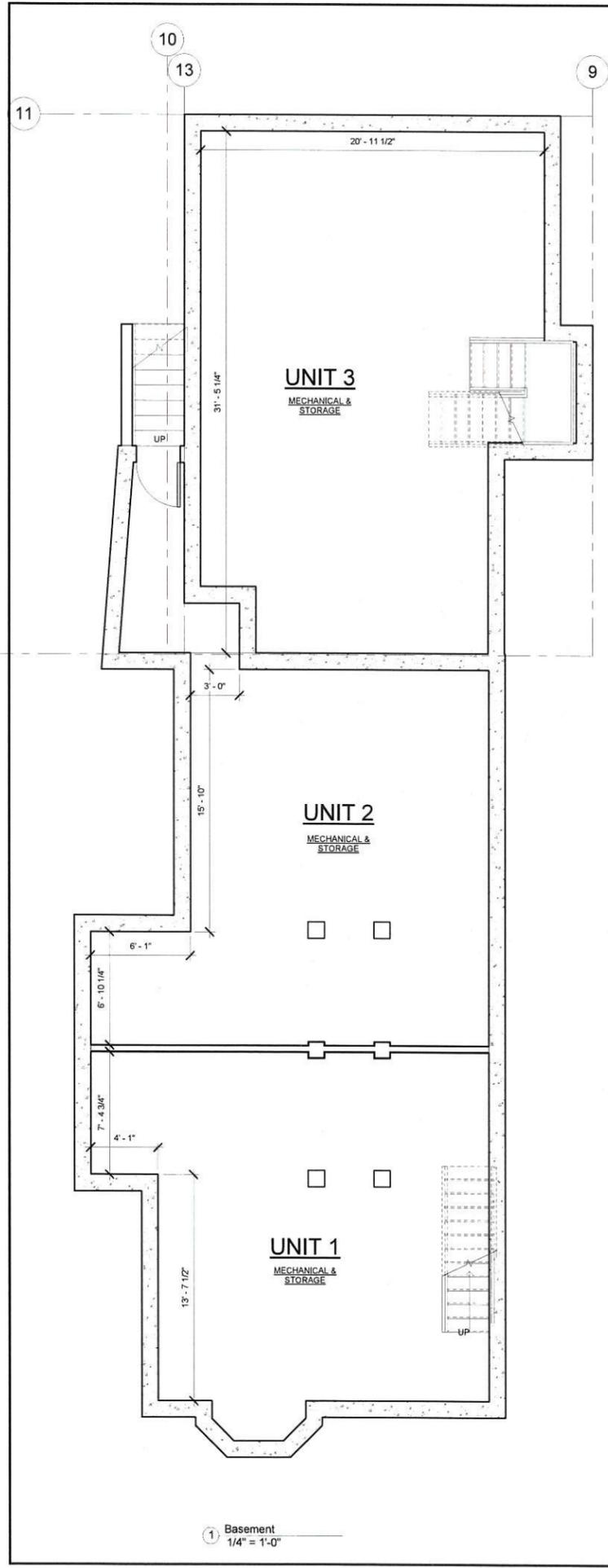


1 PROPOSED FRONT ELEVATION
EX-A-1 Scale:3/16"=1'-0"

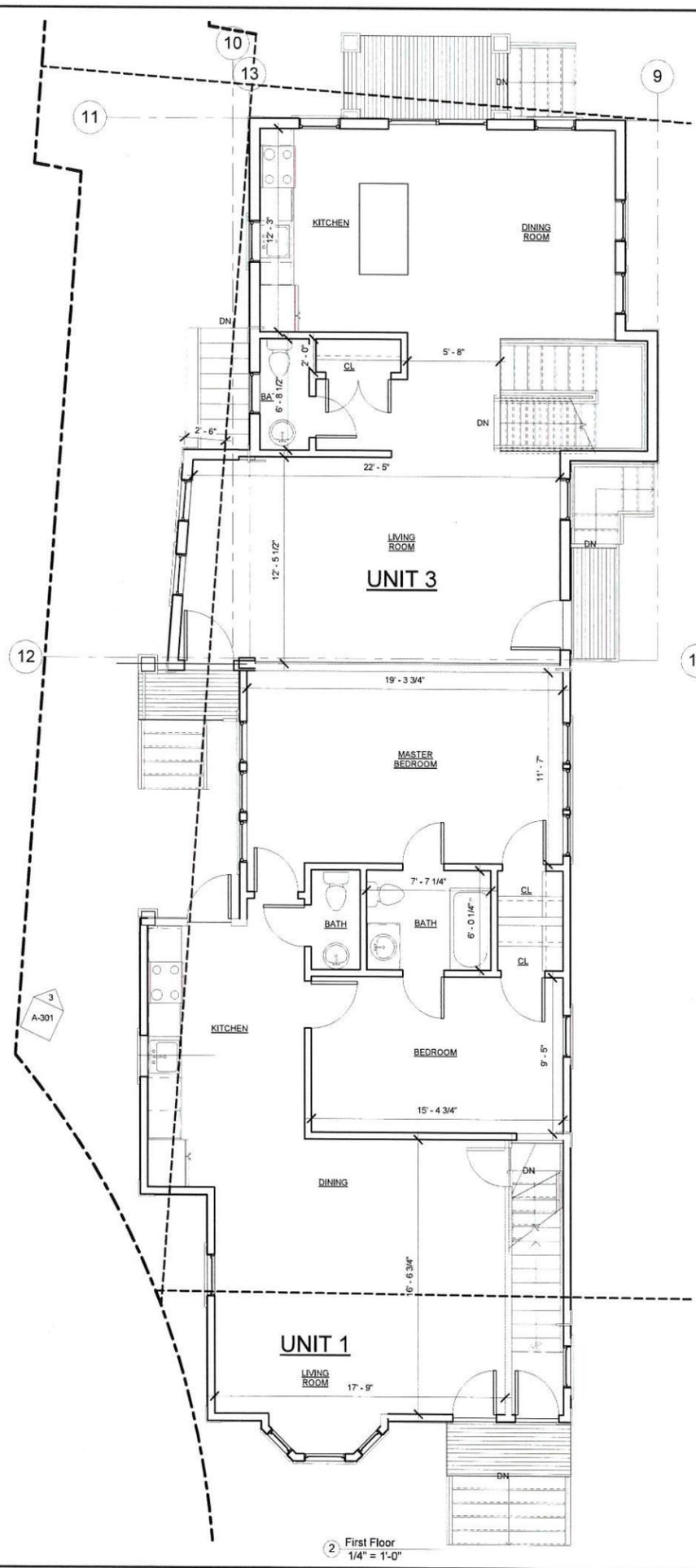
2 PROPOSED SIDE ELEVATION
EX-A-1 Scale:3/16"=1'-0"

3 PROPOSED REAR ELEVATION
EX-A-1 Scale:3/16"=1'-0"

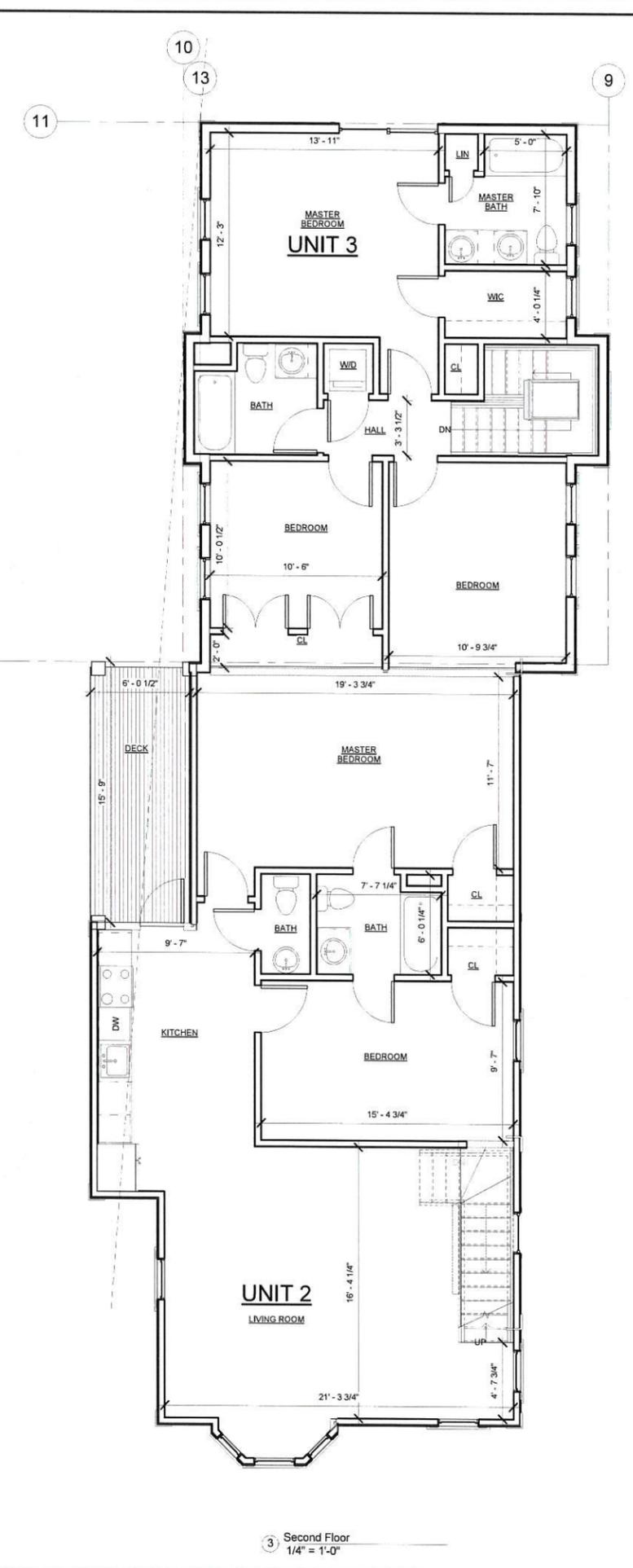
4 PROPOSED SIDE ELEVATION
EX-A-1 Scale:3/16"=1'-0"



1 Basement
1/4" = 1'-0"



2 First Floor
1/4" = 1'-0"



3 Second Floor
1/4" = 1'-0"

PROJECT NAME
ADRIAN ST RESIDENCES

PROJECT ADDRESS
45 Adrian St Somerville, MA

CLIENT
Nelson Oliverio

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 13075
Date 03-20-14
Drawn by MT
Checked by KDI
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

BASEMENT, FIRST & SECOND FLOOR PLAN

A-100

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④ LEFT SIDE ELEVATION
1/4" = 1'-0"



① RIGHT SIDE ELEVATION
1/4" = 1'-0"

PROJECT NAME
ADRIAN ST RESIDENCES

PROJECT ADDRESS
45 Adrian St Somerville, MA

CLIENT
Nelson Oliverio

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 13075
Date 03-20-14
Drawn by MT
Checked by KDI
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

ELEVATIONS

A-300

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PROJECT NAME

**ADRIAN ST
RESIDENCES**

PROJECT ADDRESS

45 Adrian St Somerville,
MA

CLIENT

Nelson Oliverio

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13075
Date 03-20-14
Drawn by MT
Checked by KDI
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

ELEVATIONS

A-301

ADRIAN ST RESIDENCES



1 REAR ELEVATION
1/4" = 1'-0"



2 FRONT ELEVATION
1/4" = 1'-0"



3 UNIT 3 FRONT ELEVATION
1/4" = 1'-0"



EXISTING

PROPOSED

PROJECT NAME

ADRIAN ST RESIDENCES

PROJECT ADDRESS

45 Adrian St Somerville, MA

CLIENT

Nelson Oliverio

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 13075
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Checked by KDI
Scale

REVISIONS

No.	Description	Date

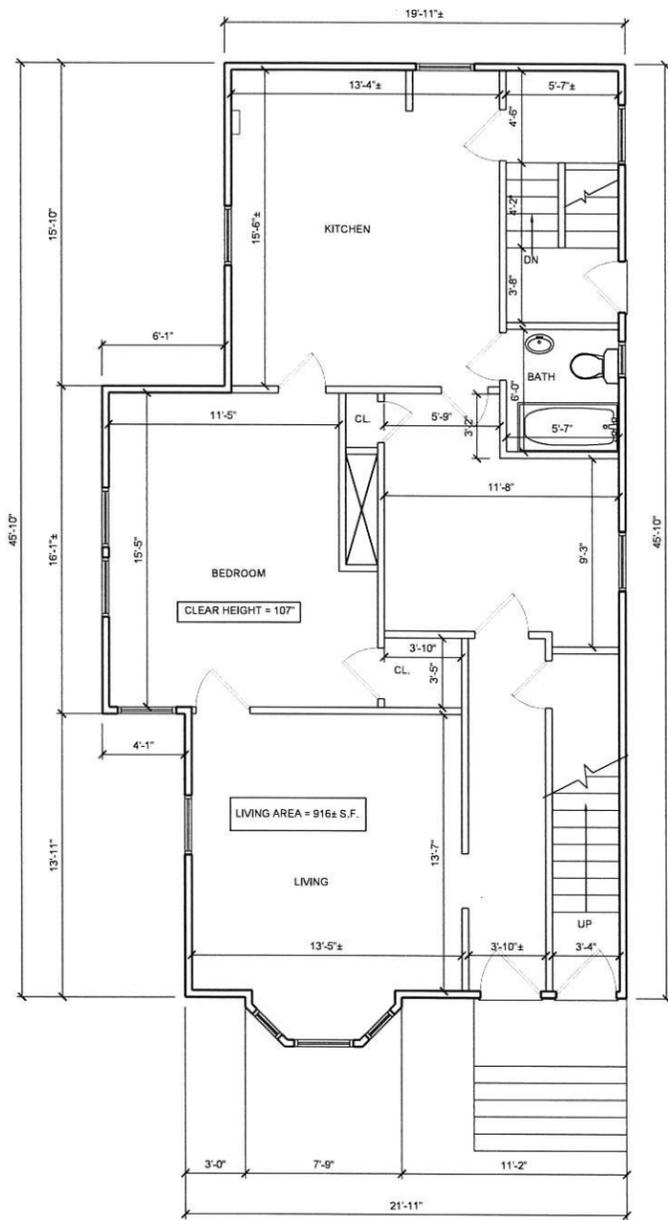
RENDERINGS

A-302

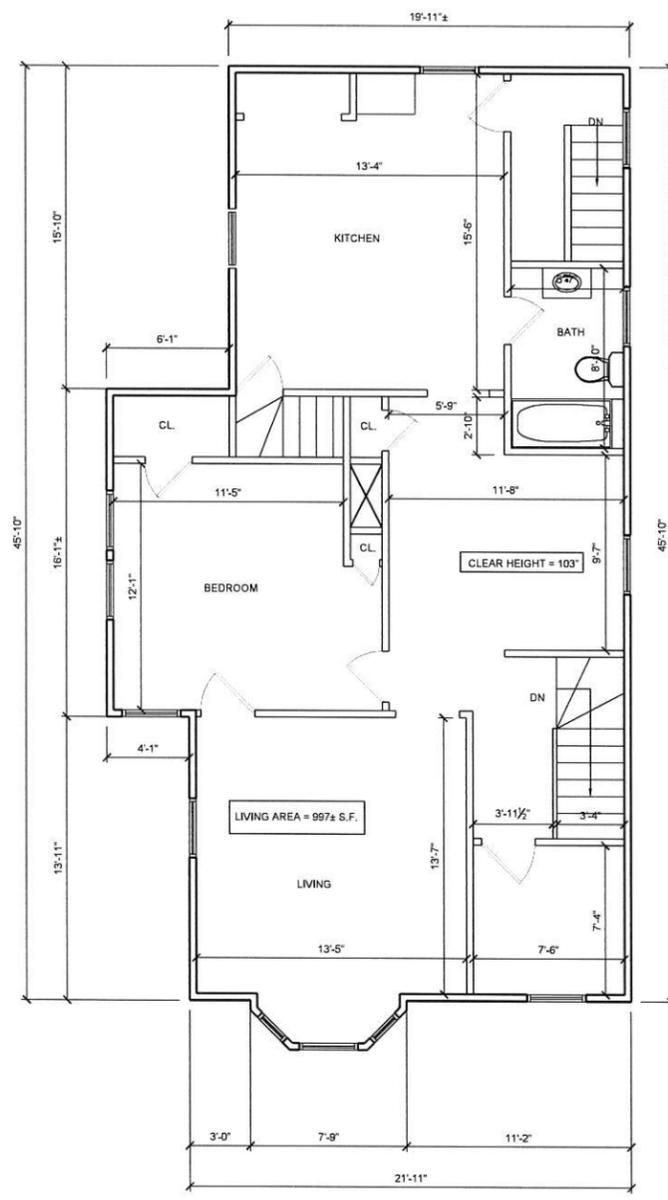
ADRIAN ST RESIDENCES

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PLANNING DEPT.

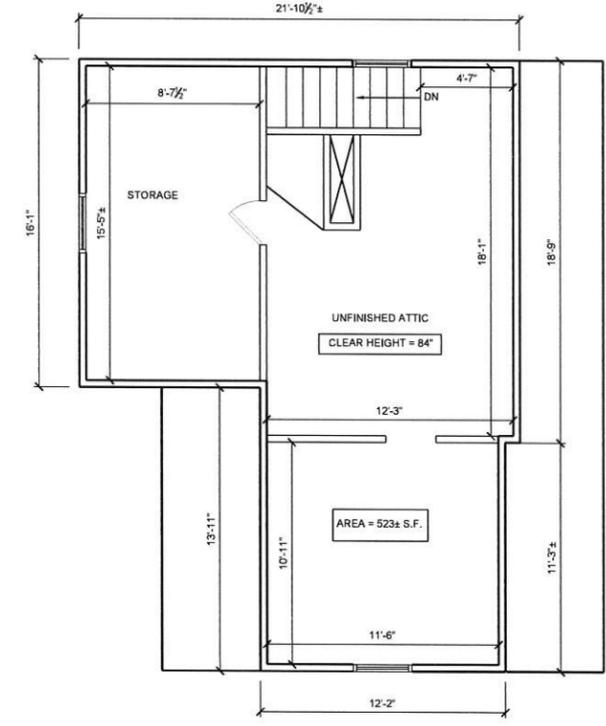
2011 JUL 10 AM 10:48



1 EXISTING FIRST FLOOR
1/4"=1'-10"



2 EXISTING SECOND FLOOR
1/4"=1'-10"



3 EXISTING ATTIC
1/4"=1'-10"

PROJECT NAME
**Adrian Street
Residences**

PROJECT ADDRESS
**45 Adrian Street
Somerville, MA**

CLIENT
Nelson Oliverio

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-581-8882 FAX: 617-581-2086

CONSULTANTS:

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REGISTRATION

Project number 13075
Date 02-12-14
Drawn by XC
Checked by JSK
Scale

REVISIONS

No.	Description	Date

EXISTING FLOOR
PLANS

EX-100
13075_Adrian

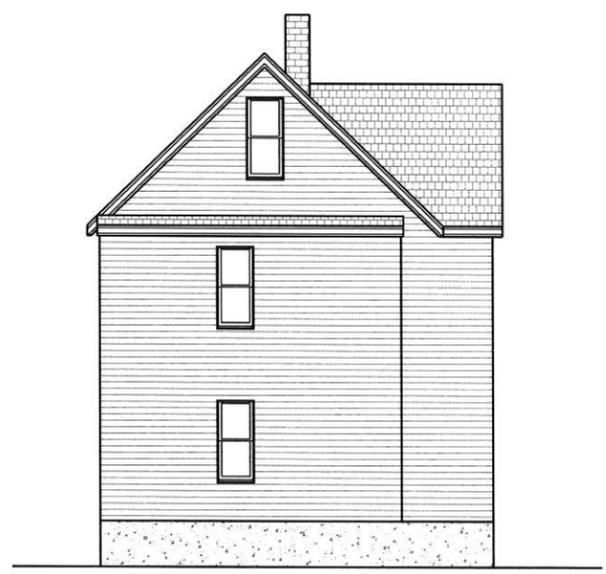
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S.P.C.D. AND
PLANNING DEPT.
2014 JUL 10 AM 10:48



1 FRONT ELEVATION
3/16"=1'-10"



2 RIGHT SIDE ELEVATION
3/16"=1'-10"



3 REAR ELEVATION
3/16"=1'-10"



2 LEFT SIDE ELEVATION
3/16"=1'-10"

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REGISTRATION

Project number 13075
Date 02-12-14
Drawn by xc
Checked by JSK
Scale

REVISIONS

No.	Description	Date

EXISTING
ELEVATIONS

EX-300

13075_Adrian