

BROADWAY RESIDENCES



03-04-2013 SET

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PROJECT NAME

Broadway Residences

PROJECT ADDRESS

315 Broadway
Somerville, MA 02143

CLIENT

Young Investments LLC

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LANDSCAPE ARCHITECT

x
x
T: x
W: x

CIVIL ENGINEER

x
x
x
T: x
F: x

STRUCTURAL ENGINEER

x
x
T: x
F: x

MEP ENGINEER

x
x
T: x
F: x
W: x

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PROSECUTION UNDER LAW

REGISTRATION

Project number 12025
Date 03-04-2013
Drawn by MG
Checked by JSK
Scale

REVISIONS

No.	Description	Date

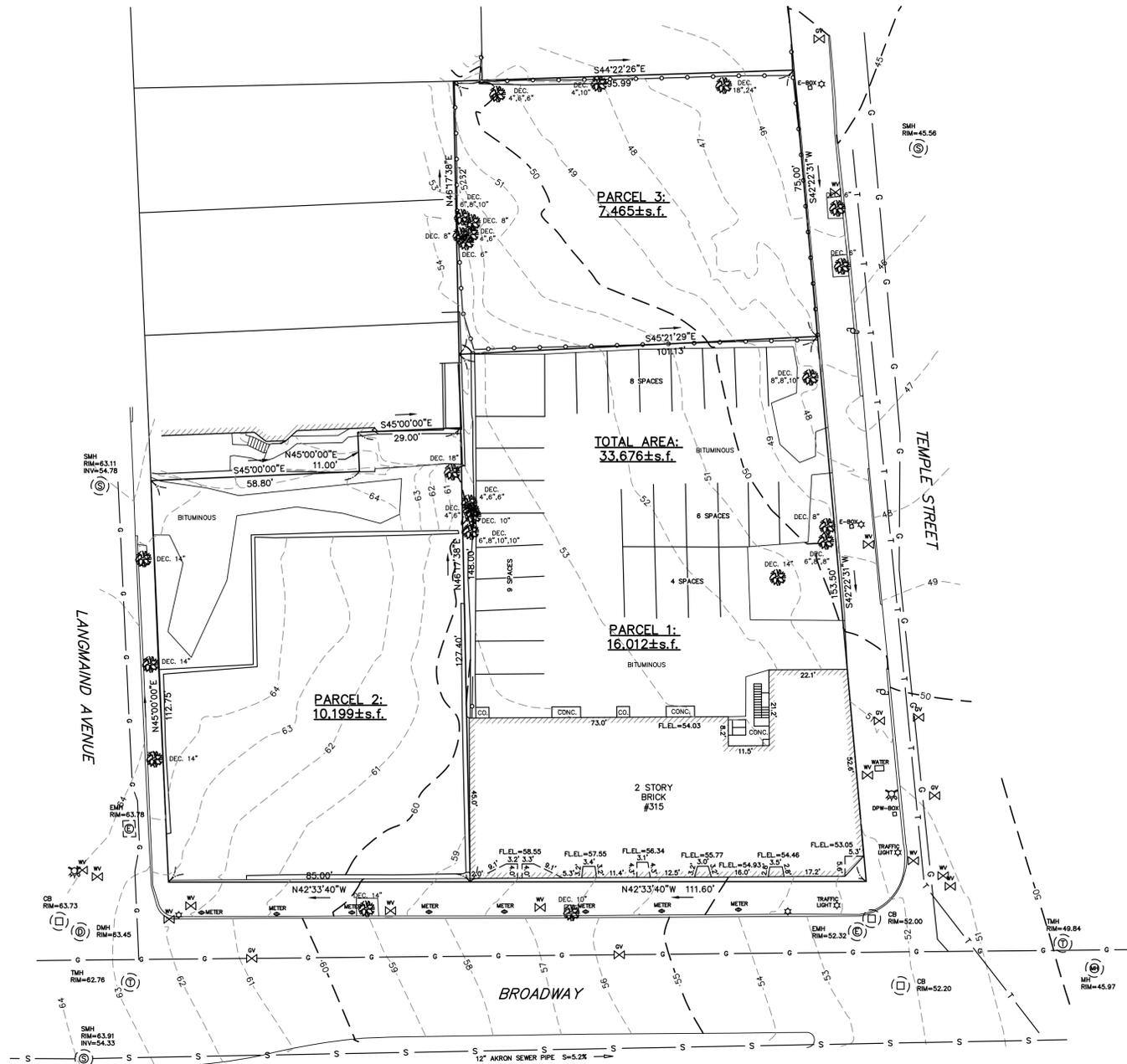
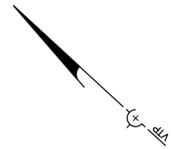
Cover Sheet

A-000

Broadway Residences

LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	70
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
ELECTRIC MANHOLE	
TELECOMMUNICATION MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"



ZONING CHART		
NEWTON, MASSACHUSETTS		
ZONE: CCD55	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING
MIN. LOT AREA	N/A	33,676±s.f.
MIN. LOT AREA/DWELLING UNIT		
1-9 Units (s.f.)	600'	
10 or more Units (s.f.)	600'	
LOT COVERAGE	80.0%	-%
LANDSCAPE AREA MIN. % OF LOT	10.0%	-%
F.A.R.	3	-
BUILDING HEIGHT	55.0'	-
AVERAGE GRADE	-	-
FRONT SETBACK	N/A	N/A
SIDE SETBACK	N/A	N/A
REAR SETBACK	N/A	N/A
FRONTAGE	N/A	N/A

**TOPOGRAPHIC SITE PLAN
SOMERVILLE, MASSACHUSETTS**

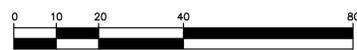
SHOWING EXISTING CONDITIONS AT
#315 BROADWAY

SCALE: 1in.=20ft. DATE: NOVEMBER 30, 2012

PROJECT: 212217



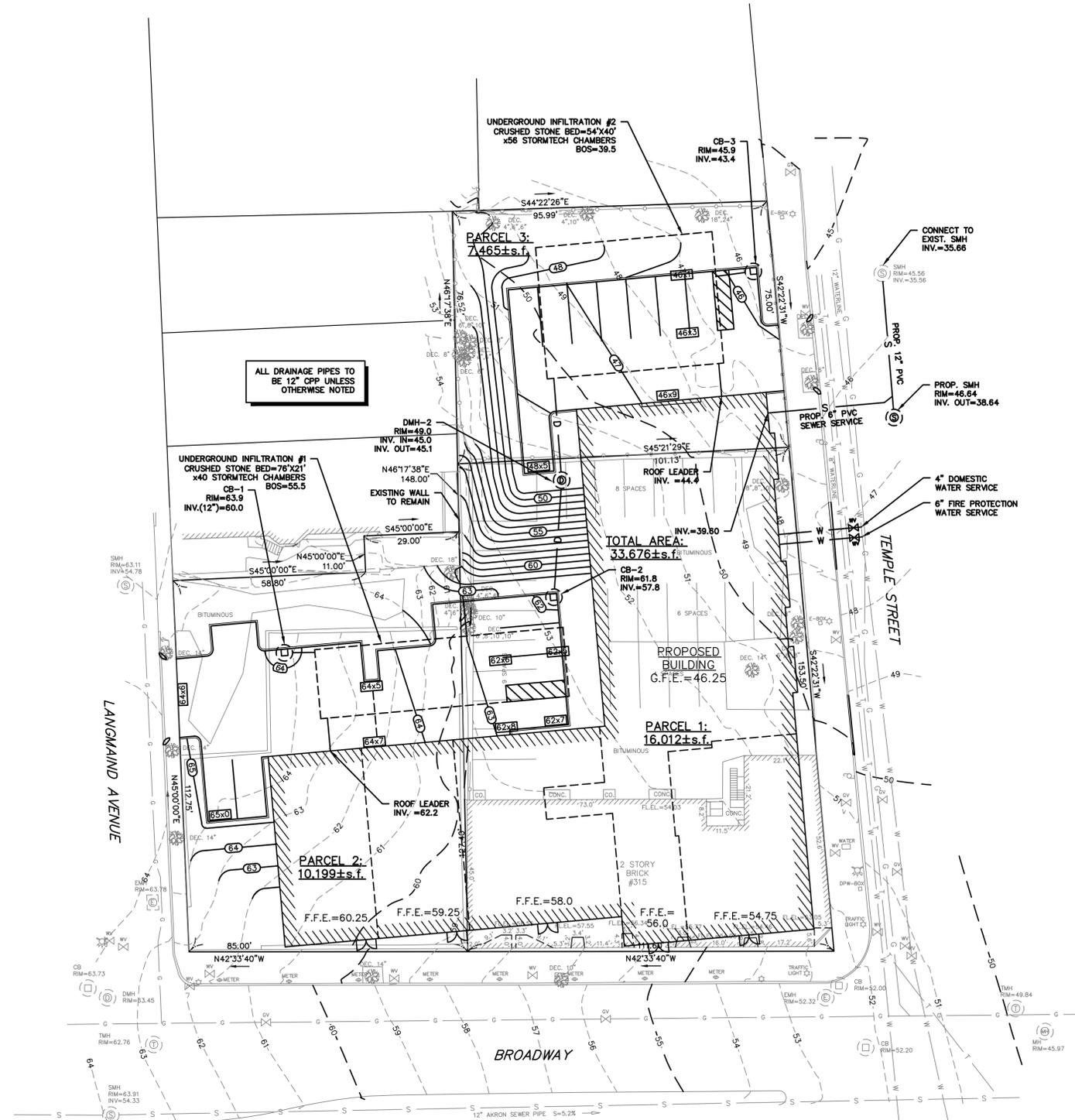
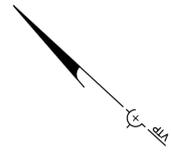
LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271



SCALE: 1"=20'

LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	70
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
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TELECOMMUNICATION MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"



ALL DRAINAGE PIPES TO
BE 12" OPP UNLESS
OTHERWISE NOTED

ZONING CHART		
SOMERVILLE, MASSACHUSETTS		
ZONE: CCD55	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING
MIN. LOT AREA	N/A	33,676±s.f.
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1-9 Units (s.f.)	600'	
10 or more Units (s.f.)	600'	
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LANDSCAPE AREA MIN. % OF LOT	10.0%	-%
F.A.R.	3	-
BUILDING HEIGHT	55.0'	-
AVERAGE GRADE	-	-
FRONT SETBACK	N/A	N/A
SIDE SETBACK	N/A	N/A
REAR SETBACK	N/A	N/A
FRONTAGE	N/A	N/A

**PROPOSED SITE PLAN
SOMERVILLE, MASSACHUSETTS**

SHOWING PROPOSED CONDITIONS
AT #315 BROADWAY

SCALE: 1in.=20ft. DATE: JANUARY 17, 2013

PROJECT: 212217



LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

212217p04.dwg (2/2011)

UTILITY NOTES:

ALL NEW INSTALLATION OF SEWER CONNECTIONS AND STRUCTURES WILL HAVE TO BE PRESSURE TESTED PRIOR TO OCCUPANCY, IF PRESSURE TESTING SEWER LINE IS NOT FEASIBLE THEN A VIDEO OF THE LINE WILL BE NECESSARY.

THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVE THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACK FILLING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.

PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT.

IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

No excavation is allowed within any City right-of-way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via the City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City of Somerville Engineering Department prior to start of work for clarification.

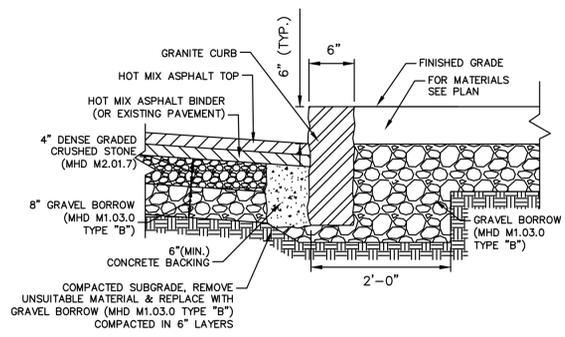
The new water and sewer services must be in-place AND accepted by the Engineering Division prior to the issuance of the Certificate of Occupancy.

As of March 1, 2009, all trench excavation contractors shall comply with Massachusetts General Laws Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to untended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property.

The Applicant will have to apply for Street Opening, Utility Connection and Trench Permits as well as an Install Curb & Sidewalk Permit with the DPW prior to start of work.

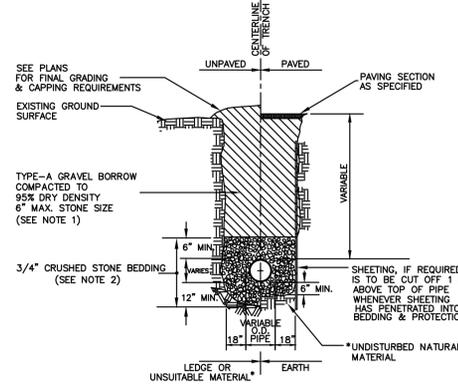
With the exception of gas services, all utility trenches within the City of Somerville right-of-way will be backfilled with Type IE (excavatable) controlled density fill, as specified by the City of Somerville Engineering Specifications.

Approval of this plan by the City of Somerville Engineering Division implies that the plan meets the minimal design standards of the City of Somerville. However, the Engineering Division makes no representations and assumes no responsibility for the design(s) in terms of suitability for the particular site conditions or of the functionality or performance of any items constructed in accordance with the design(s). The City of Somerville assumes no liabilities for design assumption, errors or omissions by the Engineer of Record.



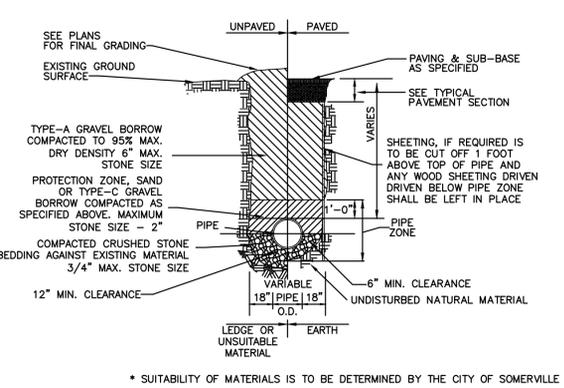
TYPICAL PAVEMENT AND GRANITE CURB SECTION

NOT TO SCALE



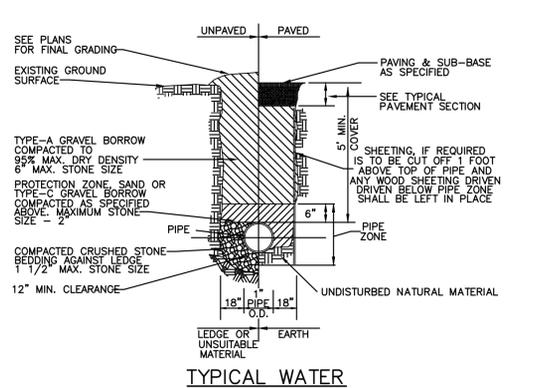
GRAVITY SEWER TRENCH DETAIL

NOT TO SCALE



TYPICAL DRAIN TRENCH DETAIL

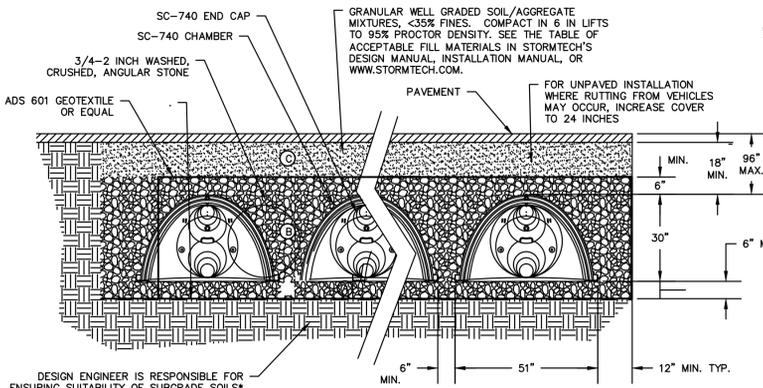
NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

NOT TO SCALE

DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING SUITABILITY OF SUBGRADE SOILS*



STORMTECH SC-740 TYPICAL CROSS-SECTION

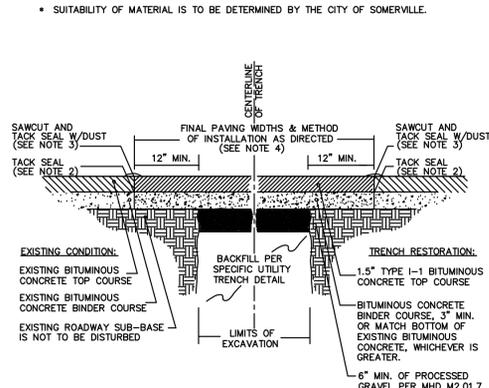
NOT TO SCALE

- * SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF SOMERVILLE.
- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

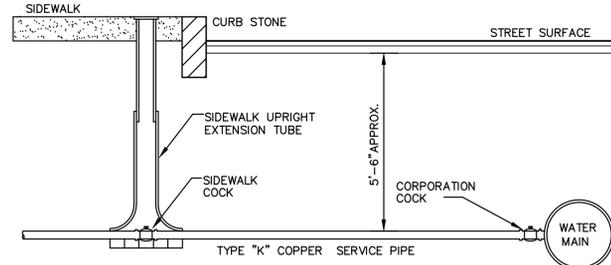
ACCEPTABLE FILL MATERIALS STORMTECH SC-740 CHAMBER SYSTEMS



TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL

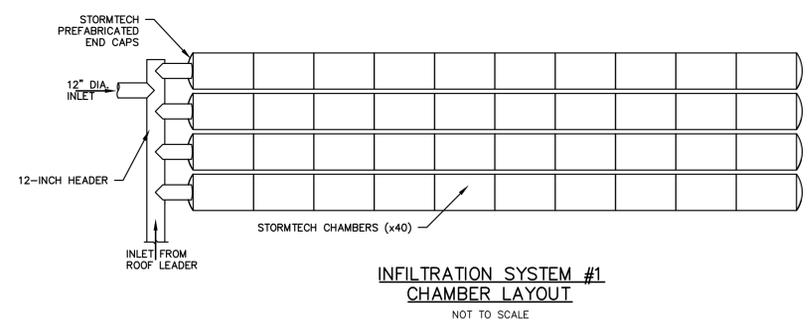
NOT TO SCALE

- 1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASS. HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1998 AS AMENDED.
- 2. ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MHD PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATION.
- 3. ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.
- 4. ANY TOP COURSE APPLIED AT A WIDTH OF 6" WIDE OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER WHEN & AS DIRECTED BY THE CITY OF SOMERVILLE.



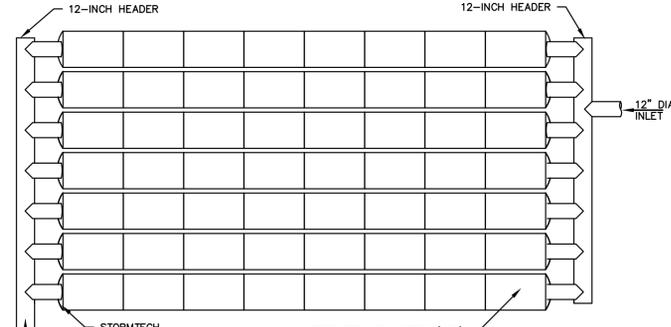
WATER CONNECTION 1" SERVICE PIPES

NOT TO SCALE



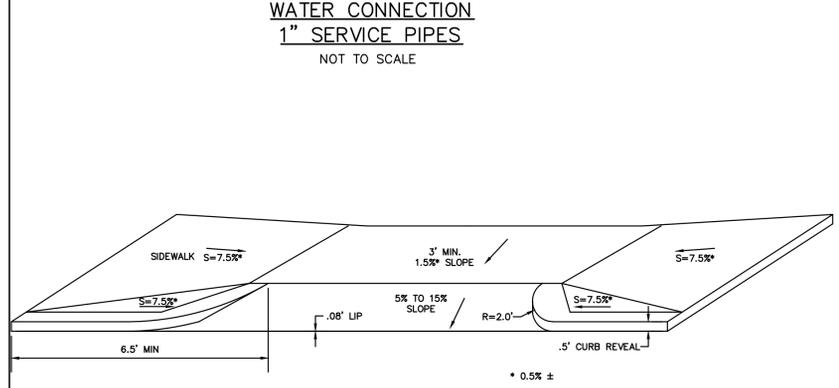
INFILTRATION SYSTEM #1 CHAMBER LAYOUT

NOT TO SCALE



INFILTRATION SYSTEM #2 CHAMBER LAYOUT

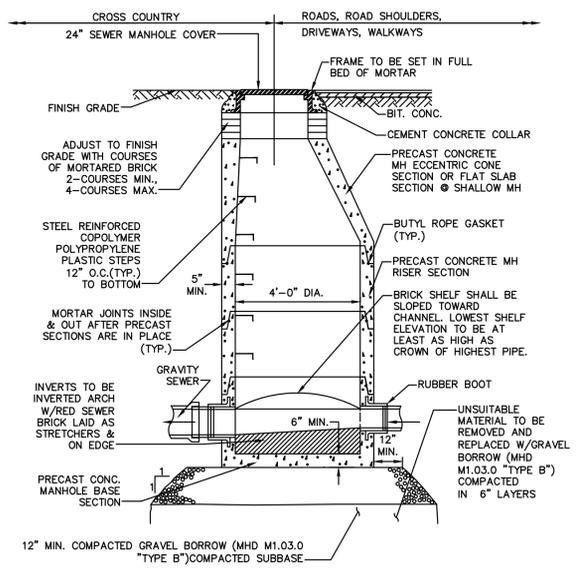
NOT TO SCALE



THROUGH SIDEWALK DRIVEWAYS W/ CURB RETURNS DETAIL

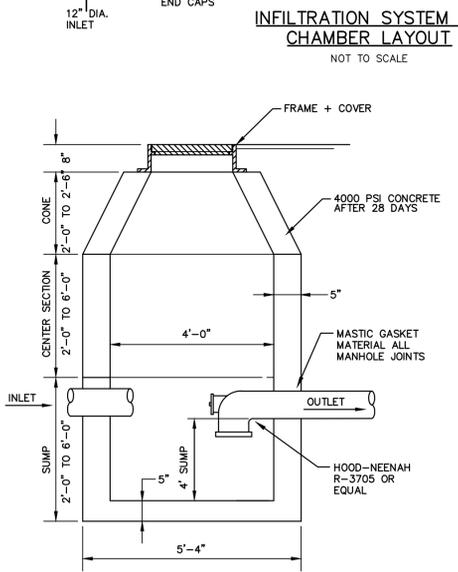
NOT TO SCALE

- ITEM NO. TY-500PC STANDARD 6,000LBS
- ITEM NO. TY-500PCH H-20 6,000LBS
- NOTES:
 - 1.) CONCRETE: 4,000PSI MINIMUM AFTER 28 DAYS
 - 2.) DESIGN CONFORMS WITH 310 CMR 15.000, DEP TITLE 5 REGS. FOR PUMP CHAMBERS
 - 3.) ALL REINFORCEMENT PER ASTM C1227-93
 - 4.) ALSO AVAILABLE IN H-20 LOADING
 - 5.) JOINT SEALED WITH BUTYL RESIN
 - 6.) PUMPS AND ACCESSORIES OPTIONAL



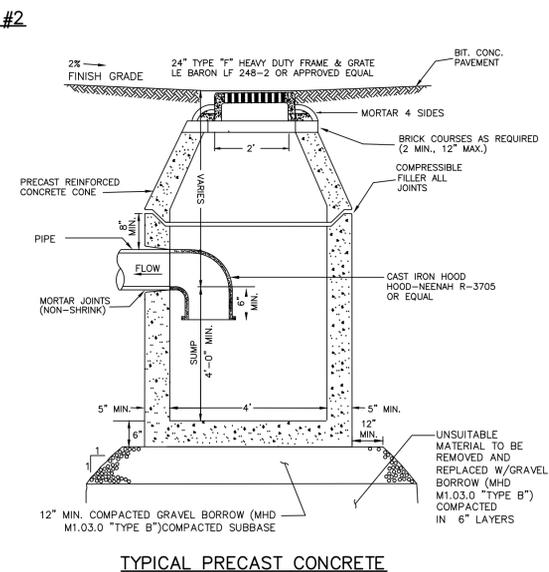
TYPICAL SEWER MANHOLE DETAIL

NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE W/ HOOD

NOT TO SCALE



TYPICAL PRECAST CONCRETE CATCH BASIN WITH GAS TRAP

NOT TO SCALE

NOTE: ALL CATCH BASINS SHALL MEET THE REQUIREMENTS OF THE CITY OF SOMERVILLE DEPARTMENT OF PUBLIC WORKS.

DIG SAFE
EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-322-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



DETAIL SHEET SOMERVILLE, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT #315 BROADWAY

SCALE: 1in.=10ft. DATE: JANUARY 17, 2013

PROJECT: 212217

VTP ASSOCIATES INC.

LAND SURVEYORS - CIVIL ENGINEERS. 132 ADAMS STREET 2ND FLOOR SUITE 3 NEWTON, MA 02458 (617) 332-8271

PLANT LIST KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AG		Acer griseum	Paperbark Maple	2-2.5" cal.	
AL		Amelanchier laevis	Allegheny Serviceberry	2-2.5" cal.	multistem
GT		Gleditsia			
OC		Prunus 'Okame'			
PA		Picea abies			
SR		Syringa reticulata			
TC		Taxus cuspidata			
TP		Thuja plicata 'Green Giant'	Green Giant Arborvitae	8-10' Ht.	B&B

SHRUBS					
CA		Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	2-3' ht.
FG		Forthegilla			
HA		Hydrangea Annabelle		5 gal.	
HO		Hosta			
IG		Ilex glabra	Inkberry	5 gal.	24-20" ht.
MP		Myrica pensylvanica	Bayberry	5 gal.	24-30" ht.
R		Rhododendron 'Chionoides'	White Flowering Rhodo.	5 gal.	24-30" spd.
SA		Spiraea j. 'Anthony Waterer'			

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.

SP	Spiraea j. 'Little Princess'	Little Princess Spiraea	5 gal.	18-24" spd.
TM	Taxus m.	Hick's Yew		
PERENNIALS/GRASSES				
DL	Hemerocallis 'Happy Returns'	Everblooming yellow daylily	1 gal	
LI	Liriope			
NE	Nepeta faassenii 'Walkers Low'	Catmint	1 gal.	
PV	Panicum virgatum 'Shenendoah'	Red Switch Grass	2 gal.	
VN	Vinca			
FN	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	2 gal.	

- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



NOTE:
overhead wires above
proposed street trees,
use small street trees.

PROJECT NAME
BROADWAY STREET
SOMERVILLE, MA

PROJECT ADDRESS

CLIENT

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LANDSCAPE ARCHITECT
Blair Hines Design
Associates
LANDSCAPE ARCHITECTS

Blair Hines Design Associates
318 Harvard Street, Suite 25
Brookline, MA 02446
T: 617-730-1180
F: 617-608-5025
W: www.blairhinesdesignassociates.com

REGISTRATION



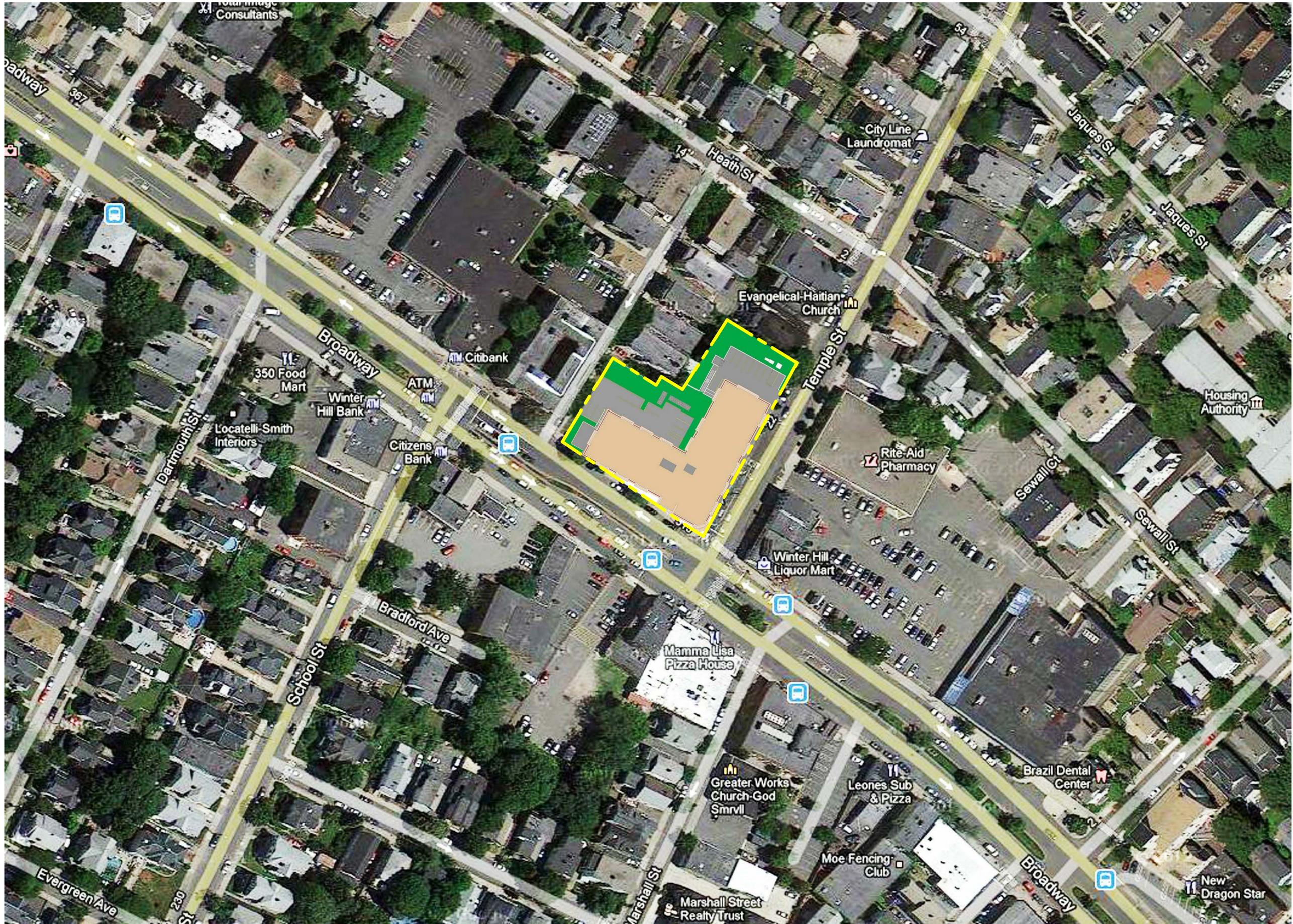
Project number	January 29, 2013
Date	KP
Drawn by	BH
Checked by	BH
Scale	as noted

REVISIONS

No.	Description	Date
1	Add utilities & patio	2/27/13

L-01

LANDSCAPE-PLAN



PROJECT NAME
Broadway Residences

PROJECT ADDRESS
 315 Broadway
 Somerville, MA 02143

CLIENT
Young Investments LLC

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 Date 03-04-2013
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REVISIONS

No.	Description	Date

**Aerial View of Site
 Location &
 Surrounding
 Context**

A-008
 Broadway Residences



VIEW FROM LANGMAIND AVE



VIEW FROM TEMPLE STREET



ELEVATION VIEW FROM BROADWAY ST



PANORAMIC VIEW FROM BROADWAY ST

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No.	Description	Date

EXISTING SITE
PHOTOS

A-009

Broadway Residences

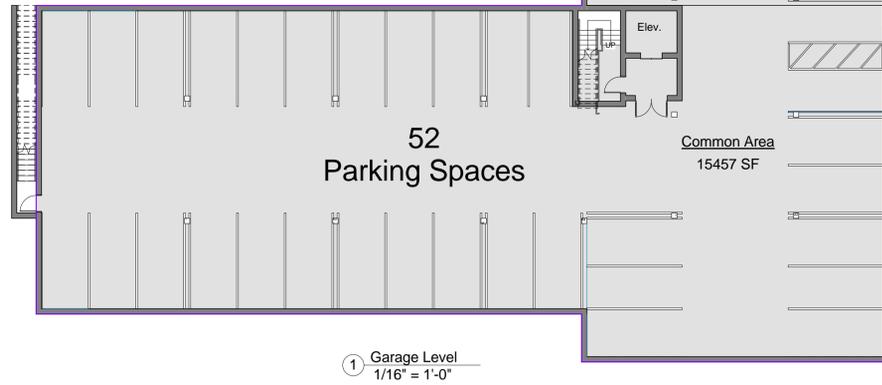
Project Areas		
Name	Area	Level
Common Area	15457 SF	Ground Level
Common Area	15457 SF	
Ground Level	15457 SF	
1Br Unit	674 SF	1st Floor Level
1Br Unit	637 SF	1st Floor Level
1Br Unit	676 SF	1st Floor Level
1Br Unit	1987 SF	
2Br Unit	1050 SF	1st Floor level
2Br Unit	1037 SF	1st Floor level
2Br Unit	847 SF	1st Floor level
2Br Unit	2934 SF	
Common Area	3012 SF	1st Floor level
Common Area	3012 SF	
Retail Area	2618 SF	1st Floor level
Retail Area	1071 SF	1st Floor level
Retail Area	2504 SF	1st Floor level
Retail Area	1525 SF	1st Floor level
Retail Area	7718 SF	
1st Floor level	15651 SF	

1Br Unit	678 SF	2nd Floor Level
1Br Unit	639 SF	2nd Floor Level
1Br Unit	641 SF	2nd Floor Level
1Br Unit	696 SF	2nd Floor Level
1Br Unit	984 SF	2nd Floor Level
1Br Unit	693 SF	2nd Floor Level
1Br Unit	771 SF	2nd Floor Level
1Br Unit	692 SF	2nd Floor Level
1Br Unit	696 SF	2nd Floor Level
1Br Unit	913 SF	2nd Floor Level
1Br Unit	7403 SF	
2Br Unit	978 SF	2nd Floor Level
2Br Unit	923 SF	2nd Floor Level
2Br Unit	1036 SF	2nd Floor Level
2Br Unit	1037 SF	2nd Floor Level
2Br Unit	884 SF	2nd Floor Level
2Br Unit	847 SF	2nd Floor Level
2Br Unit	1002 SF	2nd Floor Level
2Br Unit	6707 SF	
Common Area	1713 SF	2nd Floor Level
Common Area	1713 SF	
2nd Floor Level	15823 SF	

1Br Unit	678 SF	3rd Floor Level
1Br Unit	639 SF	3rd Floor Level
1Br Unit	641 SF	3rd Floor Level
1Br Unit	696 SF	3rd Floor Level
1Br Unit	984 SF	3rd Floor Level
1Br Unit	693 SF	3rd Floor Level
1Br Unit	778 SF	3rd Floor Level
1Br Unit	692 SF	3rd Floor Level
1Br Unit	696 SF	3rd Floor Level
1Br Unit	913 SF	3rd Floor Level
1Br Unit	7411 SF	
2Br Unit	978 SF	3rd Floor Level
2Br Unit	923 SF	3rd Floor Level
2Br Unit	1036 SF	3rd Floor Level
2Br Unit	1037 SF	3rd Floor Level
2Br Unit	884 SF	3rd Floor Level
2Br Unit	847 SF	3rd Floor Level
2Br Unit	1002 SF	3rd Floor Level
2Br Unit	6707 SF	
Common Area	1706 SF	3rd Floor Level
Common Area	1706 SF	
3rd Floor Level	15823 SF	

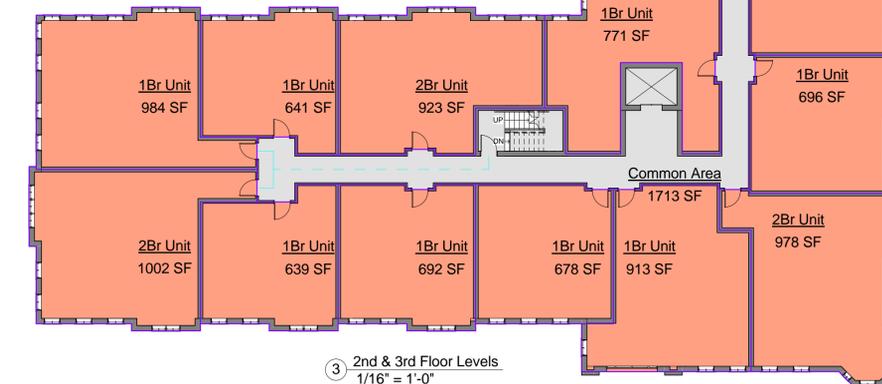
1Br Unit	678 SF	4th Floor Level
1Br Unit	639 SF	4th Floor Level
1Br Unit	641 SF	4th Floor Level
1Br Unit	696 SF	4th Floor Level
1Br Unit	984 SF	4th Floor Level
1Br Unit	693 SF	4th Floor Level
1Br Unit	692 SF	4th Floor Level
1Br Unit	913 SF	4th Floor Level
1Br Unit	5937 SF	
2Br Unit	932 SF	4th Floor Level
2Br Unit	923 SF	4th Floor Level
2Br Unit	1036 SF	4th Floor Level
2Br Unit	1037 SF	4th Floor Level
2Br Unit	884 SF	4th Floor Level
2Br Unit	1474 SF	4th Floor Level
2Br Unit	847 SF	4th Floor Level
2Br Unit	1002 SF	4th Floor Level
2Br Unit	8135 SF	
Common Area	1706 SF	4th Floor Level
Common Area	1706 SF	
4th Floor Level	15777 SF	
	78531 SF	

Garage Area - 15,457 Sf
 Common Area - 8,137 Sf
 Retail Area - 7,718 Sf
 Residential Area - 47,219 Sf
 Total Area - 78,531 Sf



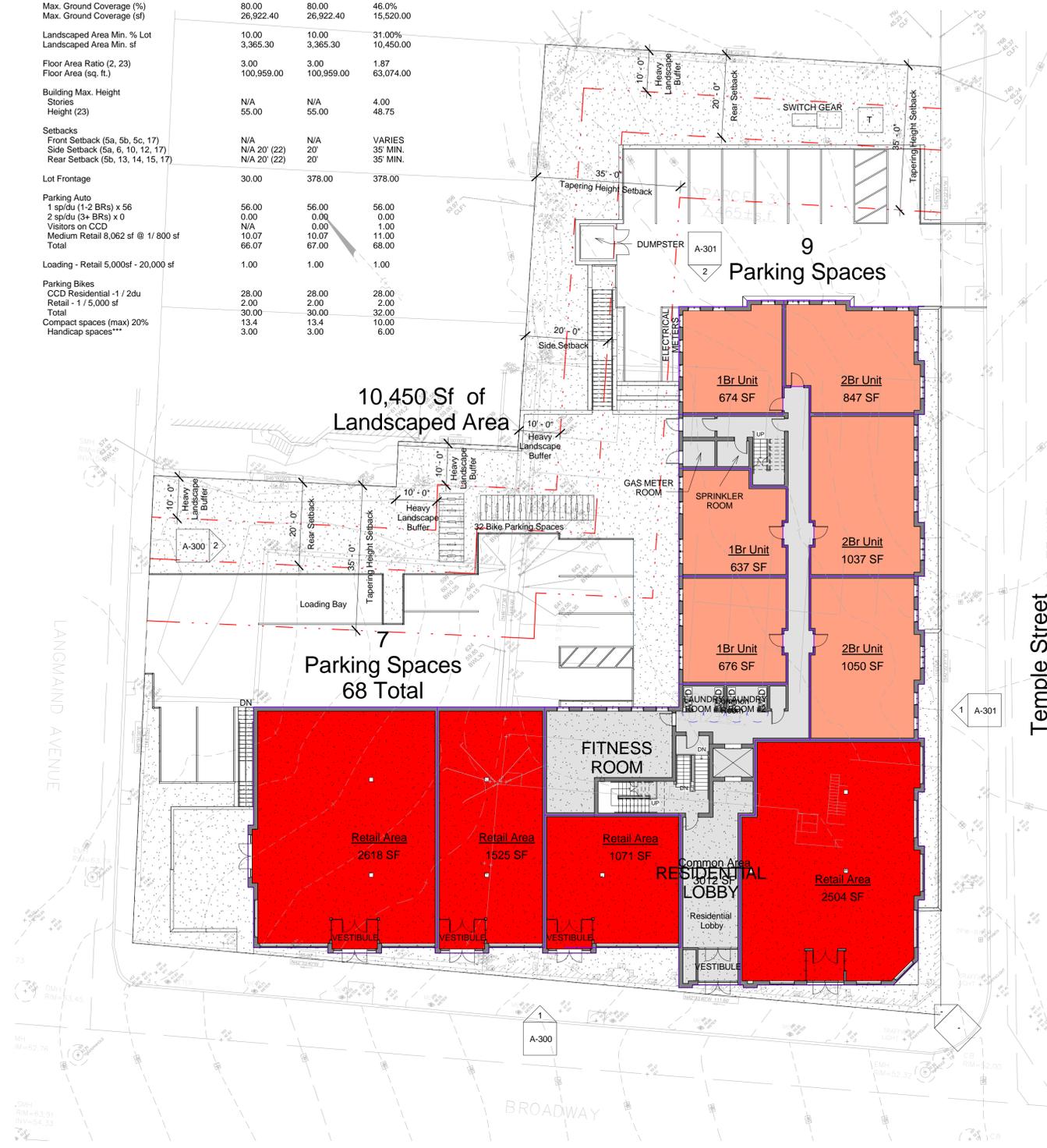
UNIT BREAKDOWN

1st Floor - 6 DU - 3 (1Br) + 3 (2Br)
 2nd Floor - 17 DU - 10 (1Br) + 7 (2Br)
 3rd Floor - 17 DU - 10 (1Br) + 7 (2Br)
 4th Floor - 16 DU - 8 (1Br) + 8 (2Br)
 Totals
 31 - 1BR UNITS - AV. UNIT SIZE 691 SF
 25 - 2BR UNITS - AV. UNIT SIZE 951,SF
 56 - TOTAL UNITS



315 Broadway Zoning Summary

CCD 55 Zone Dimensional Controls (Table 8.5)	Required	Allowed	Proposed
Min Lot Size (sq.ft.)	N/A	33,676.00	33,676.00
Lot Area (min. sq.ft.)	600.00	600.00	601.00
# Units Based on Lot Area	56.1	56.1	56.00
Max. Ground Coverage (%)	80.00	80.00	46.0%
Max. Ground Coverage (sf)	26,922.40	26,922.40	15,520.00
Landscaped Area Min. % Lot	10.00	10.00	31.00%
Landscaped Area Min. sf	3,365.30	3,365.30	10,450.00
Floor Area Ratio (2, 23)	3.00	3.00	1.87
Floor Area (sq. ft.)	100,959.00	100,959.00	63,074.00
Building Max. Height	N/A	N/A	4.00
Stories	55.00	55.00	48.75
Height (23)			
Setbacks			
Front Setback (5a, 5b, 5c, 17)	N/A	N/A	VARIES
Side Setback (5a, 6, 10, 12, 17)	N/A 20' (22)	20'	35' MIN.
Rear Setback (5b, 13, 14, 15, 17)	N/A 20' (22)	20'	35' MIN.
Lot Frontage	30.00	378.00	378.00
Parking Auto			
1 sp/du (1-2 BRs) x 56	56.00	56.00	56.00
2 sp/du (3+ BRs) x 0	0.00	0.00	0.00
Visitors on CCD	N/A	N/A	1.00
Medium Retail 8,062 sf @ 1/800 sf	10.07	10.07	11.00
Total	66.07	67.00	68.00
Loading - Retail 5,000sf - 20,000 sf	1.00	1.00	1.00
Parking Bikes			
CCD Residential -1/2du	28.00	28.00	28.00
Retail -1/5,000 sf	2.00	2.00	2.00
Total	30.00	30.00	32.00
Compact spaces (max) 20%	13.4	13.4	10.00
Handicap spaces***	3.00	3.00	6.00



NOTES TO TABLE 8.5

22. Transition requirements apply for parcels abutting a residential district (RA, RB or RC) pursuant to Section 6.1.22.G (Transition to Abutting Residential Districts)

LANDSCAPING REQUIREMENTS

Section 10.3. General Landscaped Area Requirements. In every instance where there is a required percentage of lot area devoted to landscaping, stipulated as the minimum landscaped area under Article 8 of this Ordinance, there shall be a minimum of two (2) kinds of landscape cover, using some combination of trees, shrubs, and/or ground cover. On each such lot, there shall be a minimum of one (1) tree for each one thousand (1,000) square feet of such space or fraction thereof. The required minimum landscaped area may be located on the development lot or in the immediately adjacent street right-of-way when street tree plantings are utilized.

Section 10.4. Parking Lot Landscaping Requirements. Where the provision of off-street parking for twenty (20) or more cars is required under the terms of this Ordinance, some of a lot's minimum landscaped area (as stipulated in Article 8) shall be located so that there shall be landscaped areas within the parking lot and/or immediately adjacent to and within five (5) feet of the perimeter of said parking area(s) in the minimum amount of twenty-four (24) square feet for each parking space. The minimum width of each said area shall be three (3) feet, and the minimum area shall be twenty-four (24) square feet. The required landscaped area need not be contiguous, but it is recommended that no parking space be located more than ninety (90) feet from a landscaped area. The strict provisions above shall not apply where provision of required off-street parking is made within a parking garage structure. However, landscaped area shall be provided adjacent to any parking garage structure, particularly those at or above grade, in a manner allowing for the screening and buffering of the structure from the view of abutting properties and thorough fares. Additionally, there shall be at least some plant material meeting the specifications of Section 10.6 within each separate landscaped area, preferably trees; said trees may be included in computing any total number of trees required in the landscaped area of a lot per Section 10.3. All plant materials in parking areas shall be kept pruned so as to create no hazard to drivers or pedestrians. Some form of water facility or irrigation should be provided to establish and maintain the plants within the parking lot area.

PROJECT NAME
Broadway Residences

PROJECT ADDRESS
 315 Broadway
 Somerville, MA 02143

CLIENT
Young Investments LLC



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:
 LANDSCAPE ARCHITECT
 x
 x
 T: x
 W: x
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 STRUCTURAL ENGINEER
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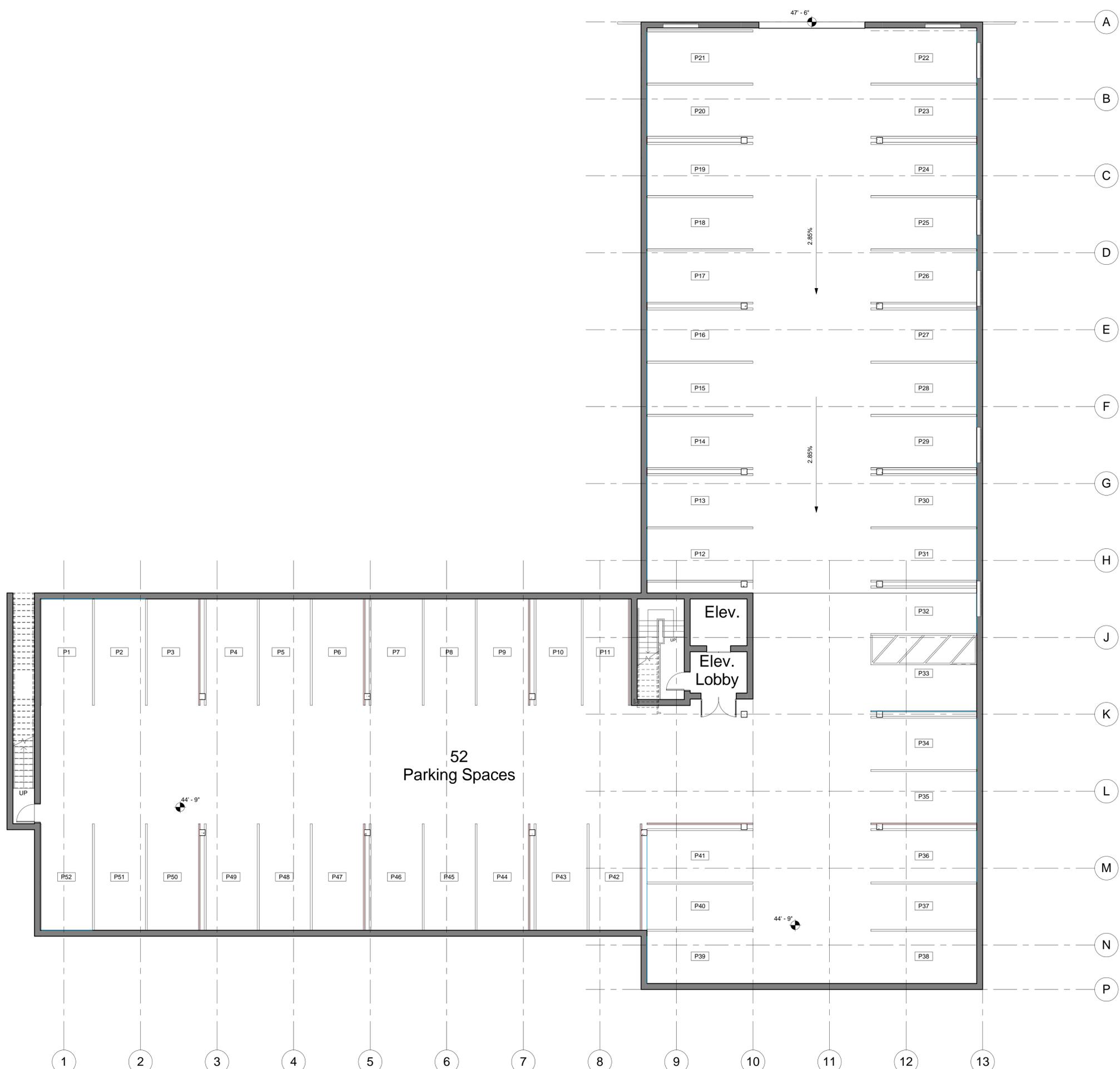
REVISIONS

No.	Description	Date

Building Plans &
 Zoning Study

A-010

Broadway Residences



PROJECT NAME
Broadway Residences

PROJECT ADDRESS
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 Somerville, MA 02143

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Young Investments LLC

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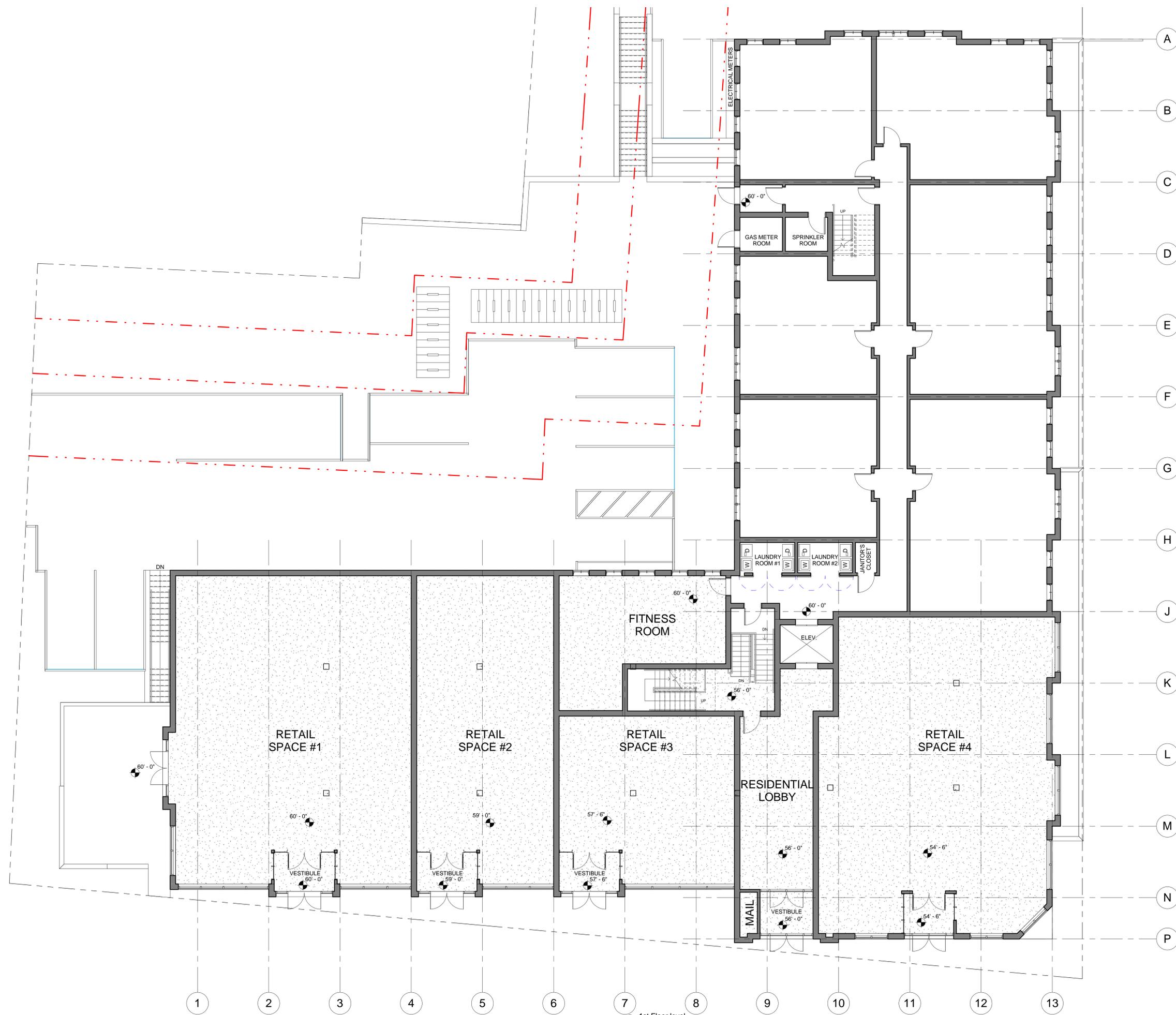
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GARAGE FLOOR PLAN

A-100
 Broadway Residences

1 Garage Level
 1/8" = 1'-0"



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Broadway Residences

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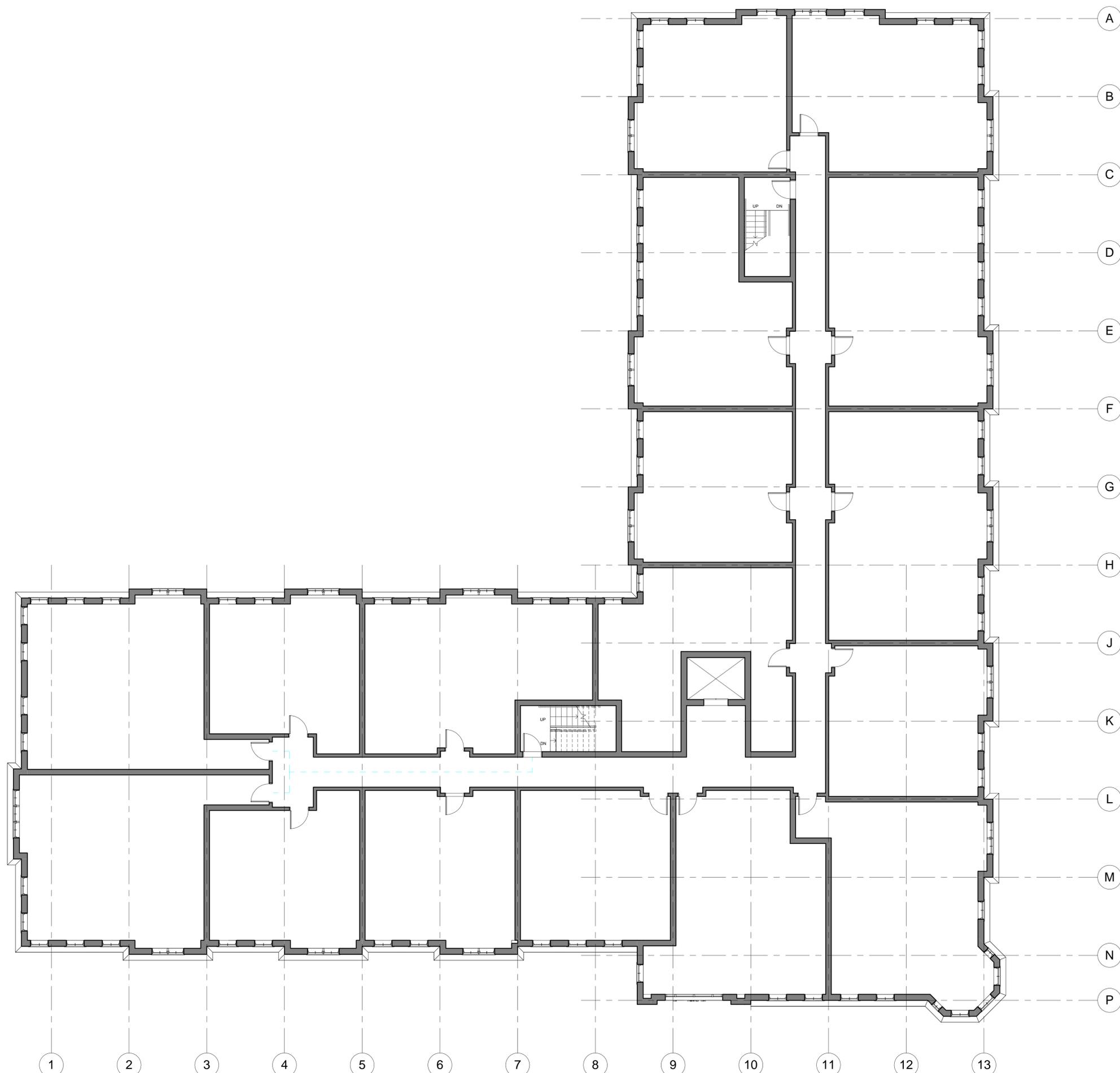
No.	Description	Date

FIRST FLOOR PLAN

A-101
 Broadway Residences

1st Floor level
 1/8" = 1'-0"

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PROJECT NAME
Broadway Residences

PROJECT ADDRESS
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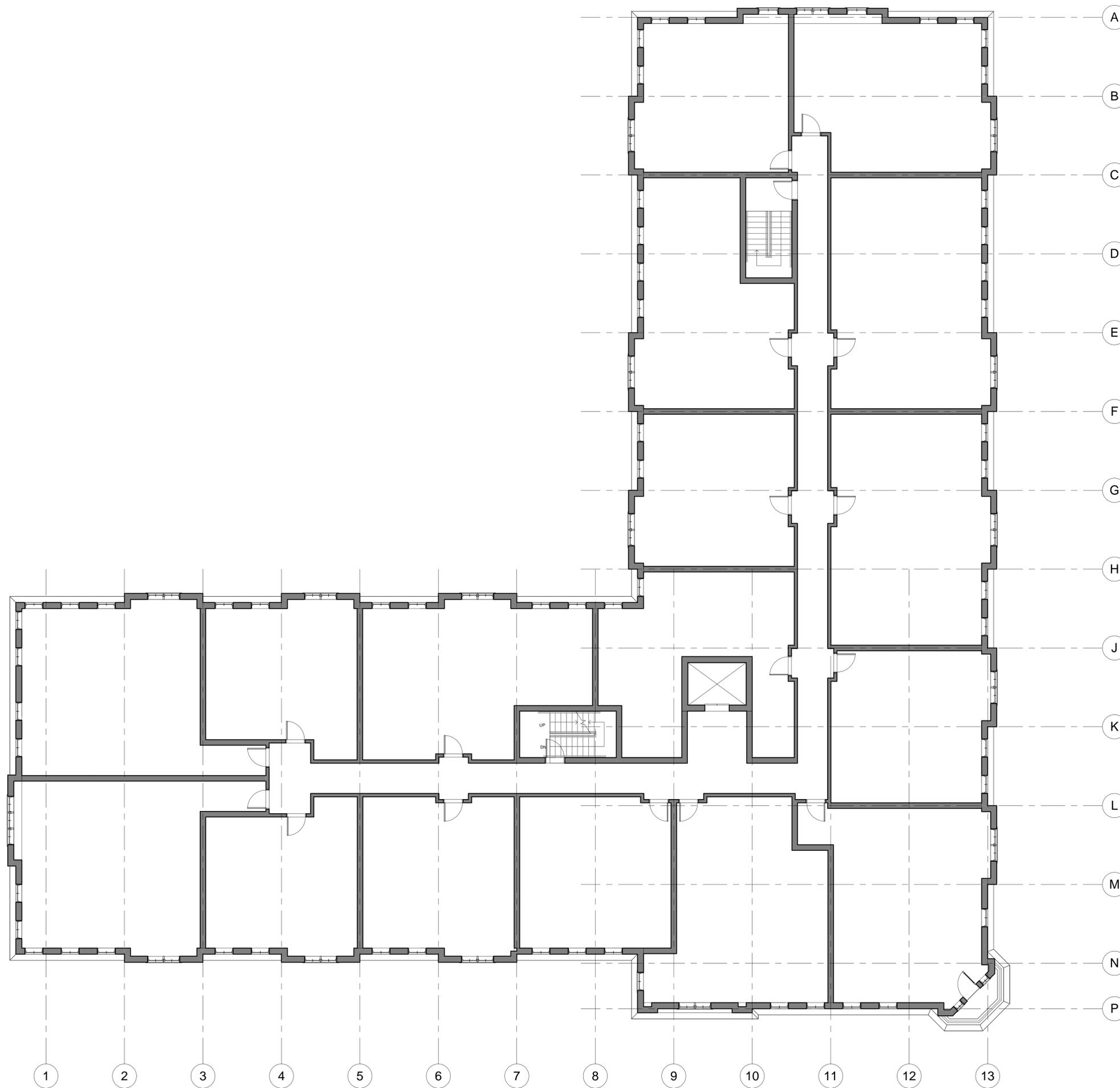
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No.	Description	Date

SECOND & THIRD FLOOR PLAN

A-102
 Broadway Residences

1 2nd Floor Level
 1/8" = 1'-0"



1 4th Floor Level
1/8" = 1'-0"

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Broadway Residences

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FOURTH FLOOR PLAN

A-103
 Broadway Residences



1 Roof Level
1/8" = 1'-0"

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Broadway Residences

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 Somerville, MA 02143

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No.	Description	Date

ROOF FLOOR PLAN

A-105
 Broadway Residences



① South Elevation
1/8" = 1'-0"



② West Elevation
1/8" = 1'-0"

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Broadway Residences

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No.	Description	Date

EXTERIOR ELEVATIONS

A-300
Broadway Residences

PROJECT NAME
Broadway Residences

PROJECT ADDRESS
 315 Broadway
 Somerville, MA 02143

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CIVIL ENGINEER

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No.	Description	Date

EXTERIOR ELEVATION

A-301
 Broadway Residences



① East Elevation
 1/8" = 1'-0"



② North Elevation
 1/8" = 1'-0"



View of Corner Retail Street



View of Retail from Langmaid Street



View from Broadway & Temple Street



View Residential Entrance



View from Northern Temple Street

PROJECT NAME

Broadway Residences

PROJECT ADDRESS

315 Broadway
Somerville, MA 02143

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REVISIONS

No.	Description	Date

PERSPECTIVE VIEWS

A-900

Broadway Residences