

BROADWAY RESIDENCES



SUBMISSION 12-17-2012

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PROJECT NAME

Broadway Residences

PROJECT ADDRESS

315 Broadway
Somerville, MA 02143

CLIENT

Young Investments LLC

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LANDSCAPE ARCHITECT

x
x
T: x
W: x

CIVIL ENGINEER

x
x
x
T: x
F: x

STRUCTURAL ENGINEER

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x
T: x
F: x

MEP ENGINEER

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T: x
F: x
W: x

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REGISTRATION



Project number 12025
Date 12-17-2012
Drawn by KK / MG
Checked by JSK
Scale

REVISIONS

No.	Description	Date

Cover Sheet

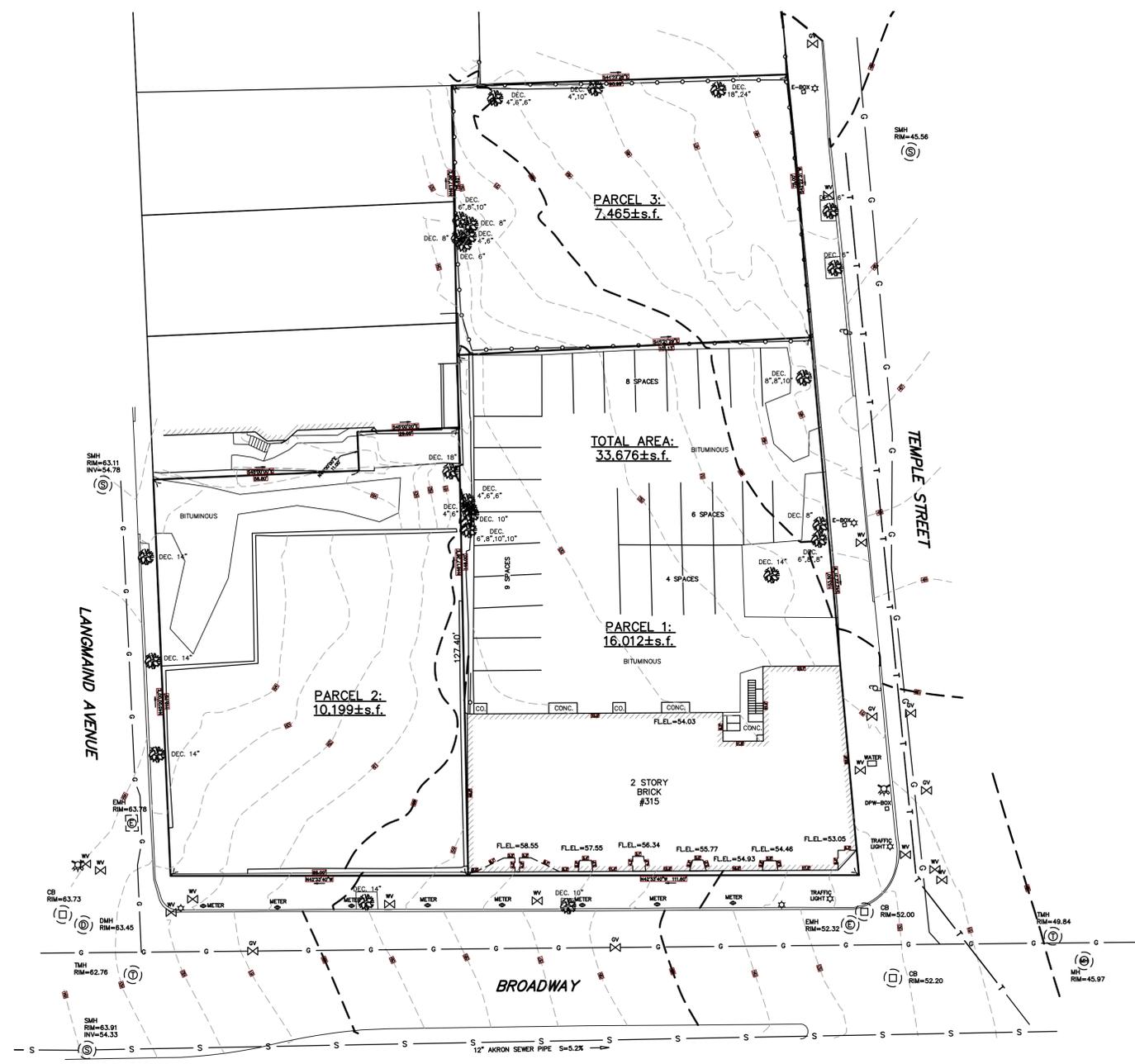
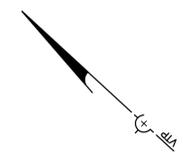
A-000

Broadway Residences

212217.mxd (12/20/12)

LEGEND

- BUILDING
- PROPERTY LINE W/
BEARING DISTANCE
S81°56'34"E
116.23'
- CONTOUR
70
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE
S
- DRAIN LINE
D
- WATER LINE
W
- GAS LINE
G
- GAS VALVE
- WATER VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELECOMMUNICATION
MANHOLE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE
DEC. 22"
- CONIFEROUS TREE
CON. 12"

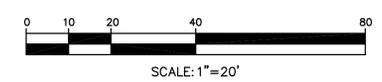


ZONING CHART		
NEWTON, MASSACHUSETTS		
ZONE: CCD55	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING
MIN. LOT AREA	N/A	33,676±s.f.
MIN. LOT AREA/DWELLING UNIT		
1-9 Units (s.f.)	600'	
10 or more Units (s.f.)	600'	
LOT COVERAGE	80.0%	—%
LANDSCAPE AREA MIN. % OF LOT	10.0%	—%
F.A.R.	3	—
BUILDING HEIGHT	55.0'	—
AVERAGE GRADE	—	—
FRONT SETBACK	N/A	N/A
SIDE SETBACK	N/A	N/A
REAR SETBACK	N/A	N/A
FRONTAGE	N/A	N/A

TOPOGRAPHIC SITE PLAN
SOMERVILLE, MASSACHUSETTS
 SHOWING EXISTING CONDITIONS AT
 #315 BROADWAY
 SCALE: 1in.=20ft. DATE: NOVEMBER 30, 2012
 PROJECT: 212217



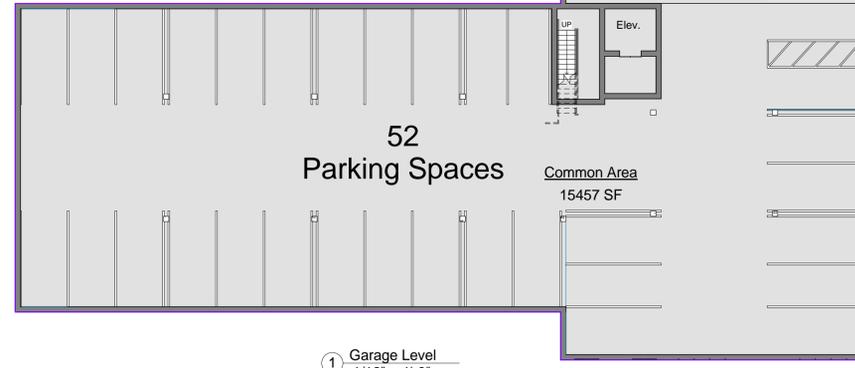
LAND SURVEYORS - CIVIL ENGINEERS: 132
 ADAMS STREET 2ND FLOOR SUITE 3
 NEWTON, MA 02458
 (617) 332-8271
A-001 Existing Survey



Project Areas		
Name	Area	Level
Common Area	15457 SF	Ground Level
Common Area	15457 SF	Ground Level
Common Area	15457 SF	Ground Level
1Br Unit	680 SF	1st Floor Level
1Br Unit	761 SF	1st Floor Level
1Br Unit	676 SF	1st Floor Level
1Br Unit	2117 SF	
2Br Unit	1038 SF	1st Floor level
2Br Unit	1038 SF	1st Floor level
2Br Unit	806 SF	1st Floor Level
2Br Unit	2883 SF	
Common Area	2459 SF	1st Floor level
Common Area	2459 SF	
Retail Area	1653 SF	1st Floor level
Retail Area	2493 SF	1st Floor level
Retail Area	2293 SF	1st Floor level
Retail Area	1624 SF	1st Floor level
Retail Area	8062 SF	
1st Floor Level	15520 SF	

Garage Area - 15,457 Sf
 Common Area - 8,045 Sf
 Retail Area - 8,062 Sf
 Residential Area - 45,343 Sf
 Total Area - 76,907 Sf

1Br Unit	678 SF	2nd Floor Level
1Br Unit	643 SF	2nd Floor Level
1Br Unit	642 SF	2nd Floor Level
1Br Unit	698 SF	2nd Floor Level
1Br Unit	840 SF	2nd Floor Level
1Br Unit	701 SF	2nd Floor Level
1Br Unit	620 SF	2nd Floor Level
1Br Unit	696 SF	2nd Floor Level
1Br Unit	697 SF	2nd Floor Level
1Br Unit	864 SF	2nd Floor Level
1Br Unit	7080 SF	
2Br Unit	939 SF	2nd Floor Level
2Br Unit	916 SF	2nd Floor Level
2Br Unit	1038 SF	2nd Floor Level
2Br Unit	1038 SF	2nd Floor Level
2Br Unit	1038 SF	2nd Floor Level
2Br Unit	885 SF	2nd Floor Level
2Br Unit	806 SF	2nd Floor Level
2Br Unit	840 SF	2nd Floor Level
2Br Unit	6463 SF	
Common Area	1862 SF	2nd Floor Level
Common Area	1862 SF	
2nd Floor Level	15405 SF	

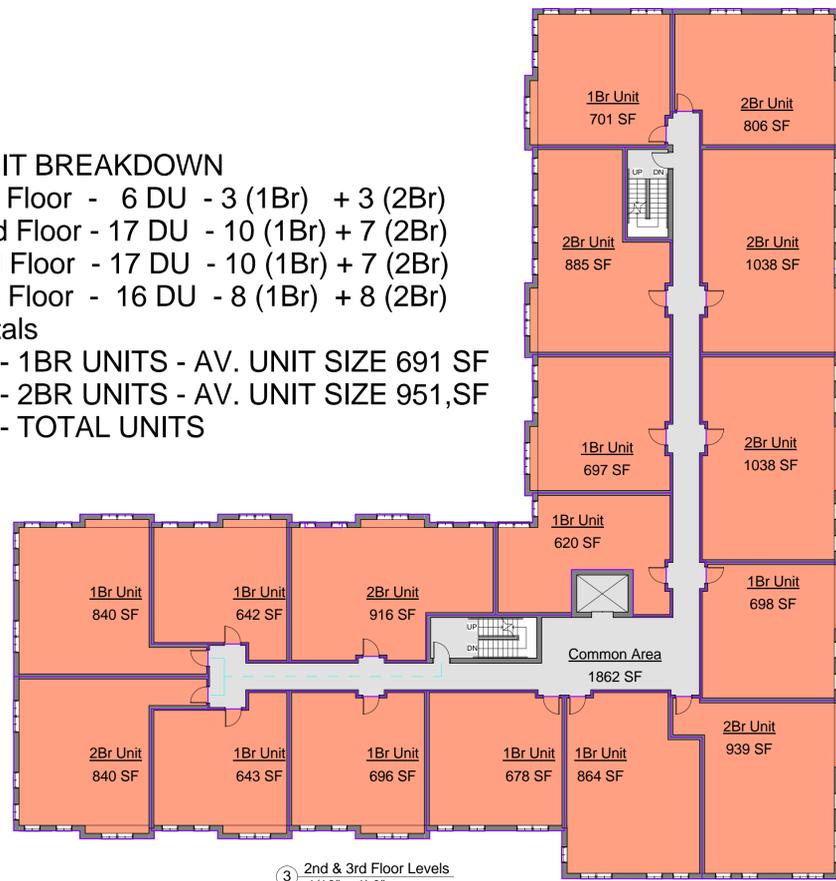


1Br Unit	678 SF	3rd Floor Level
1Br Unit	643 SF	3rd Floor Level
1Br Unit	642 SF	3rd Floor Level
1Br Unit	698 SF	3rd Floor Level
1Br Unit	840 SF	3rd Floor Level
1Br Unit	701 SF	3rd Floor Level
1Br Unit	620 SF	3rd Floor Level
1Br Unit	696 SF	3rd Floor Level
1Br Unit	697 SF	3rd Floor Level
1Br Unit	864 SF	3rd Floor Level
1Br Unit	7080 SF	
2Br Unit	939 SF	3rd Floor Level
2Br Unit	916 SF	3rd Floor Level
2Br Unit	1038 SF	3rd Floor Level
2Br Unit	1038 SF	3rd Floor Level
2Br Unit	1038 SF	3rd Floor Level
2Br Unit	885 SF	3rd Floor Level
2Br Unit	806 SF	3rd Floor Level
2Br Unit	840 SF	3rd Floor Level
2Br Unit	6463 SF	
Common Area	1862 SF	3rd Floor Level
Common Area	1862 SF	
3rd Floor Level	15405 SF	

UNIT BREAKDOWN

1st Floor - 6 DU - 3 (1Br) + 3 (2Br)
 2nd Floor - 17 DU - 10 (1Br) + 7 (2Br)
 3rd Floor - 17 DU - 10 (1Br) + 7 (2Br)
 4th Floor - 16 DU - 8 (1Br) + 8 (2Br)
Totals
 31 - 1BR UNITS - AV. UNIT SIZE 691 SF
 25 - 2BR UNITS - AV. UNIT SIZE 951,SF
 56 - TOTAL UNITS

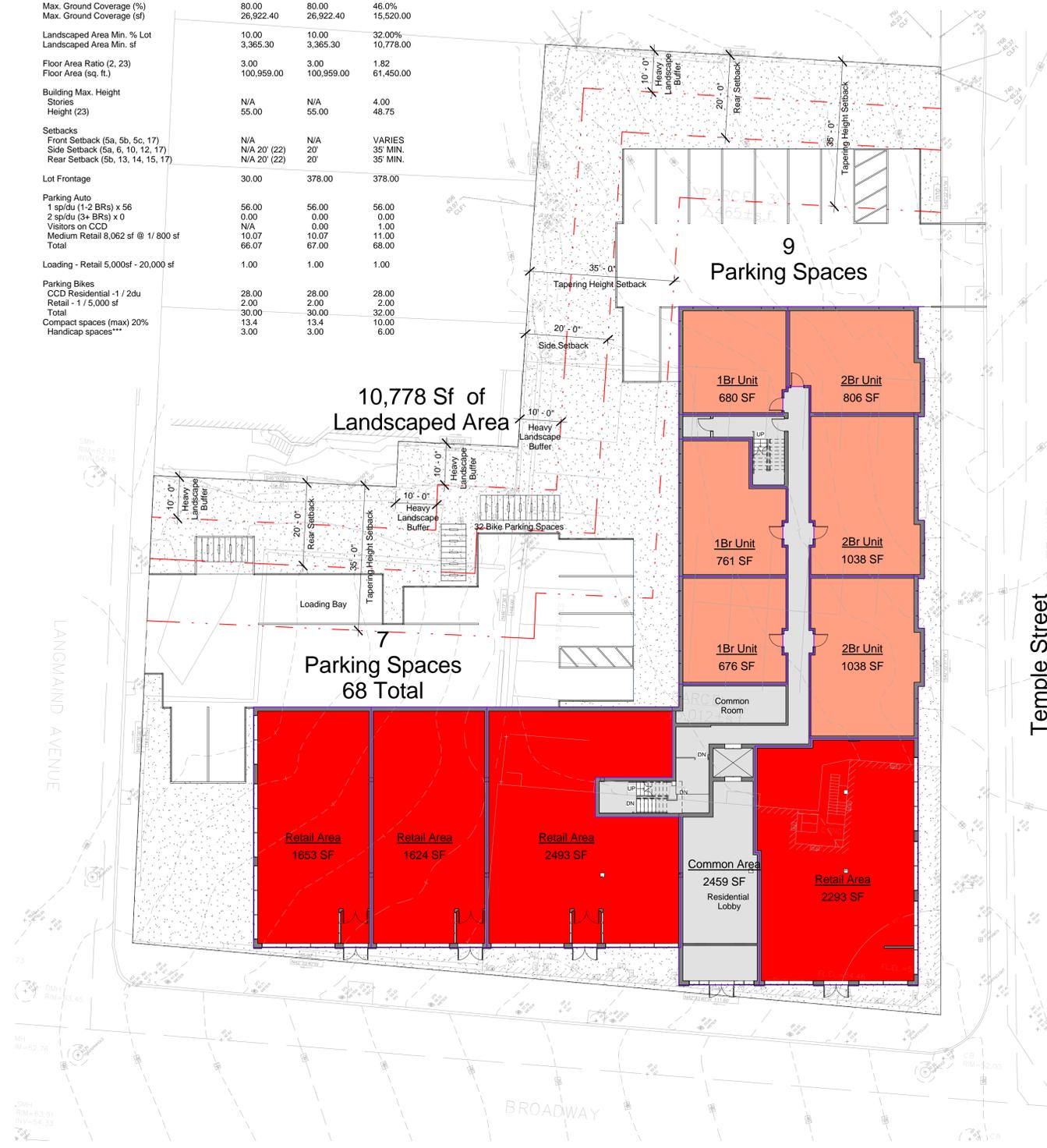
1Br Unit	678 SF	4th Floor Level
1Br Unit	622 SF	4th Floor Level
1Br Unit	622 SF	4th Floor Level
1Br Unit	677 SF	4th Floor Level
1Br Unit	819 SF	4th Floor Level
1Br Unit	680 SF	4th Floor Level
1Br Unit	675 SF	4th Floor Level
1Br Unit	864 SF	4th Floor Level
1Br Unit	5636 SF	
2Br Unit	918 SF	4th Floor Level
2Br Unit	904 SF	4th Floor Level
2Br Unit	1017 SF	4th Floor Level
2Br Unit	1017 SF	4th Floor Level
2Br Unit	864 SF	4th Floor Level
2Br Unit	1297 SF	4th Floor Level
2Br Unit	785 SF	4th Floor Level
2Br Unit	819 SF	4th Floor Level
2Br Unit	7621 SF	
Common Area	1862 SF	4th Floor Level
Common Area	1862 SF	
4th Floor Level	15120 SF	
	76907 SF	



③ 2nd & 3rd Floor Levels
1/16" = 1'-0"

315 Broadway Zoning Summary

CCD 55 Zone Dimensional Controls (Table 8.5)	Required	Allowed Proposed
Min Lot Size (sq.ft.)	N/A	33,676.00
Lot Area/unit (min. sq.ft.)	600.00	601.00
# Units Based on Lot Area	56.1	56.1
Max. Ground Coverage (%)	80.00	80.00
Max. Ground Coverage (sf)	26,922.40	26,922.40
Landscaped Area Min. % Lot	10.00	10.00
Landscaped Area Min. sf	3,365.30	3,365.30
Floor Area Ratio (2, 23)	3.00	3.00
Floor Area (sq. ft.)	100,959.00	100,959.00
Building Max. Height	N/A	N/A
Stories	55.00	55.00
Height (23)	55.00	48.75
Setbacks		
Front Setback (5a, 5b, 5c, 17)	N/A	N/A
Side Setback (5a, 6, 10, 12, 17)	N/A 20' (22)	20'
Rear Setback (5b, 13, 14, 15, 17)	N/A 20' (22)	20'
Lot Frontage	30.00	378.00
Parking Auto		
1 sp/du (1-2 BRs) x 56	56.00	56.00
2 sp/du (3+ BRs) x 0	0.00	0.00
Visitors on CCD	N/A	1.00
Medium Retail 8,062 sf @ 1/800 sf	10.07	10.07
Total	66.07	67.00
Loading - Retail 5,000sf - 20,000 sf	1.00	1.00
Parking Bikes		
CCD Residential -1 / 2du	28.00	28.00
Retail - 1 / 5,000 sf	2.00	2.00
Total	30.00	30.00
Compact spaces (max) 20%	13.4	13.4
Handicap spaces***	3.00	3.00



NOTES TO TABLE 8.5

22. Transition requirements apply for parcels abutting a residential district (RA, RB or RC) pursuant to Section 6.1.22.G (Transition to Abutting Residential Districts)

LANDSCAPING REQUIREMENTS

Section 10.3. General Landscaped Area Requirements. In every instance where there is a required percentage of lot area devoted to landscaping, stipulated as the minimum landscaped area under Article 8 of this Ordinance, there shall be a minimum of two (2) kinds of landscape cover, using some combination of trees, shrubs, and/or ground cover. On each such lot, there shall be a minimum of one (1) tree for each one thousand (1,000) square feet of such space or fraction thereof. The required minimum landscaped area may be located on the development lot or in the immediately adjacent street right-of-way when street tree plantings are utilized.

Section 10.4. Parking Lot Landscaping Requirements. Where the provision of off-street parking for twenty (20) or more cars is required under the terms of this Ordinance, some of a lot's minimum landscaped area (as stipulated in Article 8) shall be located so that there shall be landscaped areas within the parking lot and/or immediately adjacent to and within five (5) feet of the perimeter of said parking area(s) in the minimum amount of twenty-four (24) square feet for each parking space. The minimum width of each said area shall be three (3) feet, and the minimum area shall be twenty-four (24) square feet. The required landscaped area need not be contiguous, but it is recommended that no parking space be located more than ninety (90) feet from a landscaped area. The strict provisions above shall not apply where provision of required off-street parking is made within a parking garage structure. However, landscaped area shall be provided adjacent to any parking garage structure, particularly those at or above grade, in a manner allowing for the screening and buffering of the structure from the view of abutting properties and thoroughfares. Additionally, there shall be at least some plant material meeting the specifications of Section 10.6 within each separate landscaped area, preferably trees; said trees may be included in computing any total number of trees required in the landscaped area of a lot per Section 10.3. All plant materials in parking areas shall be kept pruned so as to create not hazard to drivers or pedestrians. Some form of water facility or irrigation should be provided to establish and maintain the plants within the parking lot area.

PROJECT NAME

Broadway Residences

PROJECT ADDRESS

315 Broadway
Somerville, MA 02143

CLIENT

Young Investments LLC

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LANDSCAPE ARCHITECT

x
x
x
T: x
W: x

CIVIL ENGINEER

x
x
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T: x
F: x

STRUCTURAL ENGINEER

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MEP ENGINEER

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Checked by	JSK
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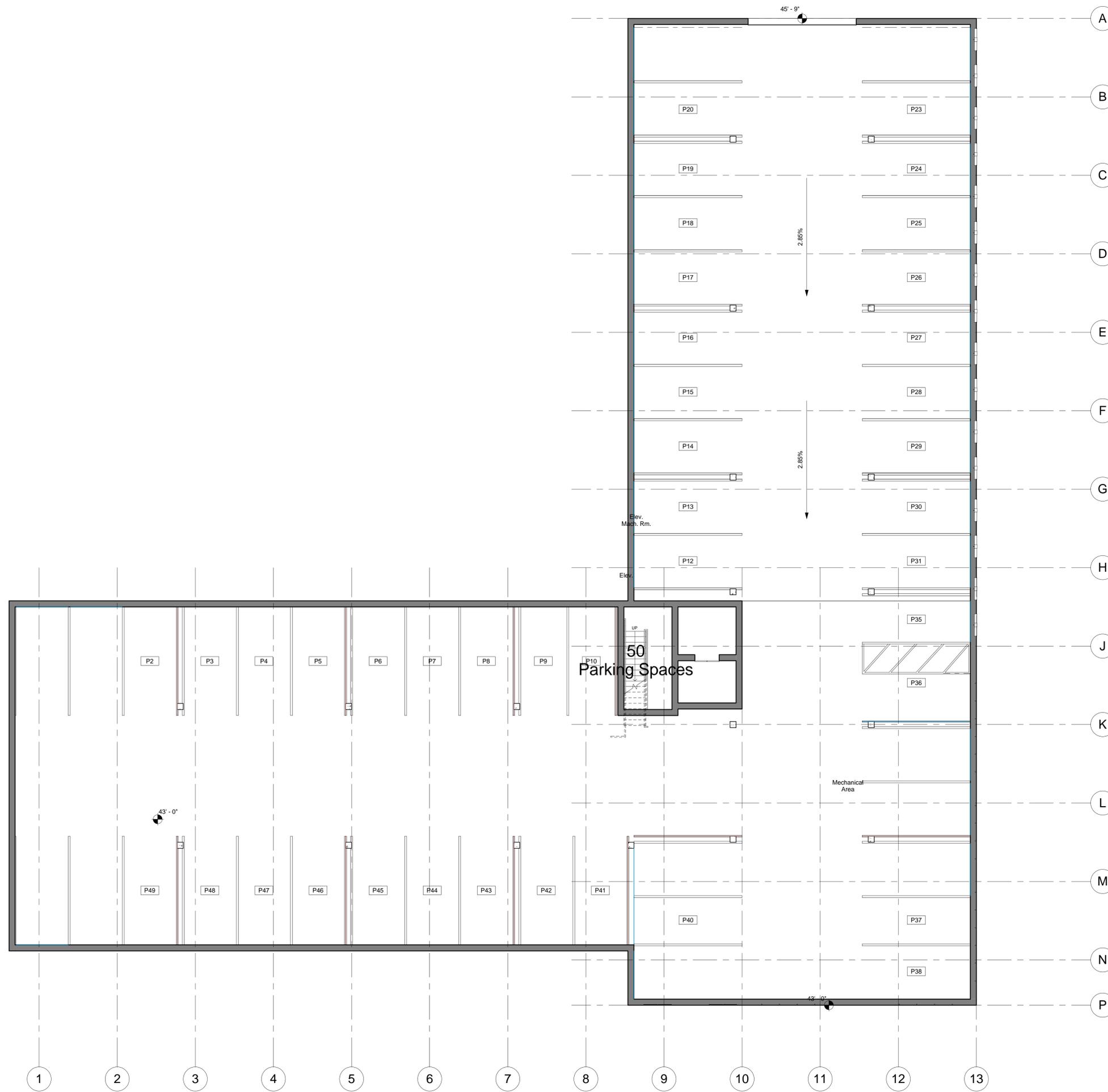
REVISIONS

No.	Description	Date

Building Plans & Zoning Study

A-010

Broadway Residences



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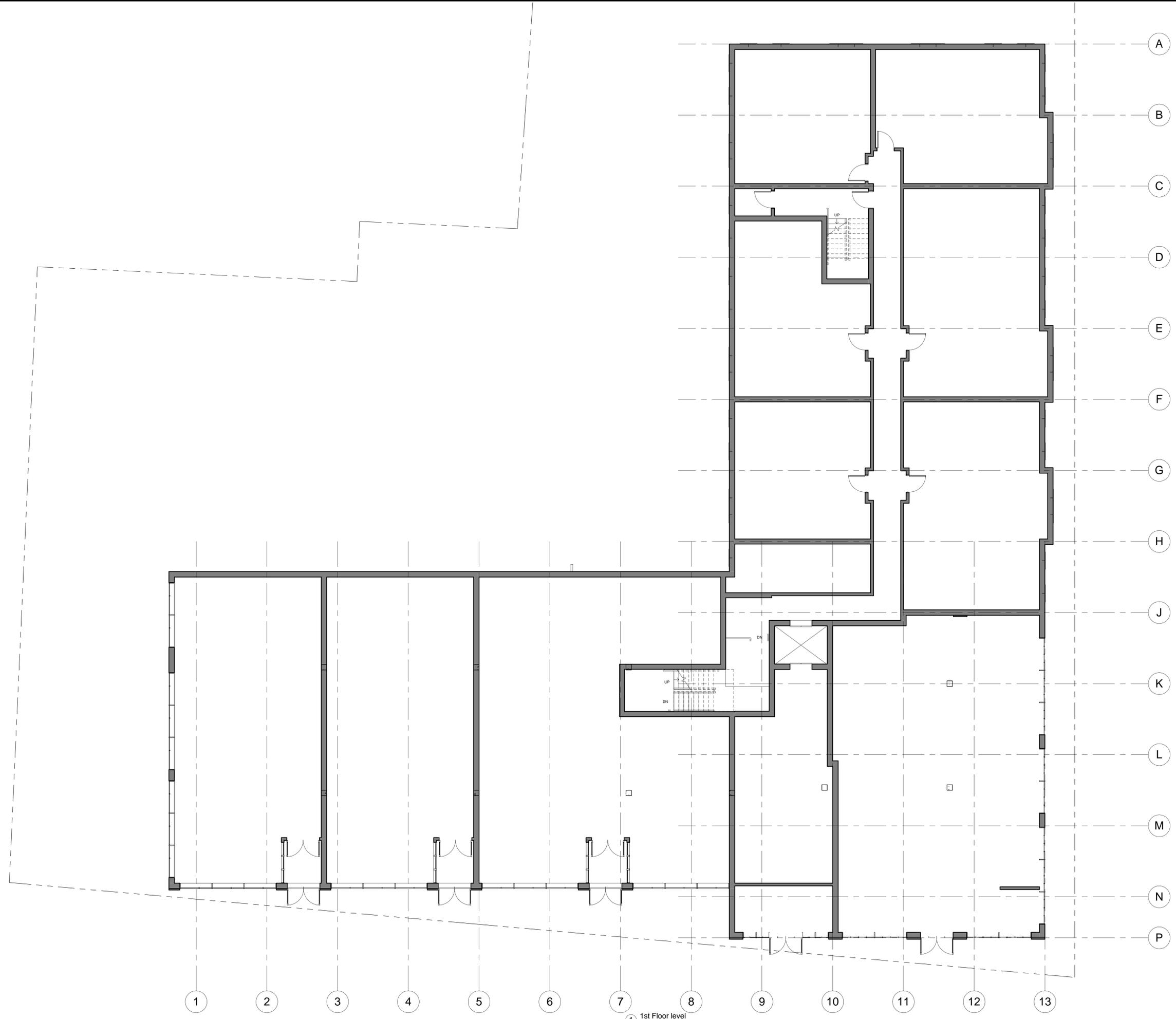
REVISIONS

No.	Description	Date

GARAGE FLOOR PLAN

A-100

Broadway Residences



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 315 Broadway
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No.	Description	Date

FIRST FLOOR PLAN

A-101

Broadway Residences

1 1st Floor level
 1/8" = 1'-0"

A-300 2

A-301
2



1
A-300

1
A-301

1
2nd Floor Level
1/8" = 1'-0"

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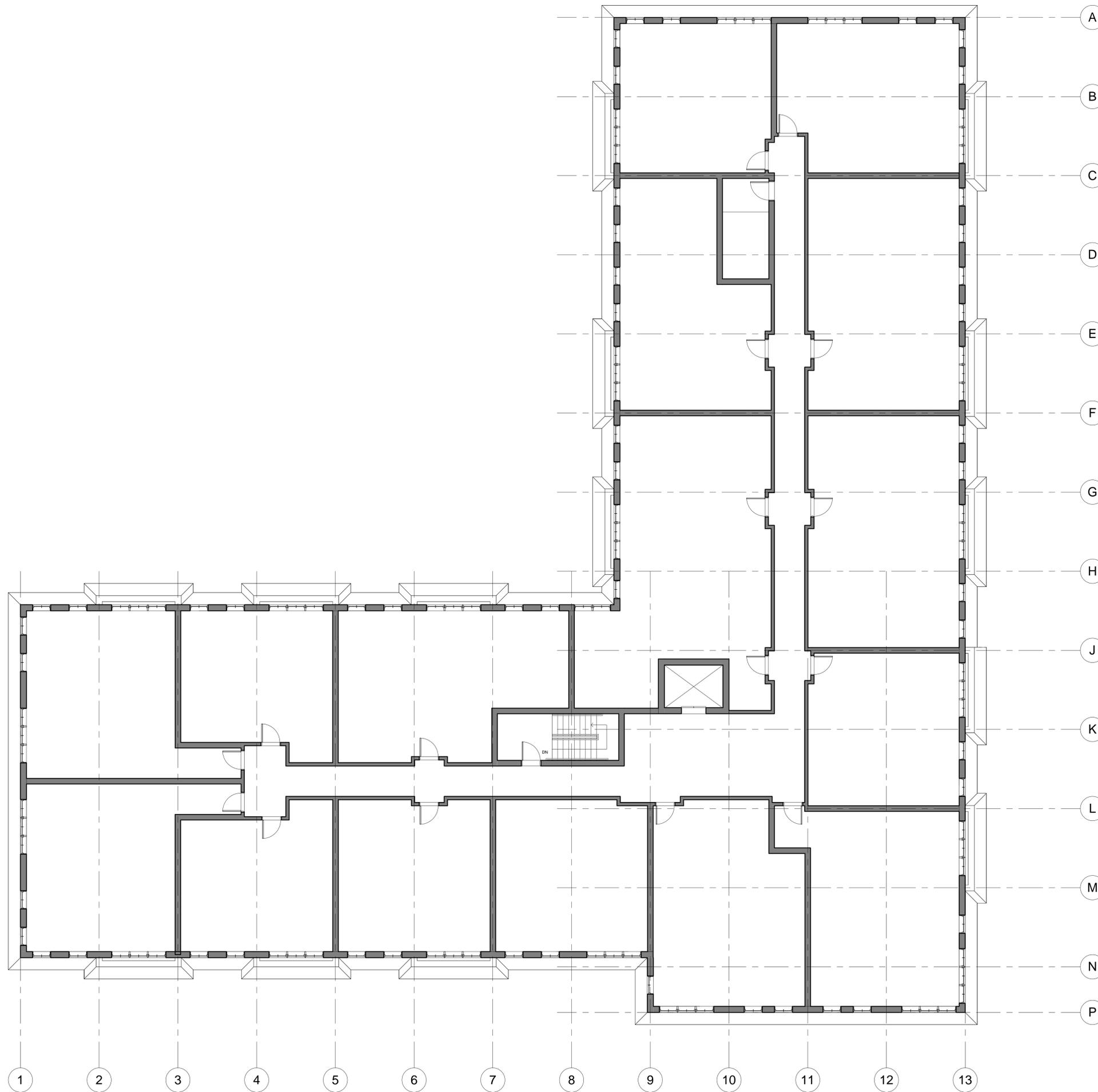
REVISIONS

No.	Description	Date

SECOND & THIRD FLOOR PLAN

A-102

Broadway Residences



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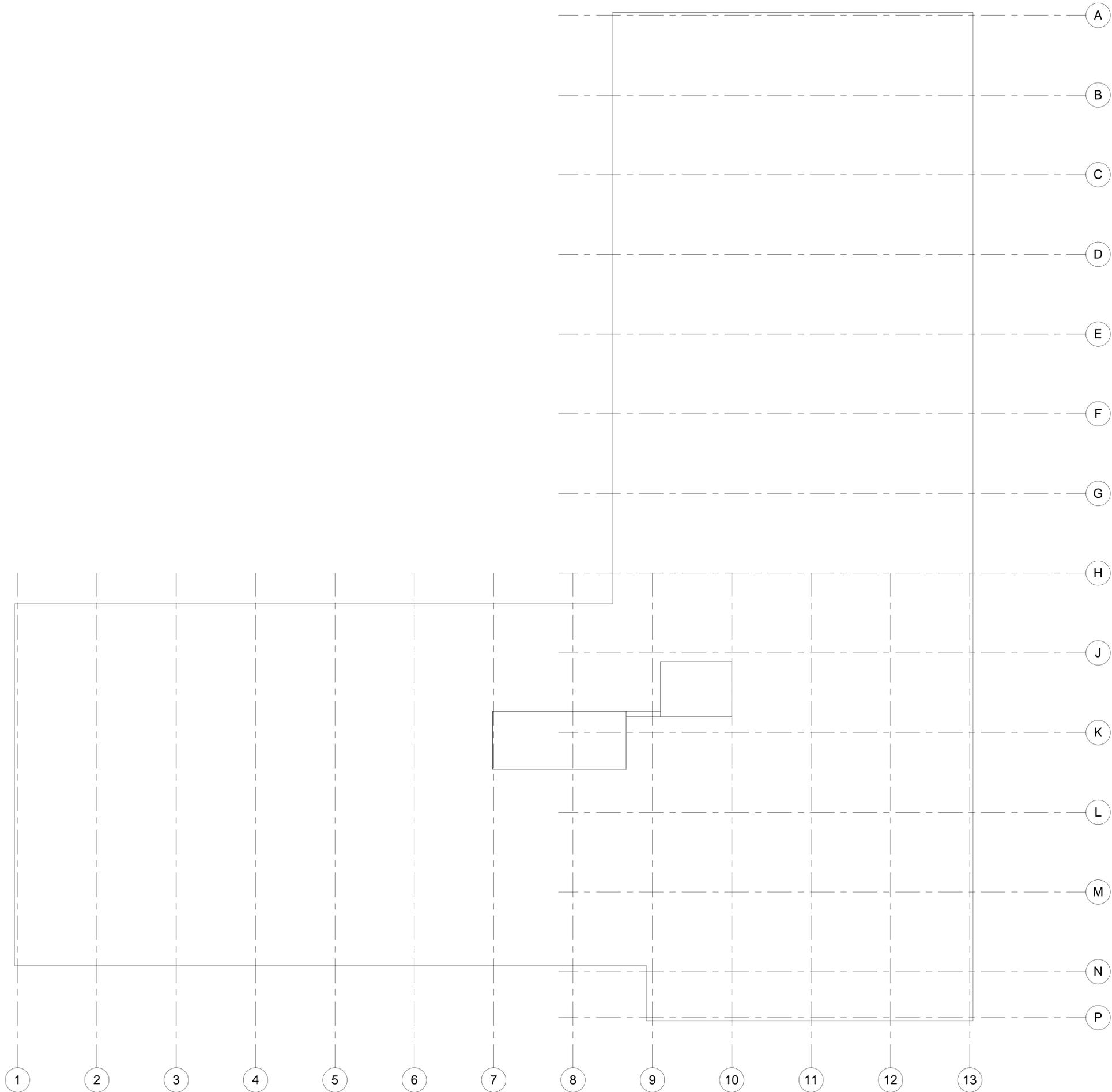
REVISIONS

No.	Description	Date

FOURTH FLOOR PLAN

A-103

Broadway Residences



1 Roof Level
1/8" = 1'-0"

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ROOF FLOOR PLAN

A-105

Broadway Residences



① South Elevation
1/8" = 1'-0"



② West Elevation
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A-300
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No.	Description	Date

EXTERIOR ELEVATION

A-301

Broadway Residences



1 East Elevation
 1/8" = 1'-0"



2 North Elevation
 1/8" = 1'-0"

G:\12\12025_PL_315-Broadway-Somerville\03 Drawings\03_ARCH_SD_DD12025_PL_315-Broadway_Somerville_2012-12-17.rvt
 12/17/2012 12:35:35 PM



④ 3D View 4



⑤ 3D View 5



① 3D View 1



③ 3D View 3



② 3D View 2

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 - x
 - T: x
 - F: x
- STRUCTURAL ENGINEER
- x
 - x
 - T: x
 - F: x
- MEP ENGINEER
- x
 - T: x
 - F: x
 - W: x

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Project number 12025
 Date 12-17-2012
 Drawn by KK / MG
 Checked by JSK
 Scale

REVISIONS

No.	Description	Date

PERSPECTIVE VIEWS

A-900

Broadway Residences