



PROPOSED 176-182 BROADWAY RESIDENCES SOMERVILLE, MA

DESIGN REVIEW COMMITTEE
SUBMISSION 10-24-2013

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PROJECT NAME
Broadway St Residences

PROJECT ADDRESS
176-182 Broadway
Somerville, MA

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REGISTRATION



Project number 13004
Date 10-24-13
Drawn by MT
Checked by JSK
Scale 3/16" = 1'-0"

REVISIONS

No.	Description	Date

Cover Sheet

A-000

Broadway St Residences

PROJECT NAME
176-182
BROADWAY

PROJECT ADDRESS
176-182 BROADWAY
SOMERVILLE, MA

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Project number 13001
Date 10-03-2013
Drawn by MKP
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Scale 1/8"=1'-0"

REVISIONS

No.	Description	Date

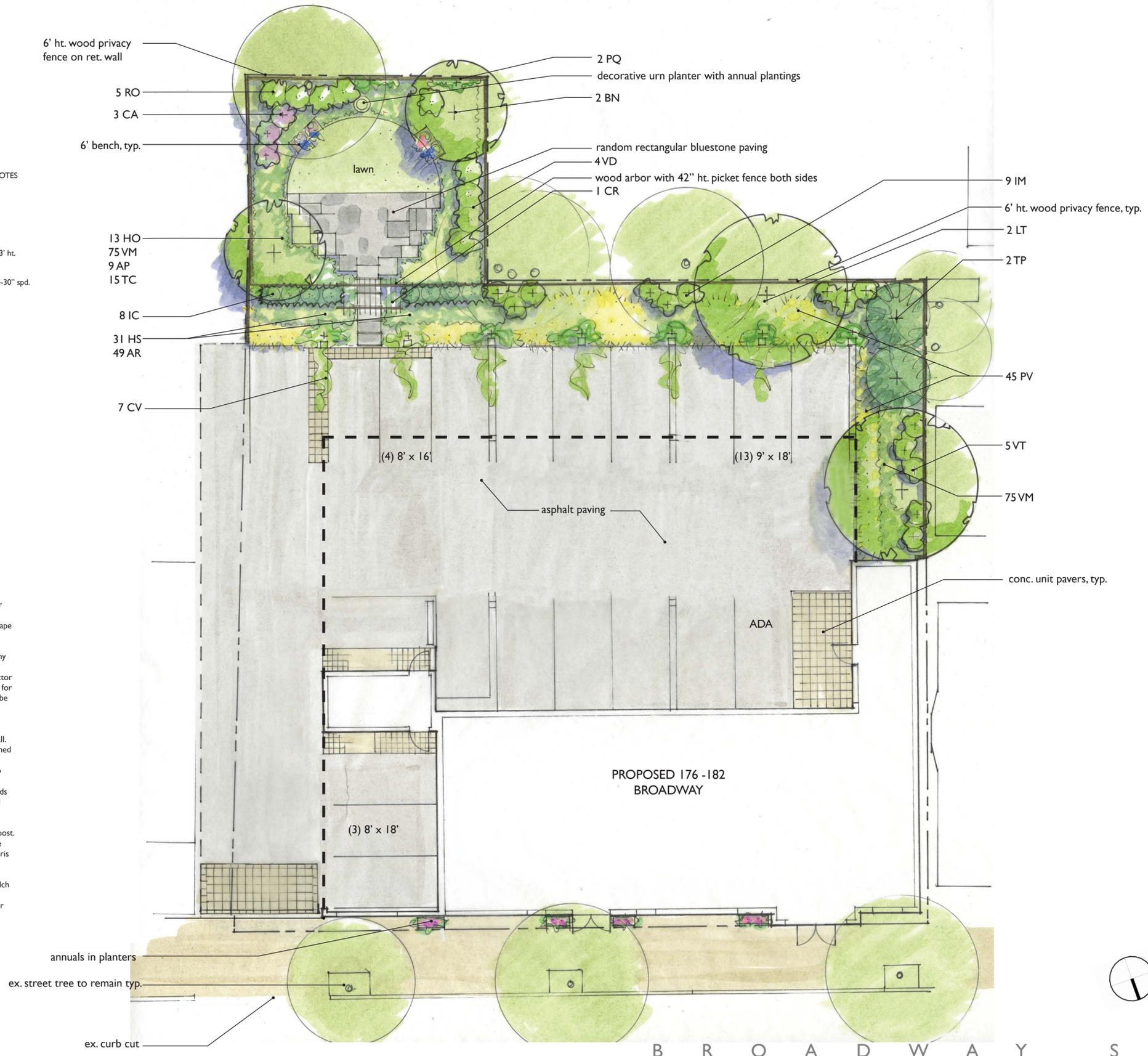
**LANDSCAPE
PLAN**

L-00

PLANT LIST KEY	QTY	LATIN NAME	COMMON NAME	MIN. SIZE	NOTES
TREES					
BN	2	Betula nigra 'Heritage'	Heritage River Birch	2-2.5" cal.	
LT	2	Liriodendron tulipifera	Tulip Tree	2-2.5" cal.	
TP	2	Thuja plicata 'Arovirens'	Arovirens Giant Arborvitae	5-6' ht	
SHRUBS					
CA	3	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	2-3' ht.
IC	8	Ilex crenata convexa	Japanese Holly	30" ht.	
IM	9	Ilex meserveae 'Blue Maid'	Blue Maid Holly	48" ht	
RO	5	Rhododendron 'Chionoides'	White Flowering Rhodo.	5 gal.	24-30" spd.
VD	4	Viburnum dentatum 'Blue Muffin'	Arrowwood Viburnum	30" ht.	
VT	5	Viburnum trilobum 'Wentworth'	American Cranberry	30" ht.	
PERENNIALS/GRASSES					
AP	9	Anthyrium niponicum	Japanese Painted Fern	1 gal.	
AR	49	Ajuga reptans	Ajuga	1 gal.	
HO	13	Hosta	Hosta	2 gal.	
HS	31	Hemerocallis 'Happy Returns'	Everblooming yellow daylily	1 gal.	
TC	15	Tiarrella cordifolia 'Running Tapestry'	Foamflower	1 gal.	
VM	150	Vinca minor 'Ralph Shuger'	Verigated Vinca	4" pots	
PV	45	Panicum virgatum 'Shenandoah'	Red switch grass	1 gal.	
VINES					
CV	7	Clematis virginiana	Virgin's Bower	2 gal.	
PQ	2	Parthenocissus quercifolia	Virginia Creeper	2 gal.	
CR	1	Campsis radicans	Trumpetvine	2 gal.	

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



B R O A D W A Y S T



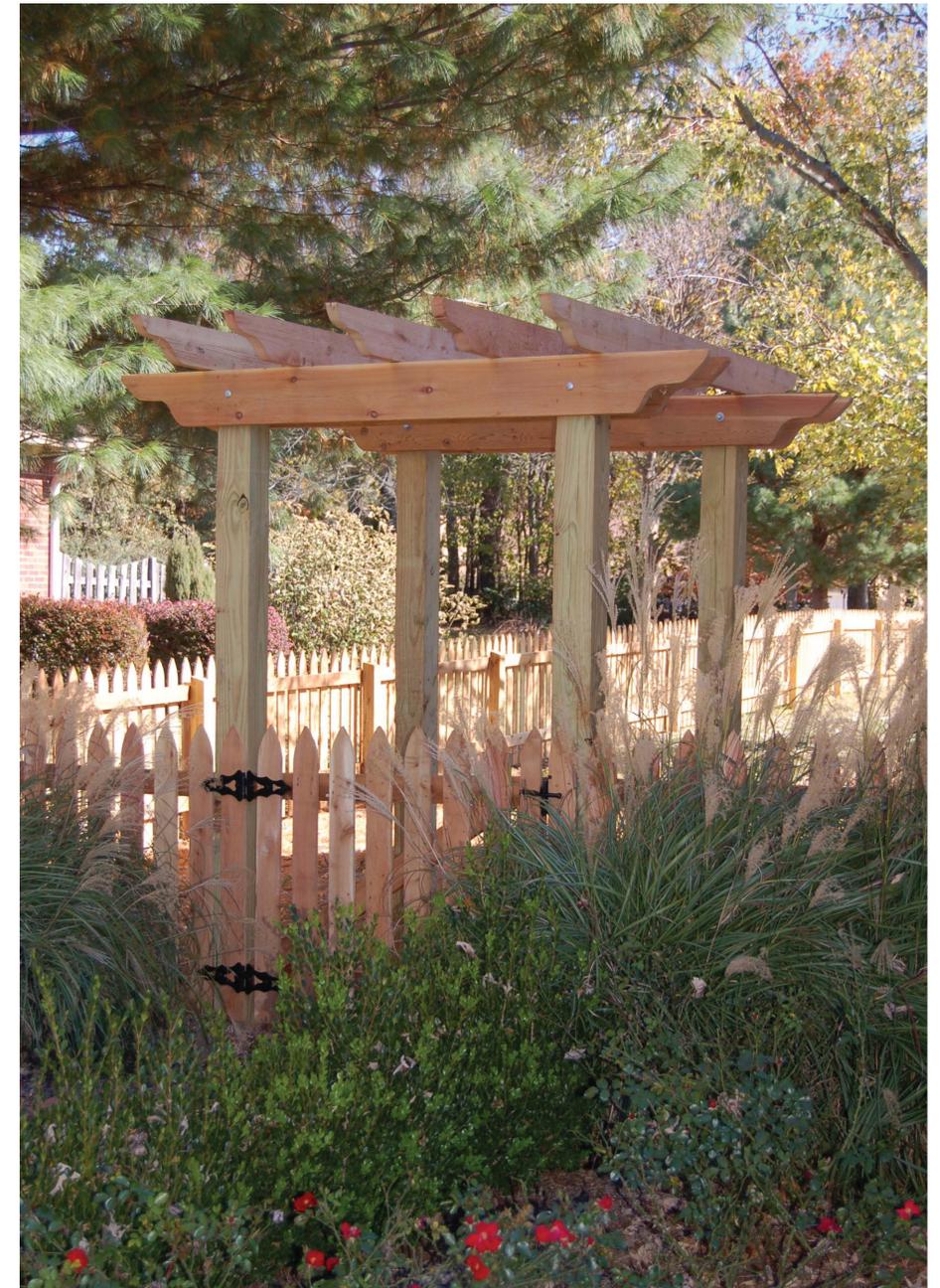
Bluestone Paving



Metal Bench from Dumor



Bench from Landscapeforms



Arbor with Fence



Concrete Unit Pavers



Garden Urn



Planters from Wilshire

TREES



River Birch



Tulip Tree



Arborvitae

VINES



Trumpet vine



Virgin's Bower & Virginia creeper

SHRUBS



Summersweet



American Cranberry Viburnum



Rhododendron



Arrowwood Viburnum



Japanese Holly

GRASSES & PERENNIALS



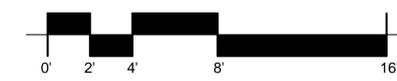
Switch grasses



Ajuga



Everblooming Daylily



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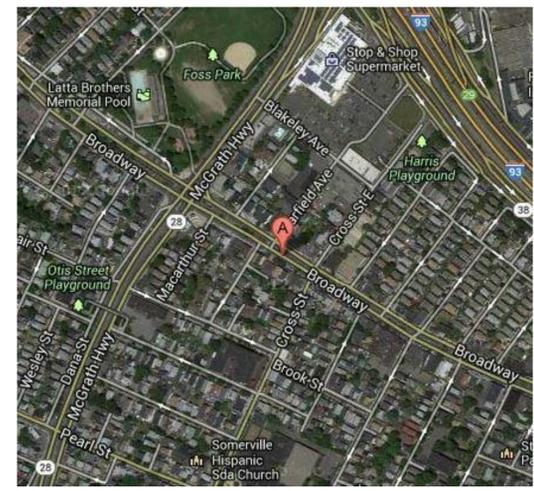
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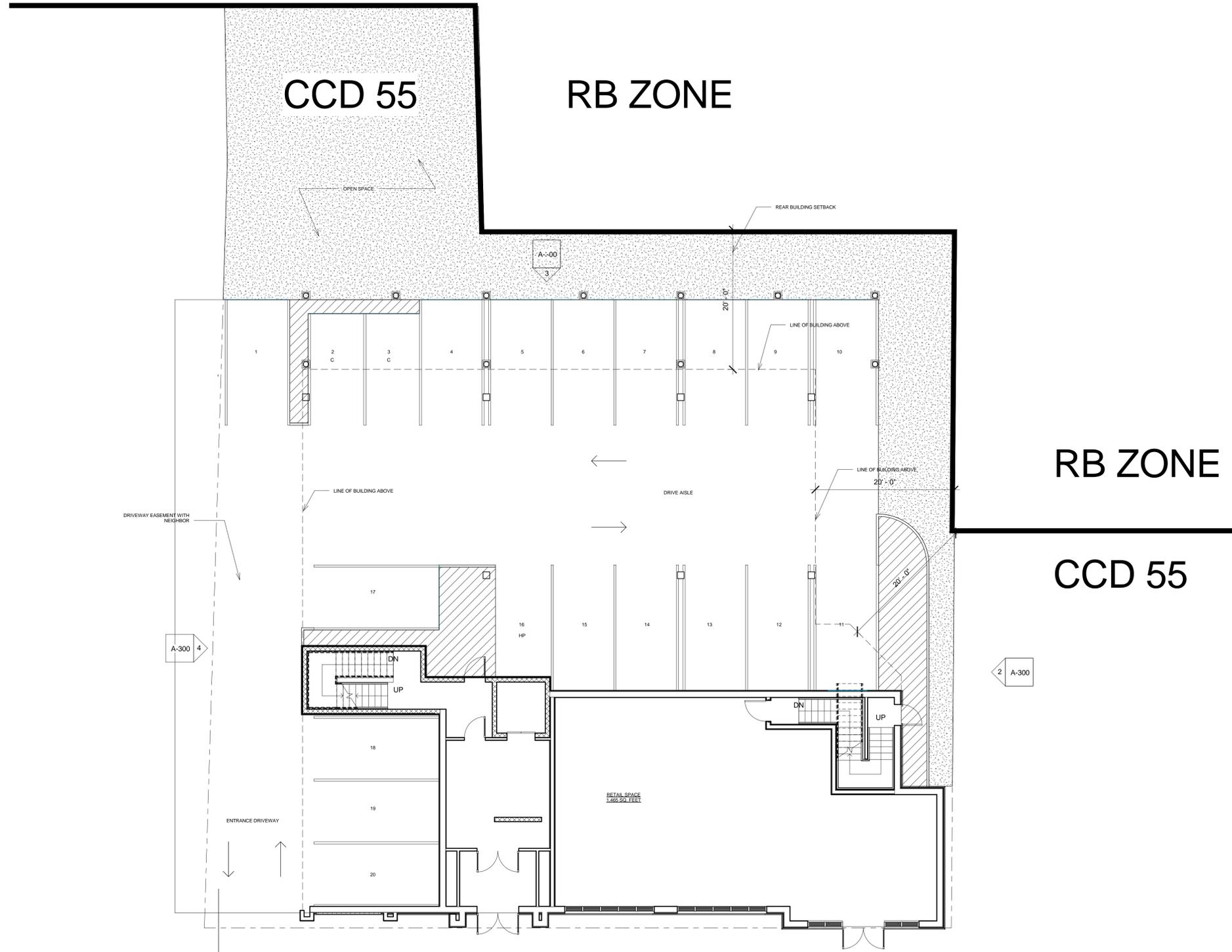
CONSULTANTS:



LOCUS MAP

ZONING CHART

ZONING ASPECT	ALLOWED:	PROVIDED:
ZONE CCD 55		
LOT SIZE 11,778 +/- SQ. FT	MINIMUM 7,500 SQ. FT	
MINIMUM LOT PER DWELLING UNIT	1-9 UNITS @ 600 SF/DU = 19.63 DW ALLOWED	19 DWELLING UNITS
MAXIMUM GROUND COVERAGE	80% x 11,778 SF = 9,422 SF	7,018 SF, 59% PROVIDED
LANDSCAPE AREA	10% x 11,778 SF = 1,178 SF	2,598 SF, 22% PROVIDED
FAR	11,778 x 3.0 = 35,334 SF	25,578 SF
HEIGHT [20.21]	55 FEET	5 STORIES @ 55 FEET HEIGHT
SETBACKS		
FRONT	N/A	NONE
SIDE [12]	N/A	NONE
REAR	N/A	20 FEET
PARKING		
	1' DU- LOFT	
	1.5' DU- 1, 2-BR	
	2' DU- 3-BR	
	1 PER 60U - VISITOR PARKING	
	1 PER RETAIL LESS THAN 1,000 SQ FT	
	19-2BR x 1.0 = 19 PARKING SPACES + 1 RETAIL = 20 PARKING SPACES	20 PARKING SPACES



1 survey
1/8" = 1'-0"

REGISTRATION



Project number 13004
Date 10-24-13
Drawn by MT
Checked by JSK
Scale As indicated

REVISIONS

No.	Description	Date

Site Plan & Locus

A-001
Broadway St Residences

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Project number 13004
Date 10-24-13
Drawn by WC
Checked by Checker
Scale 1/8" = 1'-0"

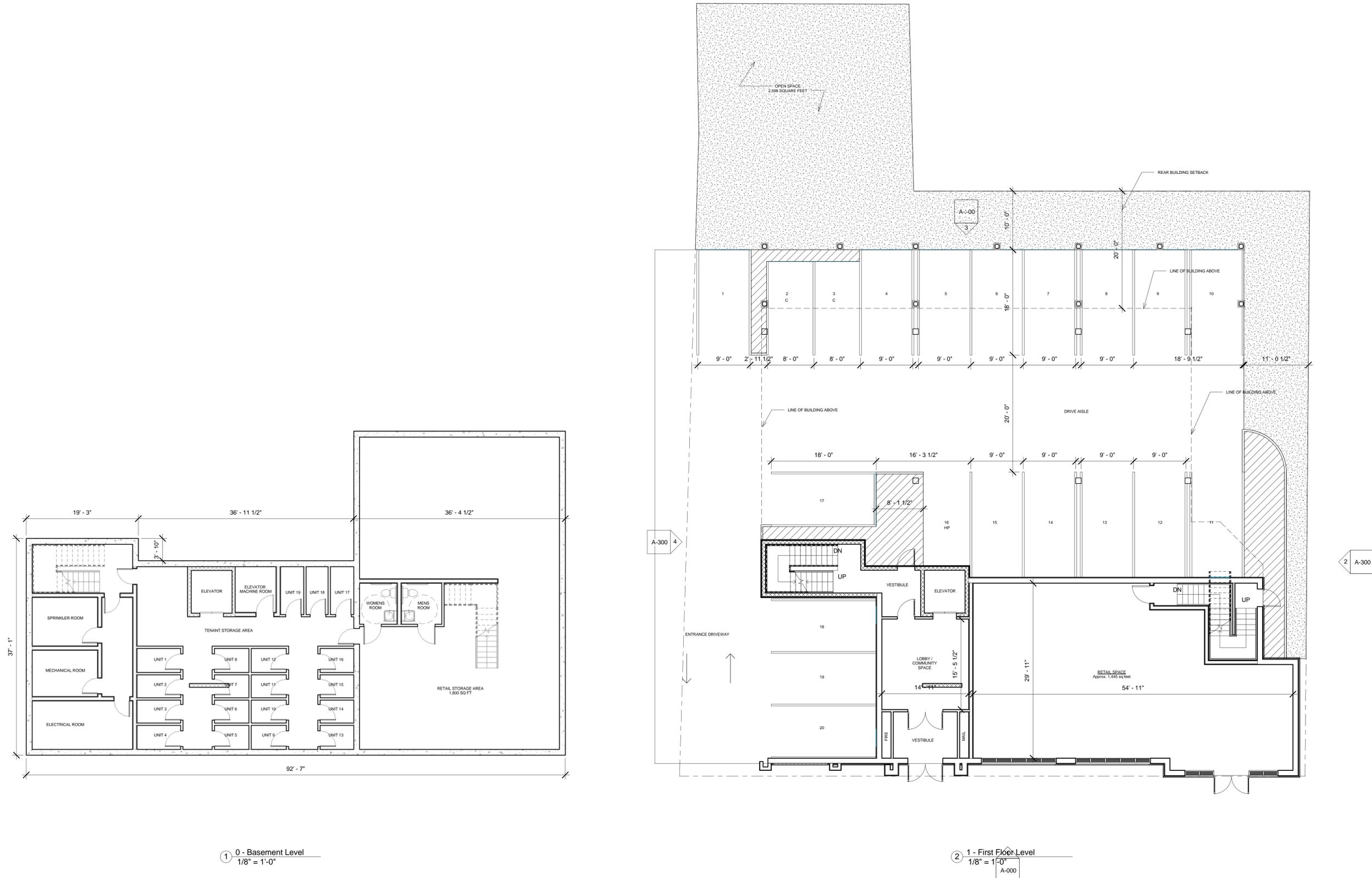
REVISIONS

No.	Description	Date

Basement & 1st Floor Plan

A-100

Broadway St Residences



1 0 - Basement Level
1/8" = 1'-0"

2 1 - First Floor Level
1/8" = 1'-0"

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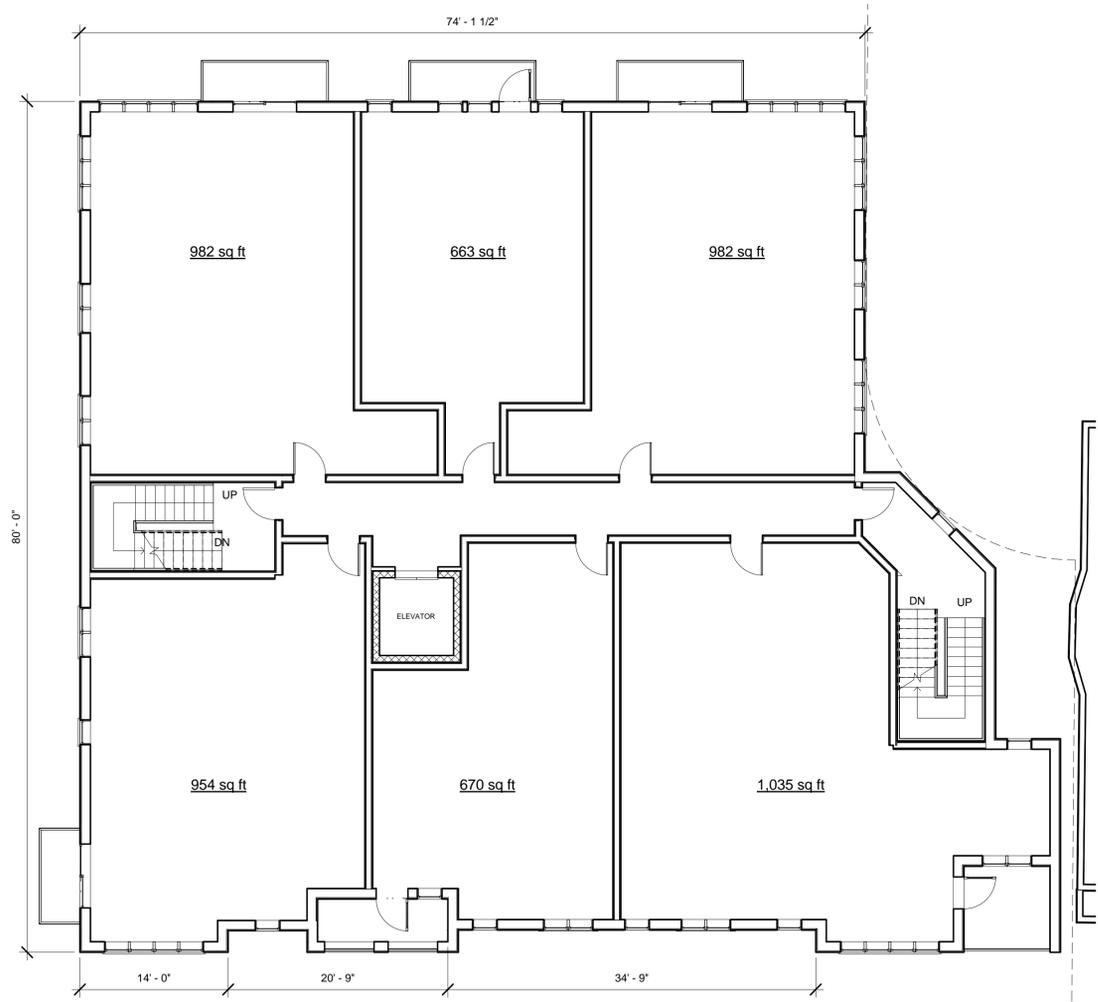
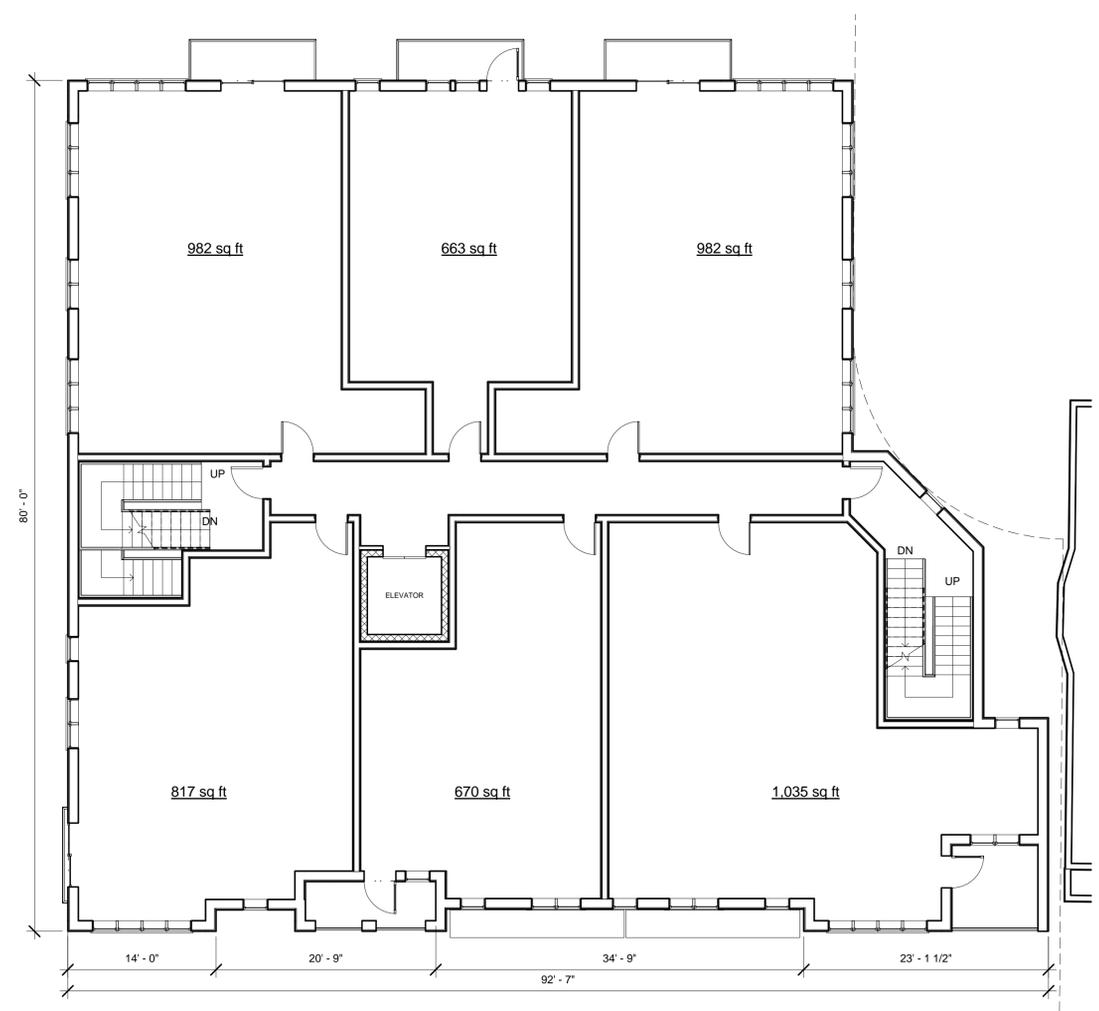
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No.	Description	Date

2nd & 3rd Floor Plans

A-101
 Broadway St Residences



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② East Elevation
1/8" = 1'-0"



① South Elevation
1/8" = 1'-0"



④ West Elevation
1/8" = 1'-0"



③ North Elevation
1/8" = 1'-0"

REGISTRATION



Project number 13004
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REVISIONS

No.	Description	Date

Building Elevations

A-300

Broadway St Residences

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3 Front Perspective



1 Broadway Street View



2 Broadway View



4 Rear Parking Lot View

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CONSULTANTS:

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Scale

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No.	Description	Date

Perspectives



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