

Memo

To: Zoning Board of Appeals
City of Somerville

Date: November 14, 2013

Re: Special Permit Application for 104 Holland St.

cc: file

The proposed options constitute an attempt to address concerns raised at the previous Special Permit hearing 11/6/2013 regarding the proposed roof deck at 104 Holland St. These concerns were understood to include:

- 1) Visual Appearance from Holland St.
- 2) Safety
- 3) Practical concerns about furniture left on the roof deck and snow removal

Visual Appearance from Holland St.

-we have taken photos from the street of a 6'-0" person standing on the roof. The top of the guardrail will be approximately 54" (42" guardrail plus 1'-0" for roof deck structure) above the roof, shorter than the person in the photo.

-the attached diagram demonstrates the locations of the person in the photo and therefore an approximation of the line inside of which the guardrail will not be visible.

Safety

-by maintaining a minimum 6'-0" from the roof edge, we believe that the roof deck presents a safer condition than a typical porch.

Practical Concerns

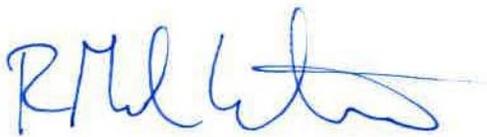
-the condo documents will stipulate that and furniture stored on the roof deck must be tied down or above a weight of 5 lbs.

-the condo documents will stipulate that any snow cleared from the decks cannot be piled on the deck and must be safely removed from the roof.

It was also mentioned that the building sits adjacent to a vacant lot. The open lot is not part of the property, and we have not assumed that it usable by the condo owners in any way.

It was the belief that the removal of the rear decks was a positive move for the property, by providing more open ground space on the tight lot, as well giving the building more separation from the neighbor.

Sincerely,



Mark Whiteside | Architect
Principal



photo 1



photo of neighbors roof deck

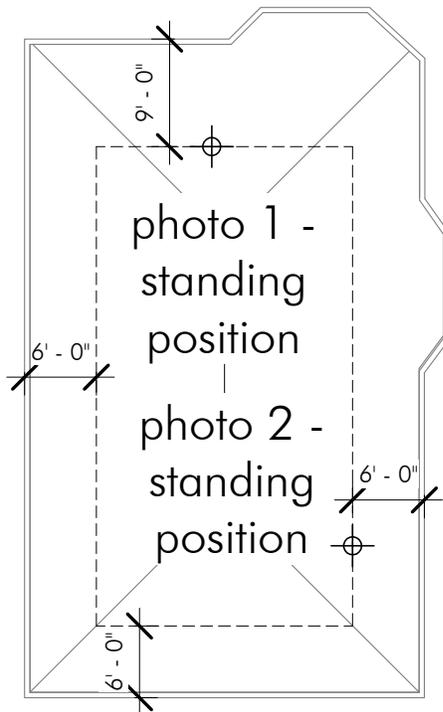
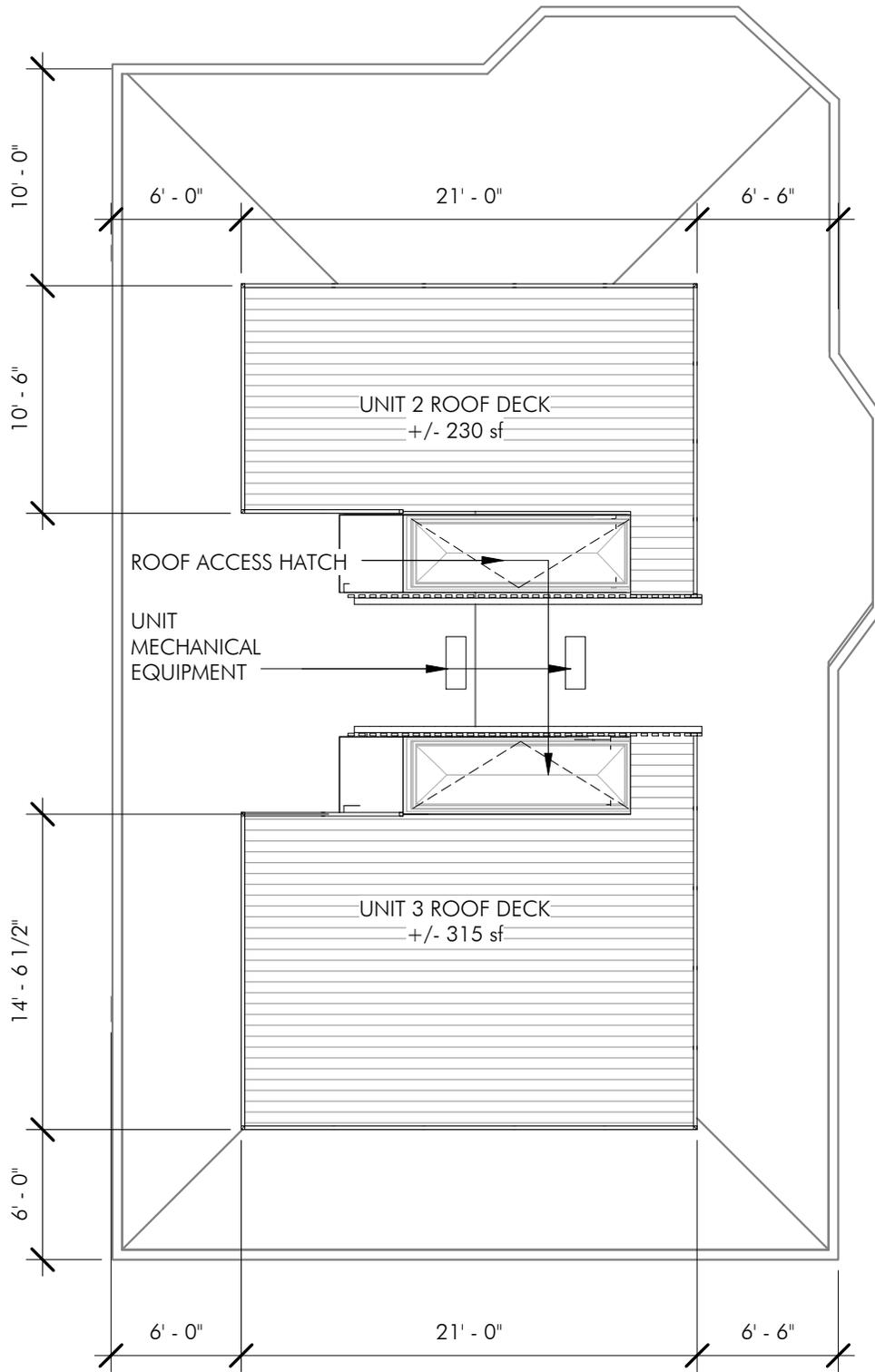
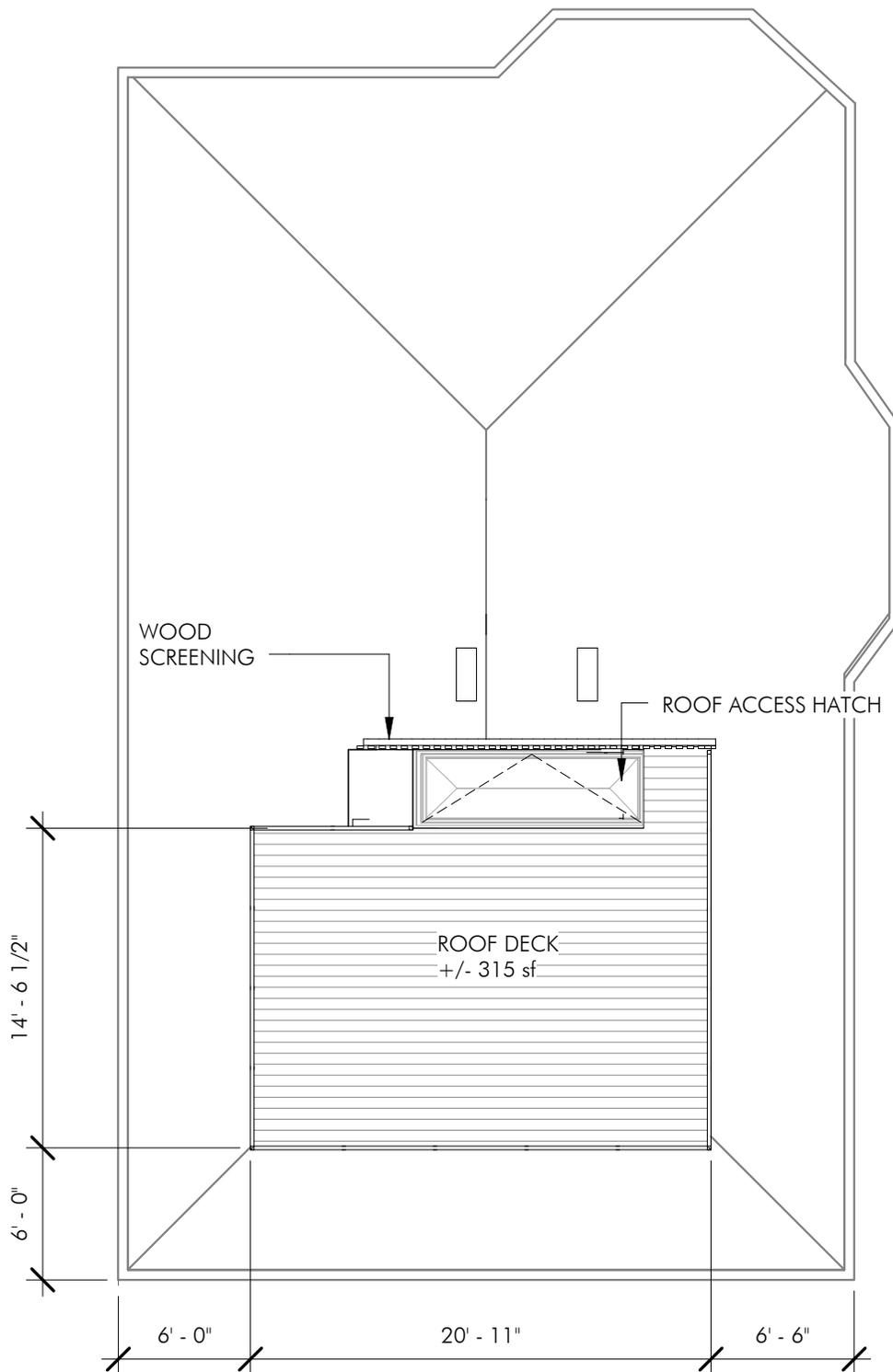


photo 2

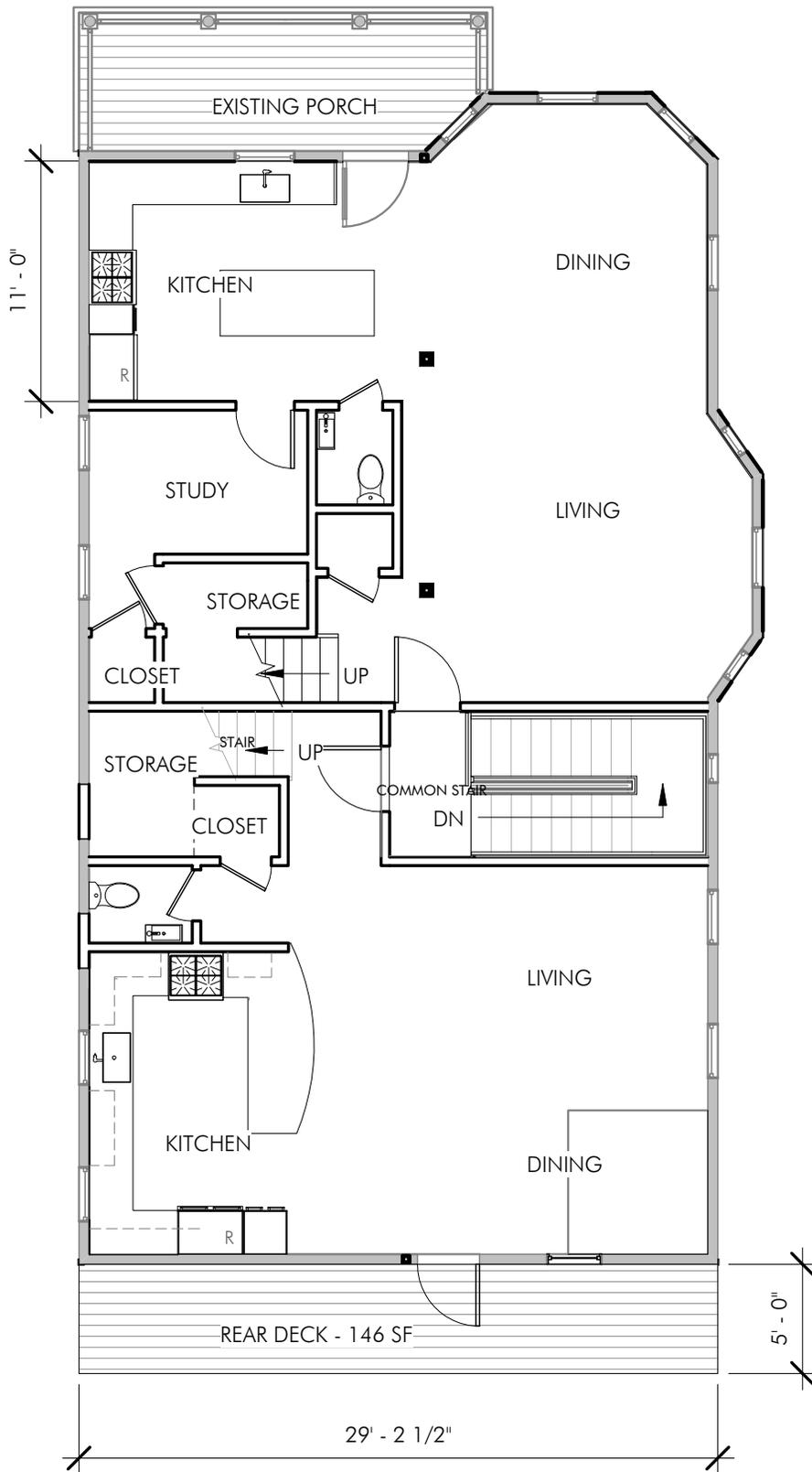
1/16" = 1'-0"



1/8" = 1'-0"



1/8" = 1'-0"



1/8" = 1'-0"