

CURRENT OWNER: CAMBPORT GROUP, LLC

TITLE REFERENCE: BOOK 63451 PAGE 182

THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ADJUTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

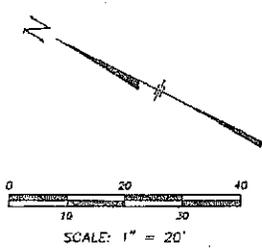
SURVEYOR'S CERTIFICATION:

TO: JOHN RILEY

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: JUNE 4, 2014

DATE OF PLAN: JUNE 11, 2014



N/F
BEACON PLACE
CONDOMINIUM
BK 15035 PG 361

N/F
88 BEACON REALTY,
INC.
BK 19705 PG 64

527° 30' 04"E
47.01' (47' DEED)

AREA
5,103 s.f.±

PARCEL II

PARCEL I

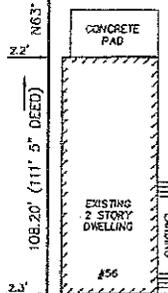
N/F
GERALD ZARITZKY
BK 25628 PG 273

N/F
JAMES A. LYNCH,
JR.
BK 14400 PG 488

2.2' N63° 25' 48"E

108.20' (111' 5" DEED)

108.96' (109' DEED) S03° 25' 48"W

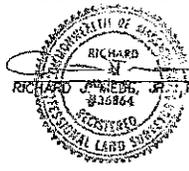


SMITH AVENUE

101.49° S26° 34' 12"E

47.00° N26° 34' 12"W

LINE STREET



06/11/2014

DATE:

CERTIFIED PLAN
56 LINE STREET
SOMERVILLE, MASS.

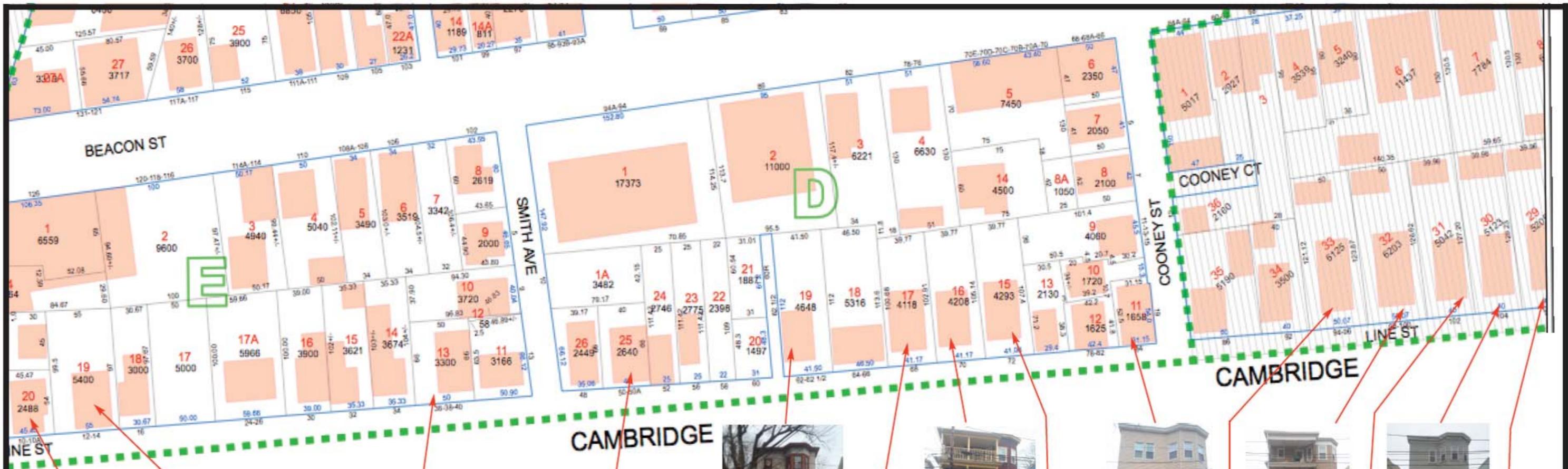
PREPARED BY:



**MEDFORD
ENGINEERING
& SURVEY**
ANGELO B. VENEZIANO ASSOCIATES
10 HALL STREET, MEDFORD, MA 02155
781-388-4488 fax 781-388-8052

PREPARED FOR:
JOHN RILEY

DRAWN	CHECKED	FILE No.
JCC	RJM	18866



10 LINE ST



14 LINE ST



36-38-40 LINE ST



50 LINE ST



62 LINE ST



70 LINE ST



68 LINE ST



72 LINE ST



84 LINE ST



94 LINE ST



98 LINE ST



102 LINE ST



104 LINE ST



108 LINE ST

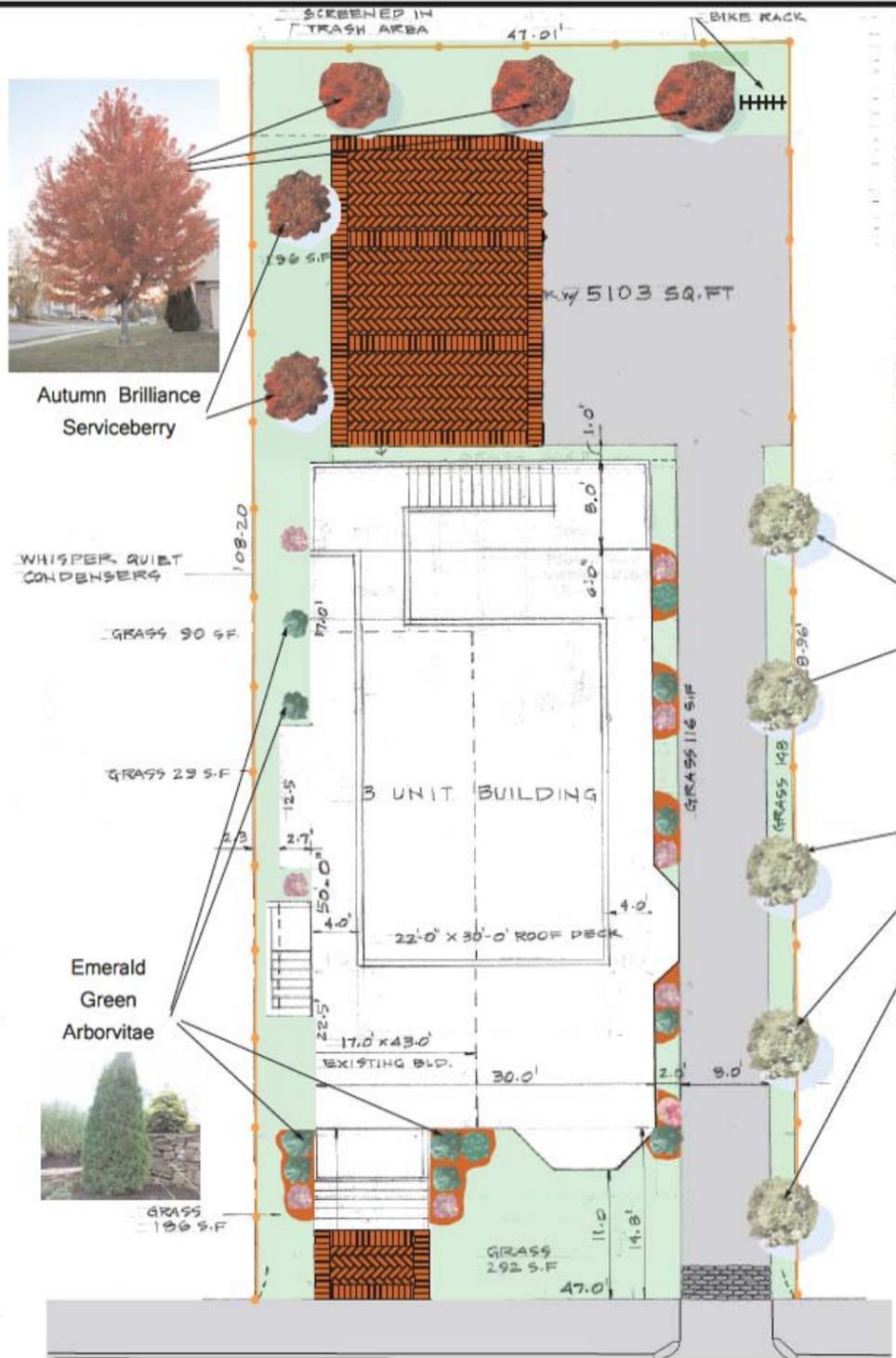


110 LINE ST



114 LINE ST

COMPOSITION OF EXISTING 3 FAMILY STRUCTURES ON THE SOMERVILLE SIDE OF LINE STREET APPROXIMATELY 50%



1. All plants shall be located as shown on the plan.
2. Final grading of topsoil shall be completed before any planting commences.
3. All new plantings shall be continuously watered. A watering schedule shall be maintained by the building contractor.
4. If planting is unavailable and requires substitution, the landscape contractor must receive an approval of the substitution from the building contractor.
5. The contractor shall verify location of all plantings on the plan and locate these areas for the landscaping contractor.
6. In the larger plantings, the root shall remain 3" above finished grade. Sufficient room shall be allowed around the root ball to receive planting mix.
7. All mulch beds around plantings shall be shaped and edged. They shall receive a minimum of 2" bark mulch.
8. All planting mix shall have a ratio of two parts topsoil and one part compost.
9. All plantings shall be planted in strict adherence to the instructions of the nurseries that supplied the planting.
10. Stakes will be located around tree trunks and shall be tied off to the stakes to give planting stability.
11. The entire lawn areas shall be hydroseeded and shall be watered twice a day.
12. Both the parking spaces and the front walkway shall be brick-paved with a red holland brick. The perimeter of the parking spaces shall consist of a soldier course while the body of the area shall have a herringbone design. The substrata shall include a 4" layer of sand and cement.
13. A 3-foot-long area in front of the driveway shall receive Belgium block granite laid in a concrete mix and joints filled with mortar mix. This will serve to protect the driveway from ice and snow deris from tires before entering the driveway.
14. The driveway shall consist of two coats of 2" asphalt layers, on top of 4" crushed stone.



Autumn Brilliance Serviceberry

WHISPER QUIET CONDENSERS

GRASS 90 S.F.

GRASS 29 S.F.

Emerald Green Arborvitae

GRASS 106 S.F.



Heritage River Birch



Annabelle Hydrangea



Autumn Amethyst

Key	Quantity	Scientific Name	Common Name	Size
A1	5	Betula Nigra	Heritage River Birch	1.5" 3GL
A2	4	Thuja Occidentalis	Emerald Arborvitae	7'-8' ht
A3	5	Amelanchier Canadensis x Grandiflora	Autumn Brilliance Serviceberry	7'8' ht
A4	9	Azalea x Amethyst	Autumn Amethyst	4'
A4	4	Hydrangea Arborescens	Annabelle Hydrangea	30"

Heritage River Birch

Height: 30 at maturity
 Spread: 20-30 feet
 Crown uniformity: symmetrical canopy with a regular (or smooth) outline, and individuals have more or less identical crown forms
 Crown shape: oval; pyramidal; upright
 Crown density: Dense. Cars can easily pass under developed foliage.

Emerald Arborvitae

Narrow, pyramidal evergreen displaying dense emerald green foliage. Holds its foliage color throughout winter. Excellent medium to large hedge or screening plant. Moderate grower to 15 ft. tall, 3-4 ft. wide. needs full sun. requires less water once established

Apple Serviceberry is a hybrid between Amelanchier canadensis and Amelanchier laevis that grows 15 to 25 feet tall. Multiple stems are upright and highly branched forming a dense shrub, or if properly pruned, a small tree. It is superior to the species in that it suckers less and is adapted to a wide range of soils, but tolerates some drought. This cultivar supposedly resists leaf spot better than the original hybrid. The main ornamental feature is the spectacular white flowers that are larger than those of other amelanchiers. The flowers are borne in early spring and are at first tinged with pink but later fade to white. The young leaves are purplish and the fall color is red, yellow or orange. Edible fruit attracts birds. Well-adapted for planting along residential streets where there is plenty of soil space beneath power lines.

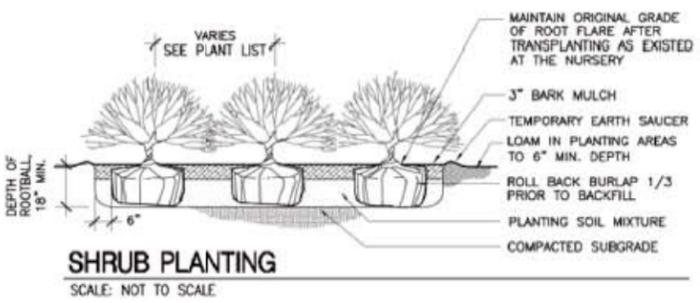
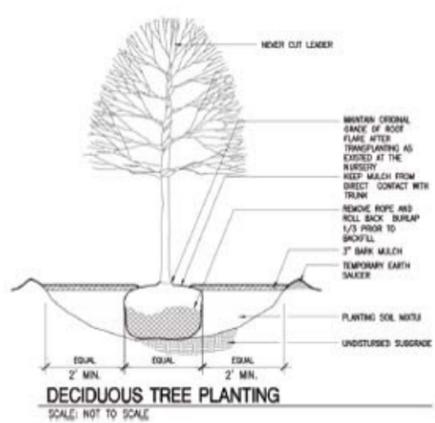
Autumn Amethyst

Plant Description: Attractive purple foliage in the winter and stunning purple blooms in spring, summer, and fall.
 Bloom Description: Dark lavender, single form blooms measure 2" across.

Annabelle

Stunning white hydrangea, often producing heads over 10" in diameter. Unlike the better known blue and pink hydrangeas (macrophyllas), Annabelle blooms every year even after severe pruning or intensely cold winters. The huge, white "drumstick" blooms appear in profusion without fail.

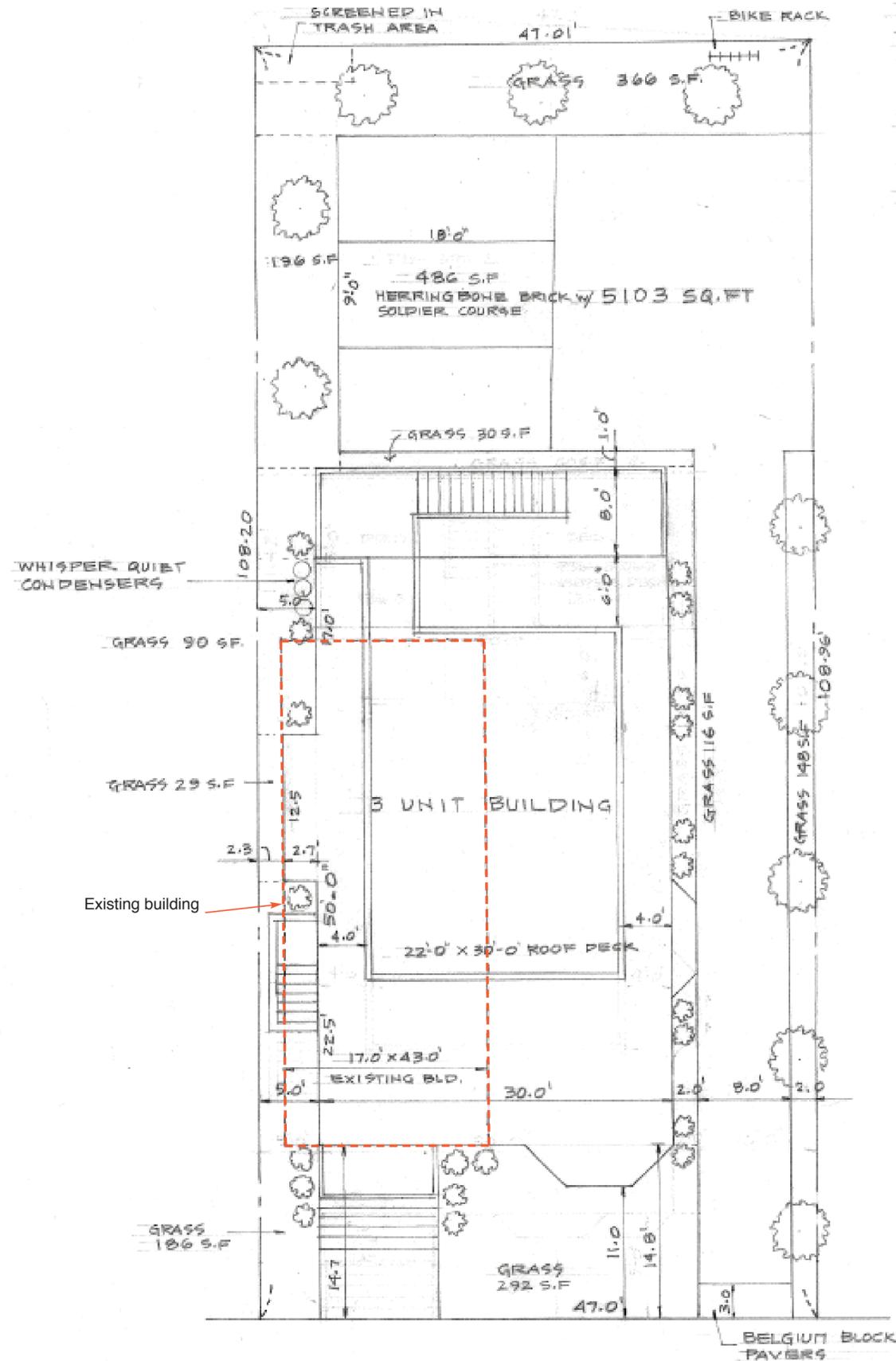
56 LINE STREET



56 Line Street Somerville
 Illustrative landscape plan
 June 10, 2015

ZONING INFORMATION RB ZONE

Data	Existing	Proposed
Fill in both columns: numbers must match those on plans and other attached documentation.		
A. Use	single family	three family
B. # of Dwelling Units*	1 units	3 units
C. Lot Area	5103 square feet	5103 square feet
D. Lot Area ÷ # of Dwelling Units	5103 sf per du	1701 sf per du
E. Gross Floor Area of Footprints of All Buildings	1462 square feet	1500 square feet
F. Ground Coverage (E ÷ C.)	28.6 %	33.3 %
G. Landscaped Area (landscaped area ÷ C.)	30 %	28.47 %
H. Pervious Area (pervious area ÷ C.)	30 %	37.9 %
I. Net Floor Area**/*** (sum of all usable square feet)	80% (1,169.6) square feet	80% (4000) square feet
J. Floor Area Ratio (FAR) (I ÷ C.)	.23	.78
K. Building Height	20 feet	38 feet
L. Front Yard Setback	14.8 feet	14.8 feet
M. Rear Yard Setback	50.4 feet	43.5 feet
N. Side Yard Setback (left when you face property)	2.3 feet	2.3 feet
O. Side Yard Setback (right when you face property)	28.1 feet	12 feet
P. Street Frontage	47 feet	47 feet
Q. # of Parking Spaces	1	3
R. # of Bicycle Parking Spaces	0	3
S. # of Loading Spaces	0	0



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THE FIELD WORK WAS COMPLETED ON: JUNE 4, 2014
 DATE OF PLAN: JUNE 11, 2014

Richard J. Lynch, Jr., P.L.S. 06/11/2014 DATE:
 930864

CERTIFIED PLAN
 56 LINE STREET
 SOMERVILLE, MASS.

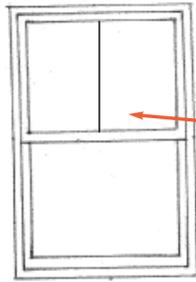
MEDFORD ENGINEERING & SURVEY
 AMERLO B. VERZIZIANO ASSOCIATES
 400 WASHINGTON STREET
 02154-3000
 TEL: 781-326-4488 FAX: 781-326-9332

PREPARED BY: JOHN RILEY
 FILE NO. 18858
 CHECKED: JRM
 DRAWN: JCR

SCALE 1/8"=1'-0"
 DATE 3-2015
 CI

RESIDENTIAL DESIGNS BY
 ROBERT M. CONNELL
 22 NORTH ST. WILMINGTON MA.

NEW 3 UNIT BUILDING FOR
 EAMON FEE
 56 LINE STREET
 SOMERVILLE MA.



JELD-WEN WINDOWS 2 OVER 1 GLASS SASHS SHALL BE PAINTED DARK AS DISCUSSED AND RECOMMENDED 5/7/15 & 5/19/15
WINDOWS SHALL NOT HAVE LOW E GLASS INSTALLED AS DISCUSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

INSTALL TWO EXTRA WINDOW-SON SECOND AND THIRD FLOOR MATCHING EXISTING . THE WINDOWS SHALL BE CENTRALLY POSITIONED ON THE FRONT ELEVATION AS DICUSSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

WOOD OR SYNTHETIC WOOD SOFFIT AND FACIA & CROWN MOLDINGS AS DISCUSSED AND RECOMMENDED BY HSPC ON 5/7/15 & 5/19/15

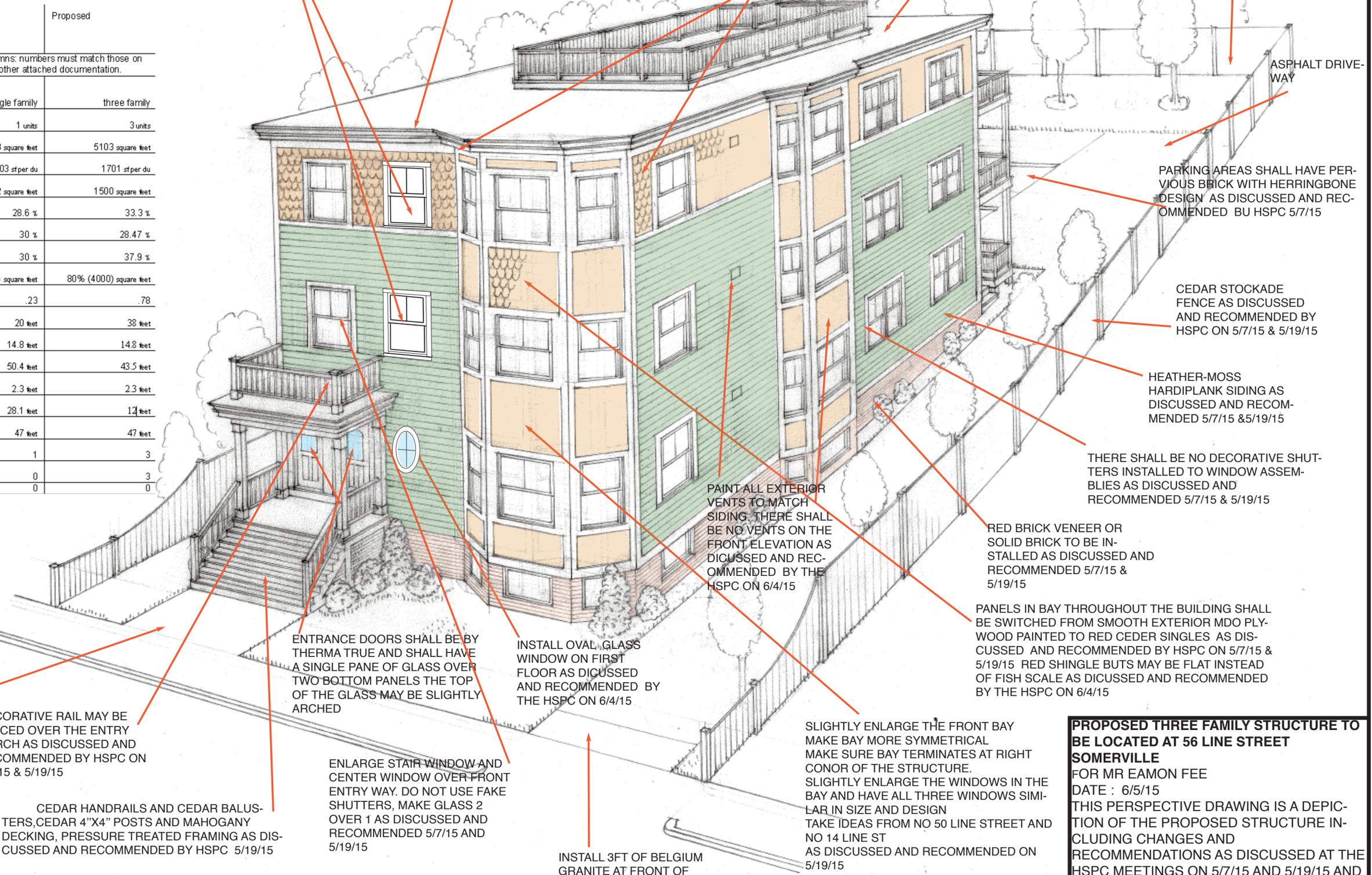
CEDAR HANDRAILS AND CEDAR BALUSTERS, CEDAR 4"X4" POSTS AND MAHOGANY DECKING AS DISCUSSED AND RECOMMENDED BY HSPC 5/19/15
NATURAL CEDAR SHINGLES TO CONTINUE AROUND THE PERIMETER OF THE BUILDING AS DISCUSSED AND RECOMMENDED BY HSPC 5/19/15
RED SHINGLE BUTS MAY BE FLAT INSTEAD OF FISH SCALE AS DISCUSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

RUBBER ROOF AS DISCUSSED AND RECOMMENDED BY HSPC 5/7/15

BIKE RACKS TO BE LOCATED HERE

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ZONE RB



ASPHALT DRIVEWAY

PARKING AREAS SHALL HAVE PVIOUS BRICK WITH HERRINGBONE DESIGN AS DISCUSSED AND RECOMMENDED BU HSPC 5/7/15

CEDAR STOCKADE FENCE AS DISCUSSED AND RECOMMENDED BY HSPC ON 5/7/15 & 5/19/15

HEATHER-MOSS HARDIPLANK SIDING AS DISCUSSED AND RECOMMENDED 5/7/15 & 5/19/15

THERE SHALL BE NO DECORATIVE SHUTTERS INSTALLED TO WINDOW ASSEMBLIES AS DISCUSSED AND RECOMMENDED 5/7/15 & 5/19/15

RED BRICK VENEER OR SOLID BRICK TO BE INSTALLED AS DISCUSSED AND RECOMMENDED 5/7/15 & 5/19/15

PANELS IN BAY THROUGHOUT THE BUILDING SHALL BE SWITCHED FROM SMOOTH EXTERIOR MDO PLYWOOD PAINTED TO RED CEDER SINGLES AS DISCUSSED AND RECOMMENDED BY HSPC ON 5/7/15 & 5/19/15 RED SHINGLE BUTS MAY BE FLAT INSTEAD OF FISH SCALE AS DISCUSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

PAINT ALL EXTERIOR VENTS TO MATCH SIDING. THERE SHALL BE NO VENTS ON THE FRONT ELEVATION AS DISCUSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

INSTALL OVAL GLASS WINDOW ON FIRST FLOOR AS DICUSSSED AND RECOMMENDED BY THE HSPC ON 6/4/15

ENTRANCE DOORS SHALL BE BY THERMA TRUE AND SHALL HAVE A SINGLE PANE OF GLASS OVER TWO BOTTOM PANELS THE TOP OF THE GLASS MAY BE SLIGHTLY ARCHED

ENLARGE STAIR WINDOW AND CENTER WINDOW OVER FRONT ENTRY WAY. DO NOT USE FAKE SHUTTERS, MAKE GLASS 2 OVER 1 AS DISCUSSED AND RECOMMENDED 5/7/15 AND 5/19/15

INSTALL 3FT OF BELGIUM GRANITE AT FRONT OF DRIVEWAY

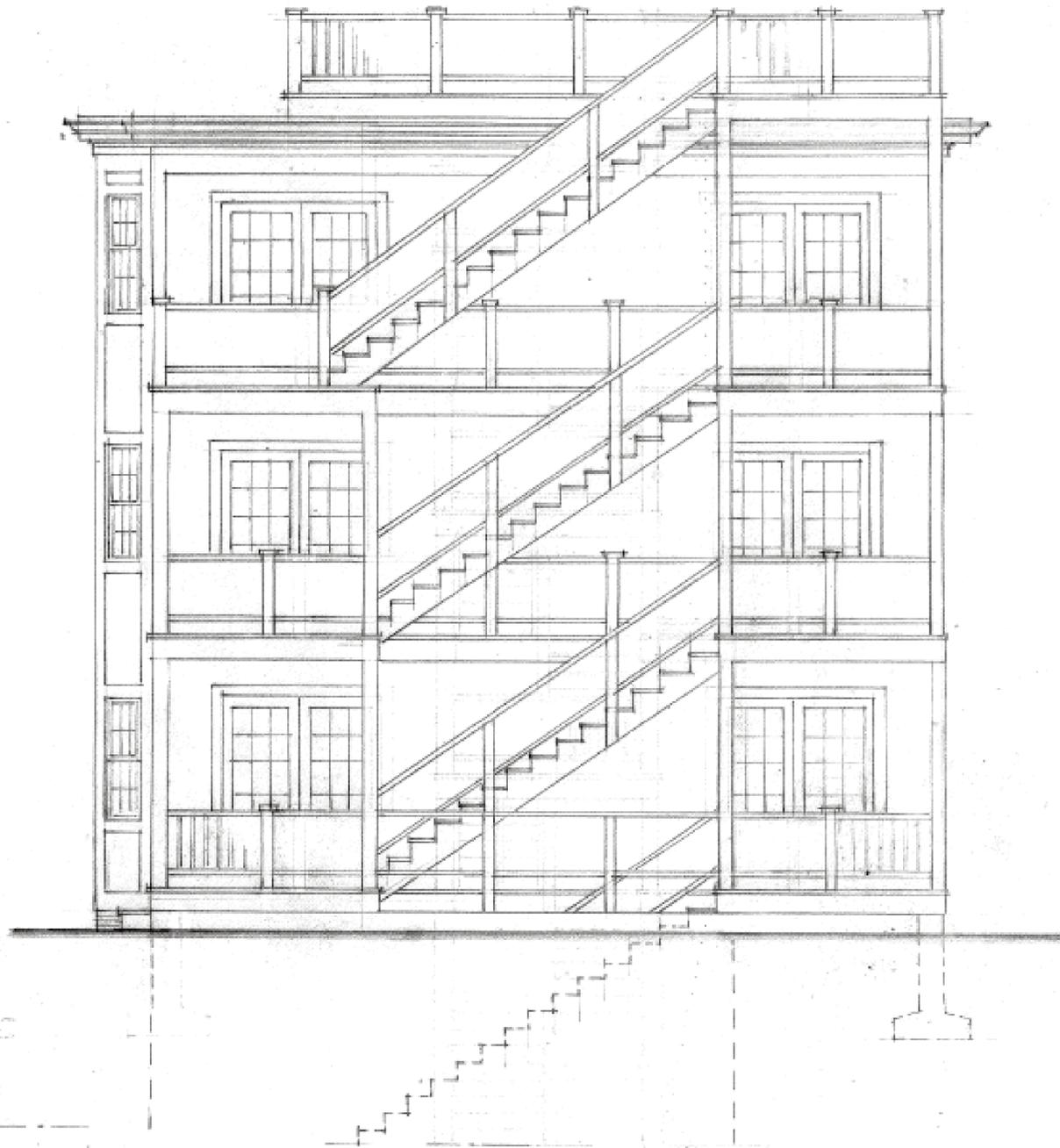
SLIGHTLY ENLARGE THE FRONT BAY MAKE BAY MORE SYMMETRICAL MAKE SURE BAY TERMINATES AT RIGHT CONOR OF THE STRUCTURE. SLIGHTLY ENLARGE THE WINDOWS IN THE BAY AND HAVE ALL THREE WINDOWS SIMILAR IN SIZE AND DESIGN TAKE IDEAS FROM NO 50 LINE STREET AND NO 14 LINE ST AS DISCUSSED AND RECOMMENDED ON 5/19/15

DECORATIVE RAIL MAY BE PLACED OVER THE ENTRY PORCH AS DISCUSSED AND RECOMMENDED BY HSPC ON 5/7/15 & 5/19/15

INSTALL RED BRICK PAVERS WITH RED BRICK PERIMETER AND HERRINGBONE DESIGN INLAID

CEDAR HANDRAILS AND CEDAR BALUSTERS, CEDAR 4"X4" POSTS AND MAHOGANY DECKING, PRESSURE TREATED FRAMING AS DISCUSSED AND RECOMMENDED BY HSPC 5/19/15

PROPOSED THREE FAMILY STRUCTURE TO BE LOCATED AT 56 LINE STREET SOMERVILLE
FOR MR EAMON FEE
DATE : 6/5/15
THIS PERSPECTIVE DRAWING IS A DEPICTION OF THE PROPOSED STRUCTURE INCLUDING CHANGES AND RECOMMENDATIONS AS DISCUSSED AT THE HSPC MEETINGS ON 5/7/15 AND 5/19/15 AND 6/4/15



REAR ELEVATION

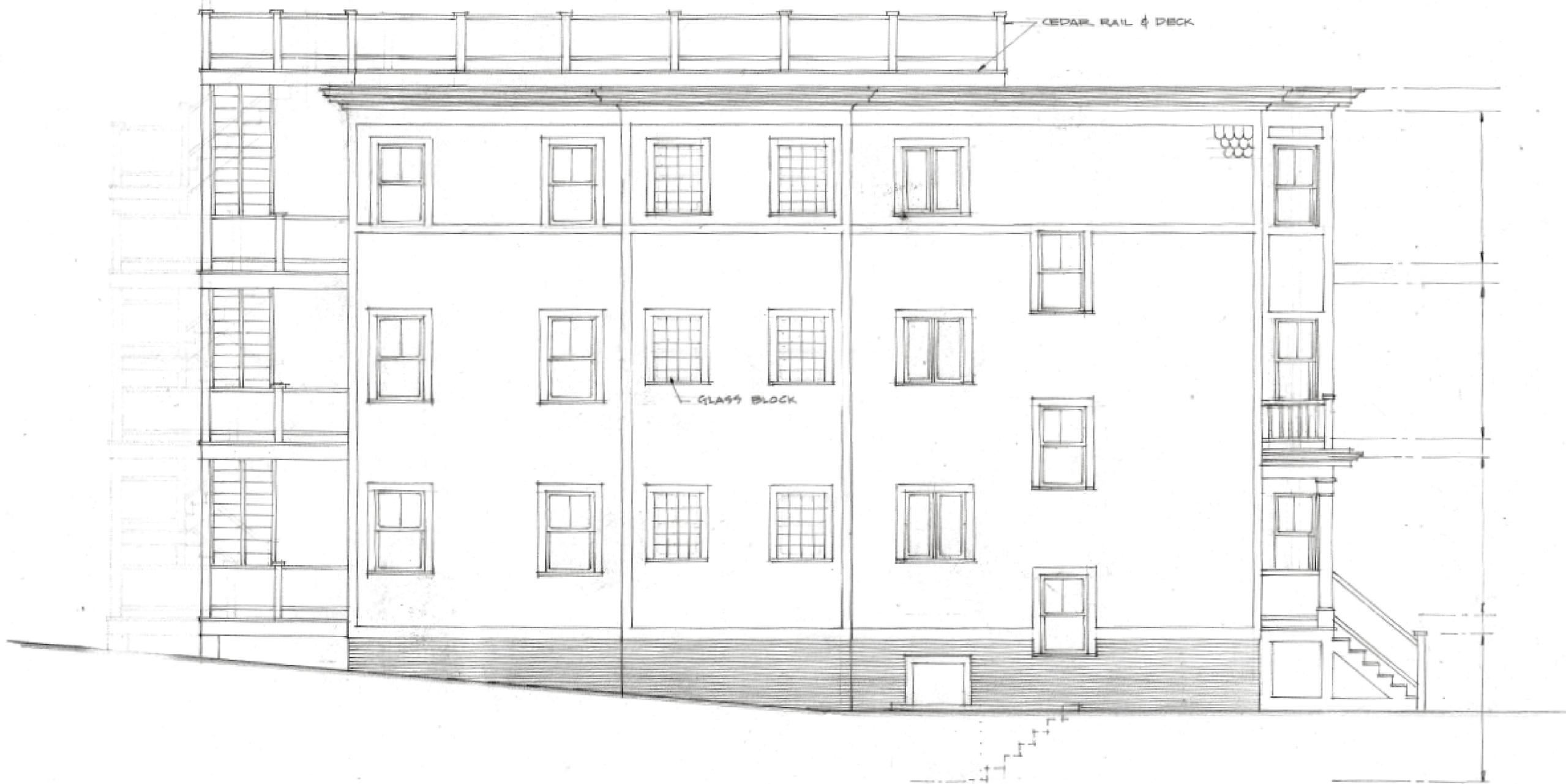
SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

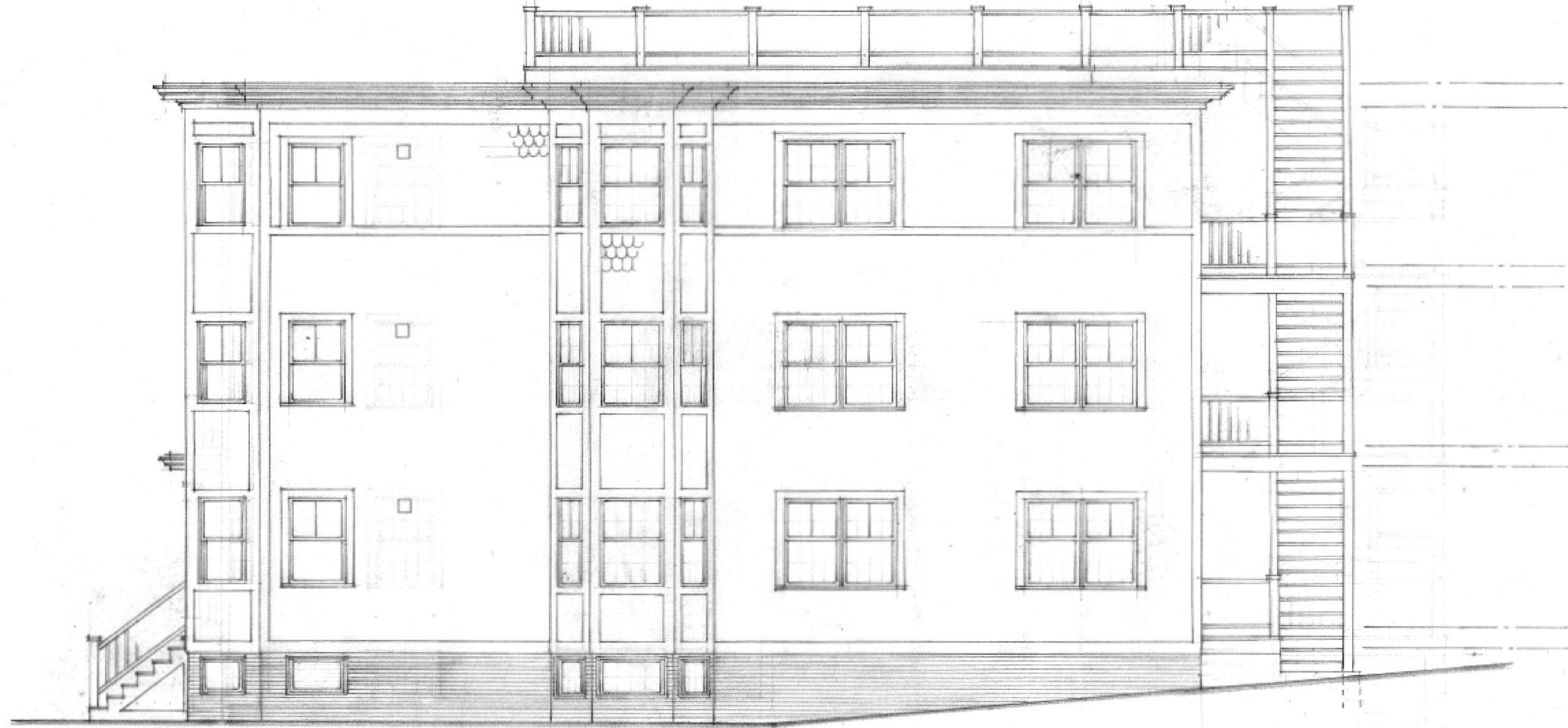
SCALE 1/4"=1'-0"	RESIDENTIAL DESIGNS BY	ROBER M. CONNELL	22 NORTH ST, WILMINGTON MA.
DATE 5-2015			
A1	NEW 3 UNIT BUILDING FOR	EAMON FEE	SOMERVILLE MA.
	56 LINE ST		



LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"

NEW 3 UNIT BUILDING FOR EAMON FEE 56 LINE ST SOMERVILLE MA.	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST, WILMINGTON MA	SCALE 1/4"=1'-0" DATE 3-2015 A3
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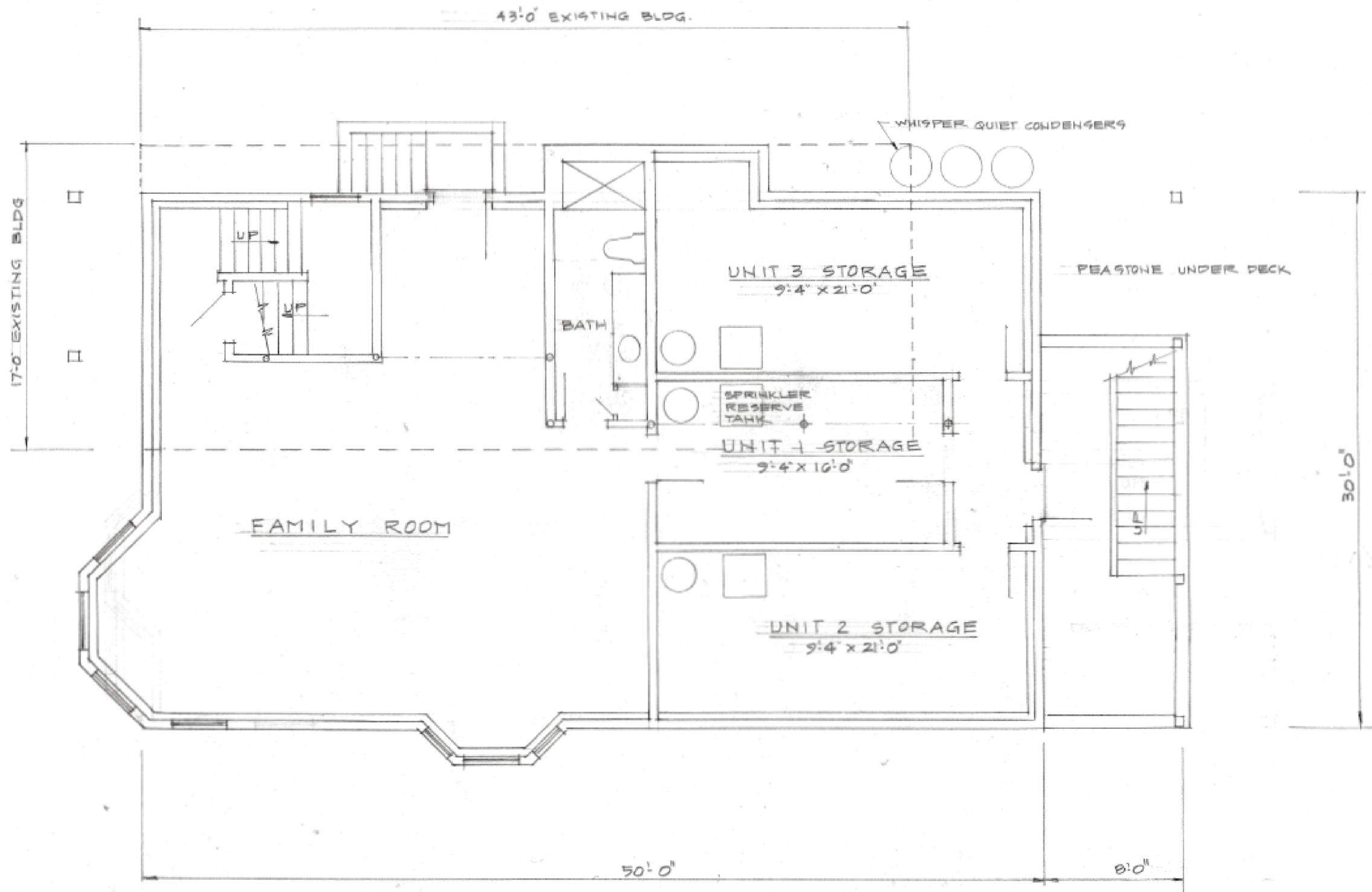
RIGHT SIDE ELEVATION

A2

NEW 3 UNIT BUILDING FOR
EAMON FEE
56 LINE ST SOMERVILLE MA

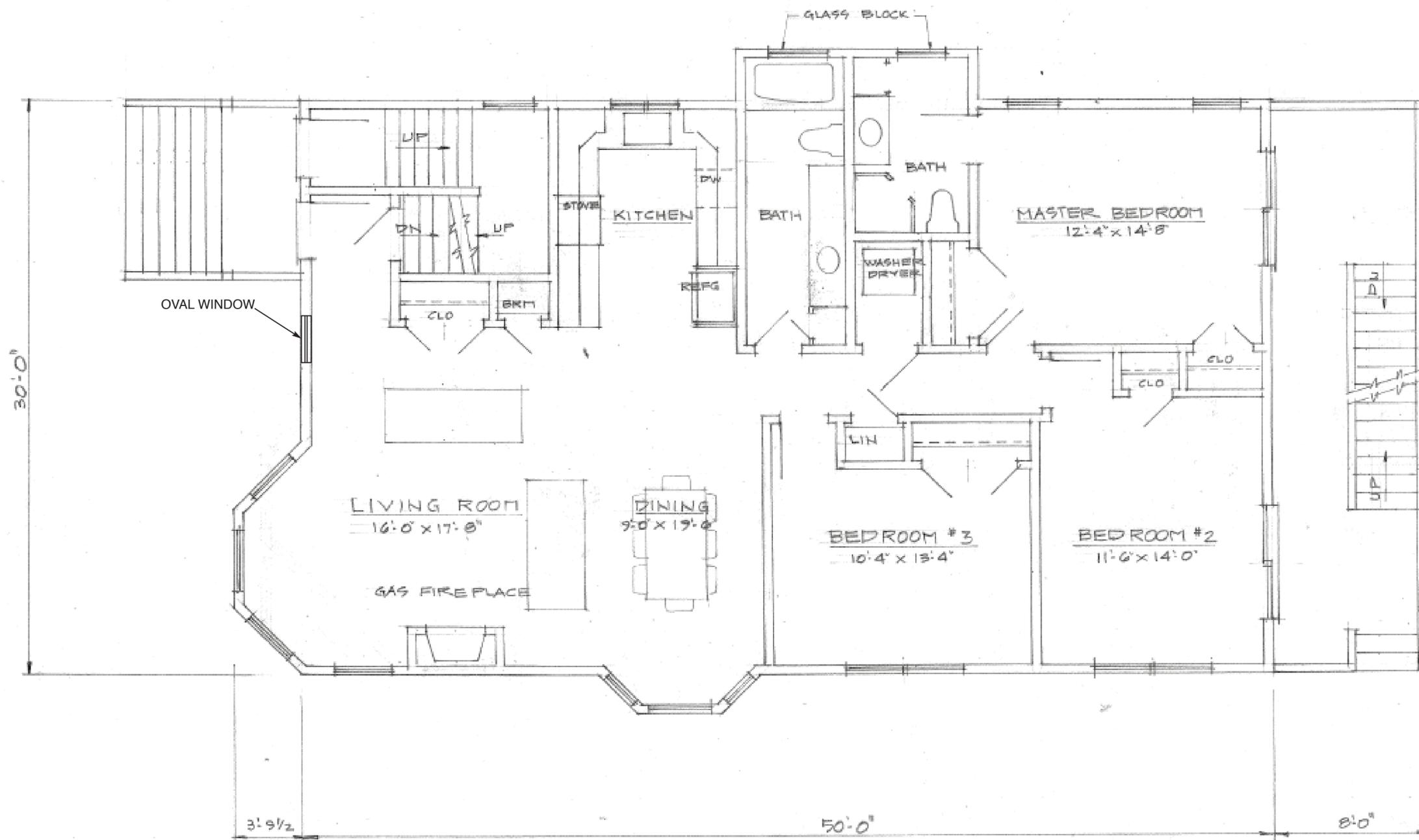
RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON MA

SCALE 1/4" = 1'-0"
DATE 3-2015
A2



BASEMENT / FOUNDATION PLAN
SCALE 1/4" = 1'-0"

A4	NEW 3 UNIT BUILDING FOR EAMON FEE 56 LINE ST SOMERVILLE MA.	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST, WILMINGTON MA.	SCALE 1/4" = 1'-0" DATE 3-2015 A4
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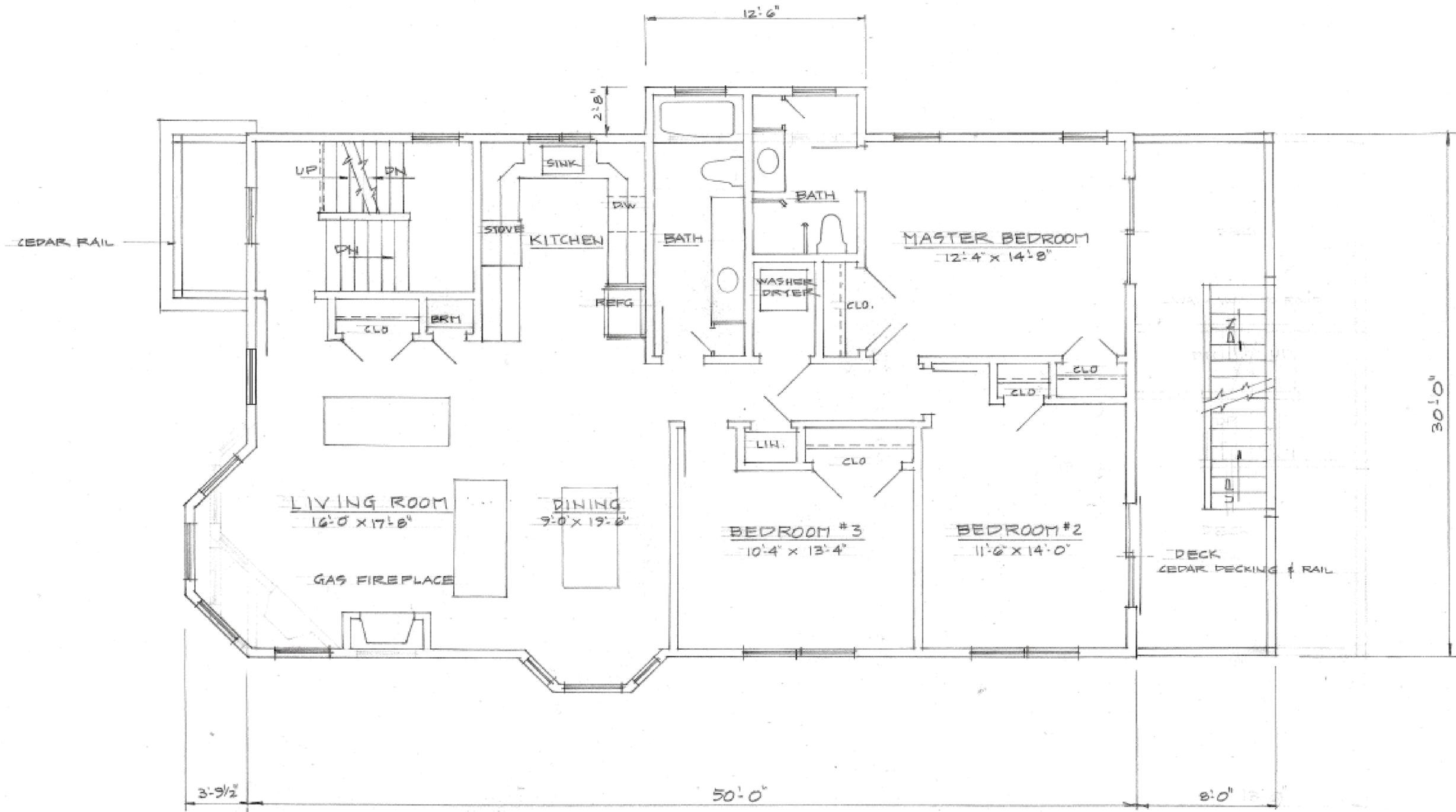
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"
DATE 3 - 2015
A 5

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON MA.

NEW 3 UNIT BUILDING FOR
EAMON FEE
56 LINE ST
SOMERVILLE MA.

A 5



SECOND & THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"
DATE 3-2015
AG

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ROBERT M. CONNELL
22 NORTH ST., WILMINGTON MA.

NEW 3 UNIT BUILDING FOR
EAMON FEE
56 LINE ST
SOMERVILLE MA.

AG